

RESOLUTION No. 17-21

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR DORAL MEDICAL PLAZA, LOCATED ON THE NORTH SIDE OF NW 41 STREET AND WEST OF NW 109 AVENUE, DORAL, FLORIDA; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, On January 25, 2017, the City of Doral adopted Ordinance No. 2015-40 amending the City's Land Development Code to establish procedures for the Mayor and City Council site plan review and approval process;

WHEREAS, East Florida – DMC, Inc. (the "Applicant") has submitted an application for Mayor and Council site plan review and approval for a free standing emergency healthcare facility to be located on the north side of NW 41 Street and west of NW 109 Avenue, as legally described in Exhibit A; and

WHEREAS, staff recommend approval of the proposed site plan provided in Exhibit B; and

WHEREAS, pursuant to law, notice has been given by publication in a paper of general circulation in the City, notifying the public of this proposed Resolution and of the public hearings; and

WHEREAS, the Mayor and City Council of the City of Doral finds that the adoption and implementation of this Resolution is in the best interest and welfare of the residents of the City.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, THAT:

Section 1. Recital. The above recitals are true and correct and incorporated herein.

Section 2. Approval of Site Plan. The Mayor and City Council hereby approves/denies the site plan for an 11,137 SF free standing emergency healthcare facility to be located on the north side of NW 41 Street and west of NW 109 Avenue, which is intended to be the first phase of the development on the larger +/-17.06 acre parcel of land (the "Overall Parcel"), subject to the following conditions agreed to by the Applicant and City as part of the site plan development agreement approval.

1. Applicant must submit separate plans for Entrance Feature.
2. All applicable impact fees shall be paid by the Applicant prior to issuance of a building permit.
3. The proposed project shall be built in substantial conformance with the plans entitled Doral Medical Plaza, prepared by Kimley-Horn and Associates, dated stamped received August 31, 2016, consisting of 12 sheets, as amended.
4. The Property shall be landscaped in accordance with the landscape plan, prepared by Kimley-Horn and Associates, date received August 31, 2016, as amended, and included with the site plan submittal.
5. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
6. Approval from Division of Environmental Resources Management (DERM) is required at time of building permit. If DERMs' requirements result in a modification to the approved administrative site plan, which may include but is not limited to, the layout of proposed parking field, the Applicant will be fully responsible to meet those requirements prior to building permit approval.
7. Approval from Miami Dade County Fire Department is required at time of building permit.
8. The applicant shall comply with Ordinance No. 2015-09 "Public Arts Program".
9. All applicable local, state and federal permits must be obtained before commencement of the development.
10. The project shall comply with the requirements set forth in Sections in Ordinance No. 2016-03, if applicable.
11. The project should make every effort to incorporate the Low Impact Development (LID) practices in the project design consistent with Section 74-881 of the Land Development Code.
12. Provide compliance with the Floodplain Management regulation (Sec. 53-344) of the City's Land Development Code. Project team should contact the City's Floodplain Administrator to review the requirements of the Floodplain Management Ordinance.
13. Applicant shall indicate how the project will meet the requirement of the LDC Sec. 77-195 of the City's Land Development Code solar reflective index (SRI) of 28 or greater.
14. Project shall meet the City's Green Ordinance requirements in Chapter 63 of the Land Development Code.
15. The Applicant shall comply with applicable conditions and requirements provided by Miami-Dade County Public Works Department, Water and Sewer Department, Fire Rescue Department, and Regulatory and Economics Resources (DRER) prior to issuance of building permit.
16. The hours of operation during the construction shall adhere to as per Noise Ordinance No. 2011-01.

17. The Applicant shall submit a construction staging plan for review and approval prior to commencement of construction. The staging area shall be kept clean at all times, adequately screened and located away from view of existing homes located adjacent to the construction site.
18. Access points for construction vehicles shall be identified as part of the construction plan submitted to the City. Construction vehicles with access to the site shall adhere to existing "no thru truck" areas.
19. The Applicant shall provide a Construction Air Quality Management Plan to the Department prior to the start of construction.
20. A Stormwater Pollution Prevention Plan (SPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where top soil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
21. The Applicant shall preserve existing trees (including native trees) during the development of the project, wherever possible. If the trees must be removed, the Applicant shall be required to mitigate the impact in accordance with DRER requirements. If the relocated trees do not survive, the Applicant shall be required to replace the trees in compliance with DRER requirements.
22. The Applicant shall meet the requirements of the Miami-Dade County Water-Use Efficiency Standards Manual, effective January 2009, as may be amended from time to time.
23. All stormwater shall be retained on site in accordance with applicable law.
24. All stormwater drainage systems shall be maintained in working conditions at all times in order to avoid localize flooding during and after a storm.
25. Parking shall be prohibited on top of any drainage inlet or drainage manhole.
26. Developer shall be responsible for providing the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
27. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP) Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.
28. Provide tree removal/relocation approval from (DERM), including an approved tree disposition plan at time of building permit.

29. Noncompliance with the approved site plan and the terms of this approval shall be considered a violation of the City Code.
30. Provide the Buffer yard requirements calculations, matching the frontages
31. All EMS vehicles transporting people with a health situation that may be life-threatening to and from the Doral Medical Plaza “Free-Standing Emergency Department” shall turn off their sirens and emergency lights when approaching the residential community adjacent to the emergency facility, or when approaching the emergency facility from NW 41st Street (Doral Boulevard).

The Site Plan is approved by Public Works. However, the following advisory comments apply to the overall development Site Plan (Tracts 57 & 58 Florida Fruit Lands Company Subdivision, P.B. 2, Pg. 17) and will become future conditions for approval as additional phases of the development are submitted for review:

32. Two of the internal drive aisles shown in the Doral Medical Plaza Site Plan are intended to interconnect with the remainder of the overall development. As such, a Traffic Study for the overall development (including the Doral Medical Plaza site) needs to be approved by Doral Public Works and Miami-Dade County Public Works Traffic Division.
33. Miami-Dade County Public Works Traffic Division approval will be required for the overall development Site Plan, especially for any proposed driveways connecting to NW 41 Street.
34. A Traffic Signal Warrant Study and/or 50% contribution for a traffic signal on NW 109 Avenue and 41 Street may be required. Also, additional R/W improvements (turn lanes, median cuts, etc.) may be required.
35. Refer to the Doral Land Development Code, Chapter 77, for sections applicable to the Doral Medical Plaza and how they may relate to the overall development. Be advised that, since the Doral Medical Plaza project is located within a single parcel, sections of the code related to driveways (spacing, overall number allowed, turn lane requirements, throat distance, etc.) will be applied to future phases of the overall development taking into consideration the driveways of the Doral Medical Plaza.
36. The site layout of the overall development shall comply with the applicable section of the Doral Boulevard Master Plan.

Section 3. Implementation. The City Manager and the City Attorney are hereby authorized to take such further action as may be necessary to implement the purpose and provisions of this Resolution.

Section 4. Effective Date. This Resolution shall become effective upon its passage and adoption by the City Council and is binding on all successors and assigns.

The foregoing Resolution was offered by Vice Mayor Cabrera who moved its adoption. The motion was seconded by Councilmember Mariaca and upon being put to a vote, the vote was as follows:

Mayor Juan Carlos Bermudez	Yes
Vice Mayor Pete Cabrera	Yes
Councilwoman Christi Fraga	Yes
Councilwoman Claudia Mariaca	Yes
Councilwoman Ana Maria Rodriguez	Absent/Excused

PASSED AND ADOPTED this 25 day of January, 2017.



JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:



CONNIE DIAZ, CMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



WEISS, SEROTA, HELFMAN, COLE & BIERMAN, P.L.
CITY ATTORNEY

LEGAL DESCRIPTION OF OVERALL PARCEL:

Tracts 57 and 58 of Section 19, Township 53 South, Range 40 East, Florida Fruit Lands Company's Subdivision No. 1, according to the Plat thereof as recorded in Plat Book 2, Page(s) 17, of the Public Records of Miami-Dade County, Florida;

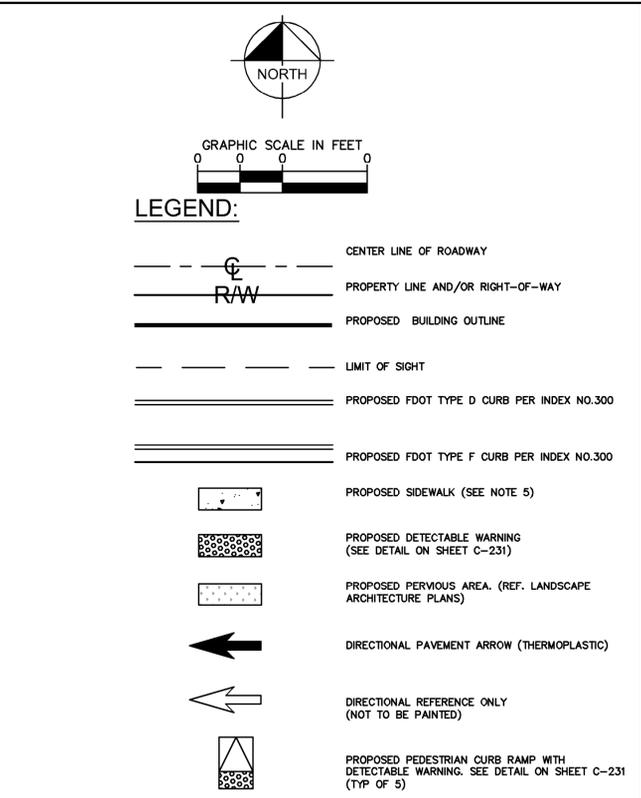
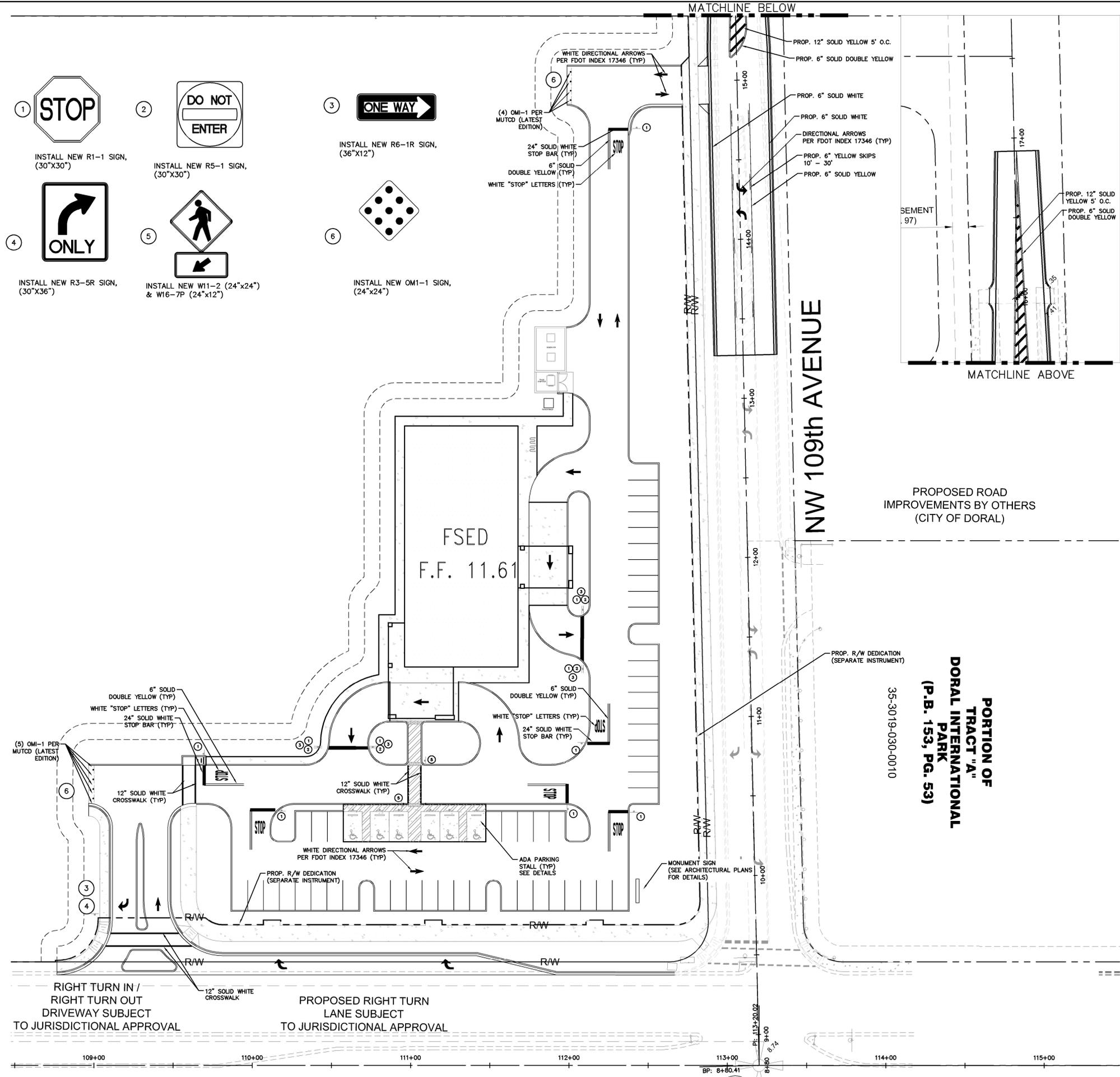
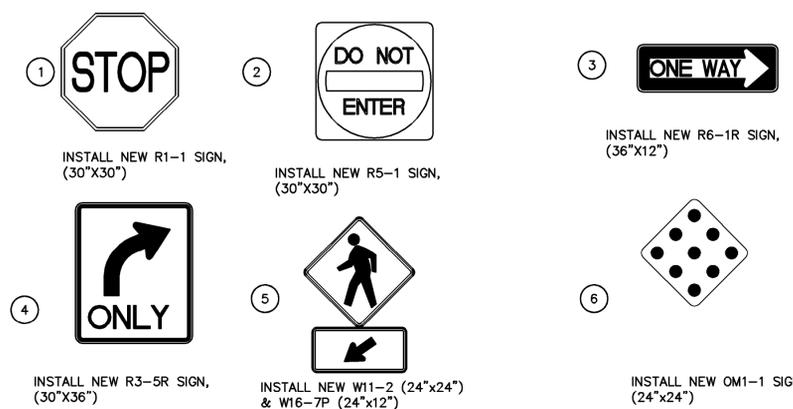
Less that portion thereof lying within the West 35.00 Feet; and

Less that portion lying within the South 65.00 Feet of the SE $\frac{1}{4}$ of said Section 19; and

Less that portion of said Tract 57 which lies within the external area formed by a 25.00 foot radius arc concave to the Northeast, tangent to the East line of the West 35.00 Feet of the SE $\frac{1}{4}$ of said Section 19 and tangent to the North line of the South 65.00 Feet of said SE $\frac{1}{4}$ of said Section 19; and

Less than portion thereof described in Right Of Way Deed to the City of Doral recorded in Official Records Book 29714, Page 2895, of the Public Records of Miami-Dade County, Florida.

Plotted by: jessie.lopez@sunshine811.com
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PAVEMENT MARKINGS AND TRAFFIC SIGNS

1. PAVEMENT MARKINGS
 A. INSTALLATION: ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH MUTCD, FDOT STANDARD INDEX #17346, WHERE SHOWN ON THE PLANS.
 B. MATERIALS:
 (1) WHERE THE PLANS CALL FOR PAINT (P), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FOLLOWING: CONTRACTOR TO APPLY TWO COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDILUTED, SOLVENT BASED OR LATEX TRAFFIC PAINT. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED APPLICATION RATE, WITHOUT ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7 1/2 MILS DRY FILM THICKNESS PER COAT WITH MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. SECOND COAT OF PAINT SHALL NOT BE APPLIED EARLIER THAN 7 DAYS PRIOR TO GRAND OPENING. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF THE LINE FOR A TOTAL DRY FILM THICKNESS OF 15 MILS.
 (2) ALL PAVEMENT SYMBOLS AND MARKINGS TO BE THERMOPLASTIC, WHERE THE PLANS CALL FOR THERMOPLASTIC (INCLUDES STRIPING WHEN IDENTIFIED ON PLANS), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 711 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 C. PROTECTION:
 THE CONTRACTOR SHALL NOT ALLOW TRAFFIC ONTO NEWLY APPLIED PAVEMENT STRIPING/MARKINGS UNTIL THEY ARE SUFFICIENTLY DRY TO PERMIT VEHICLES TO CROSS THEM WITHOUT DAMAGE. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE AND REPLACE ANY PORTION OF THE PAVEMENT STRIPING/MARKINGS DAMAGED BY PASSING TRAFFIC OR FROM ANY OTHER CAUSE.

2. TRAFFIC SIGNS
 A. INSTALLATION: TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), PART II, IN LOCATIONS SHOWN ON PLANS.
 B. MATERIALS: FOLLOW SECTION NO. 700, HIGHWAY SIGNING, OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND M.U.T.C.D.

ADDITIONAL NOTES:

- ALL DIMENSIONS TO CURB REFERENCE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
- ALL SIGNAGE TO BE REVIEWED UNDER SEPARATE PERMITTING PROCESS.
- R.P.M.'S SHALL BE ADDED PER MUTCD STANDARDS, LATEST EDITION, WITHIN LIMITS OF CONSTRUCTION.
- ALL PEDESTRIAN CROSSWALK SHALL BE CONSTRUCTED PER FDOT STANDARD DETAIL (LADDER TYPE I.E. 2"-12" PARALLEL BARS & 24" "STEPS").
- SEE DETAILS FOR SIGNAGE DESCRIPTIONS.
- CONTRACTOR SHALL REPLACE ALL STRIPING REMOVED AND/OR DAMAGED DURING CONSTRUCTION.
- ALL WORK WITHIN THE ROW SHALL BE IN ACCORDANCE WITH CITY OF DORAL ACCORDINLY.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE RIGHT-OF-WAY CONSTRUCTION PERMIT.

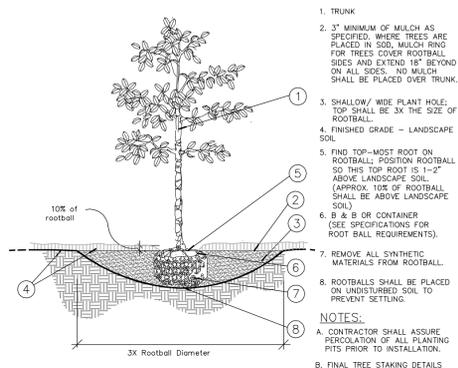
FOR SETBACKS AND R/W DEDICATIONS
REFER TO OVERALL SITE PLAN

Sunshine811

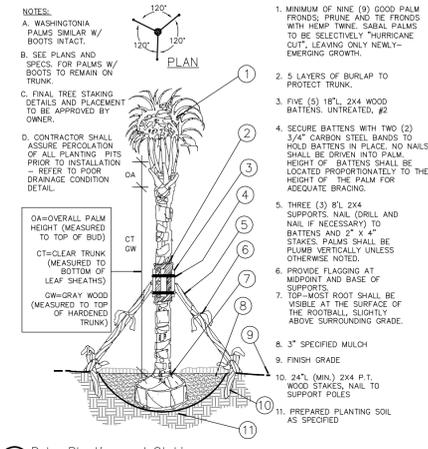
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!

CITY OF DORAL COMMENT REVISIONS	8/2/2016	JUL							
 © 2016 KIMLEY-HORN AND ASSOCIATES, INC. 1221 BRICKELL AVENUE, SUITE 400, MIAMI, FL 33131 PHONE: 305-673-2025 WWW.KIMLEY-HORN.COM CA 00000696	LICENSED PROFESSIONAL JULIO A. COLLIER, P.E. DATE: 8/25/2016 SCALE: AS SHOWN DESIGNED BY: JUL DRAWN BY: JUL CHECKED BY: JAC	PROJECT NO: 043787000 DATE: 8/25/2016 SCALE: AS SHOWN DESIGNED BY: JUL DRAWN BY: JUL CHECKED BY: JAC	FL LICENSE NUMBER 72,489	SHEET NUMBER C-301A	PREPARED FOR HEREFORD DOOLEY MIAMI-DADE ARCHITECTS FLORIDA	SIGNAGE AND PAVEMENT MARKING PLAN	REVISIONS No. _____ DATE _____ BY _____		

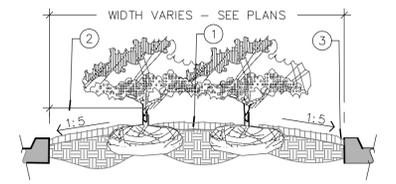
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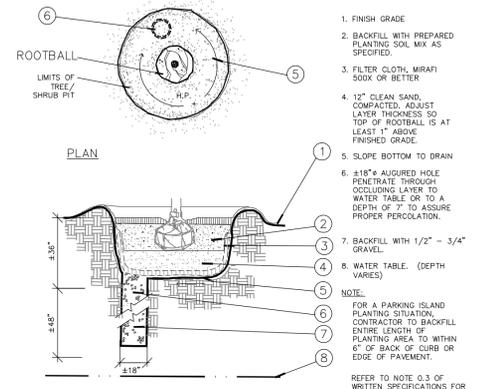
A Tree Planting SECTION NTS



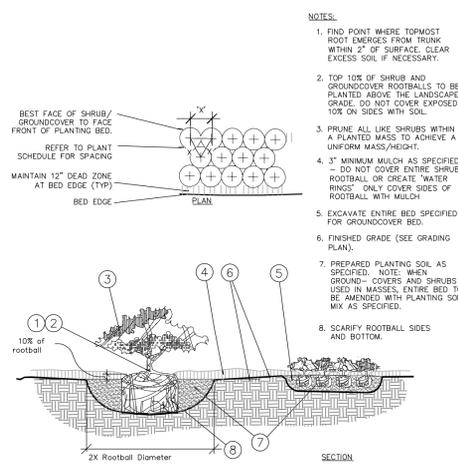
B Palm Planting and Staking SECTION NTS



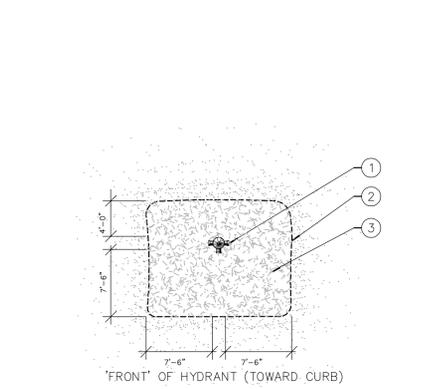
C Planted Parking Lot Islands / Medians SECTION NTS



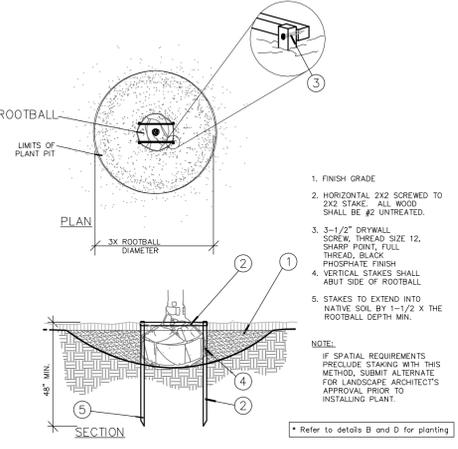
D Poor Drainage Condition PLAN/SECTION NTS



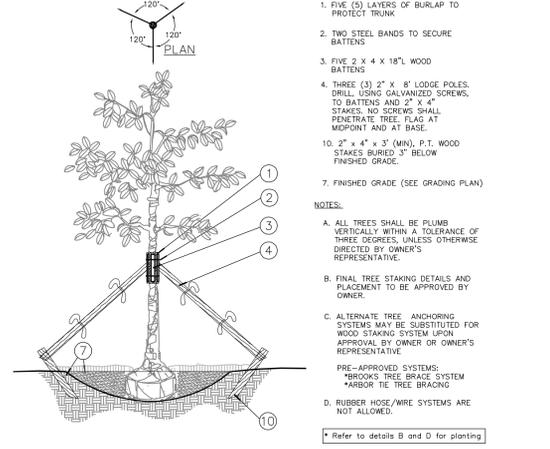
E Shrub / Groundcover Planting PLAN/SECTION NTS



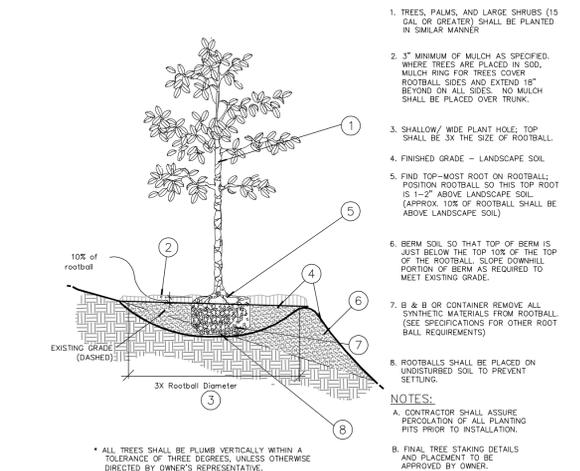
F Fire Hydrant Clear Zone PLAN NTS



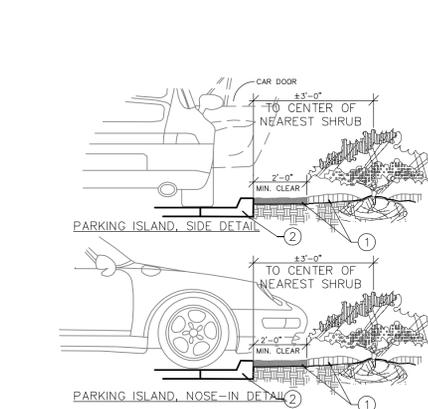
G Staking - up to 65 gal. or B&B to 3-1/2" Cal. PLAN/SECTION NTS



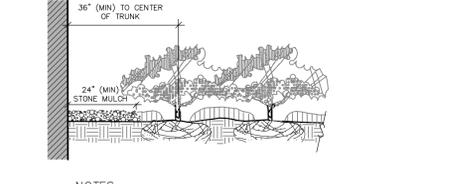
H Large Tree Staking - 100 Gal + or B&B 4" + SECTION NTS



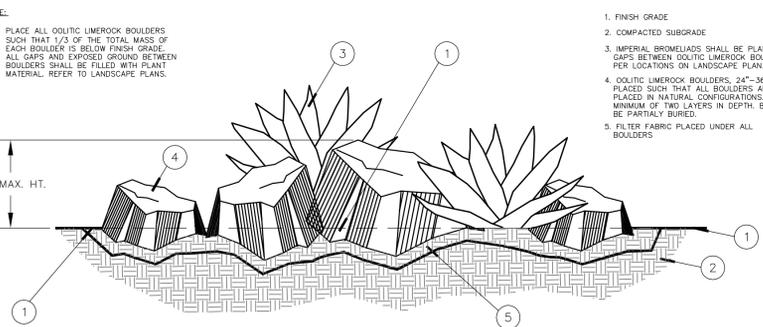
I Planting on a Slope SECTION NTS



J Parking Space/Curb Planting SECTION NTS



K Plantings Adjacent to Buildings SECTION NTS



L Dolitic Limerock Boulder Placement (Bromeliads) SECTION NTS

NO.	REVISIONS	DATE	BY

Kimley-Horn
 1221 BRICKELL AVENUE, SUITE 400, MIAMI, FL 33131
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL
 LANDSCAPE ARCHITECT
 STATE OF FLORIDA
 LICENSE NUMBER 000070

KHA PROJECT	043787000
DATE	5/20/2016
SCALE	AS SHOWN
DESIGNED BY	ML
DRAWN BY	ML
CHECKED BY	KM

LANDSCAPE DETAILS
 DORAL MEDICAL PLAZA
 PREPARED FOR HEREFORD DOOLEY ARCHITECTS
 MIAMI-DADE COUNTY, FLORIDA

Sunshine811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!

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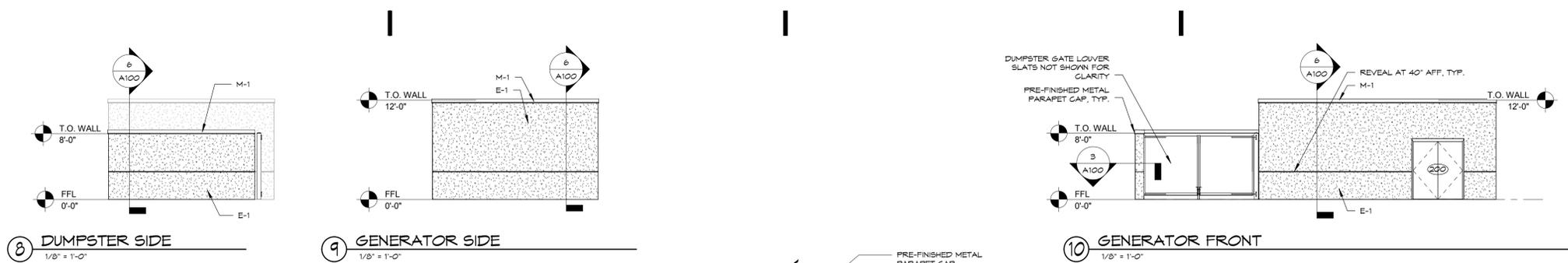


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F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

PROJECT
216006.00
LOCATION
Doral, Florida

**Freestanding
Emergency
Department**

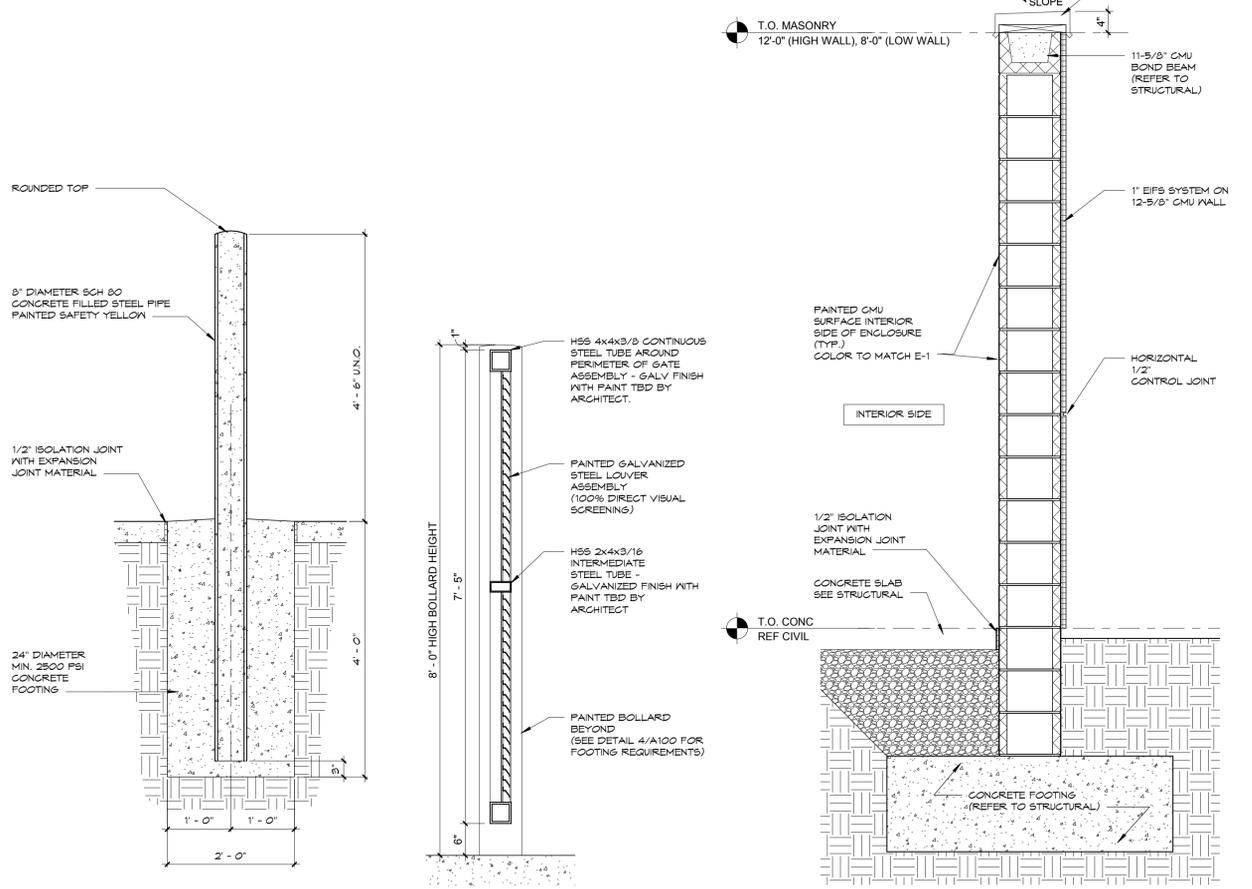
Schematic Design



8 DUMPSTER SIDE
1/8" = 1'-0"

9 GENERATOR SIDE
1/8" = 1'-0"

10 GENERATOR FRONT
1/8" = 1'-0"

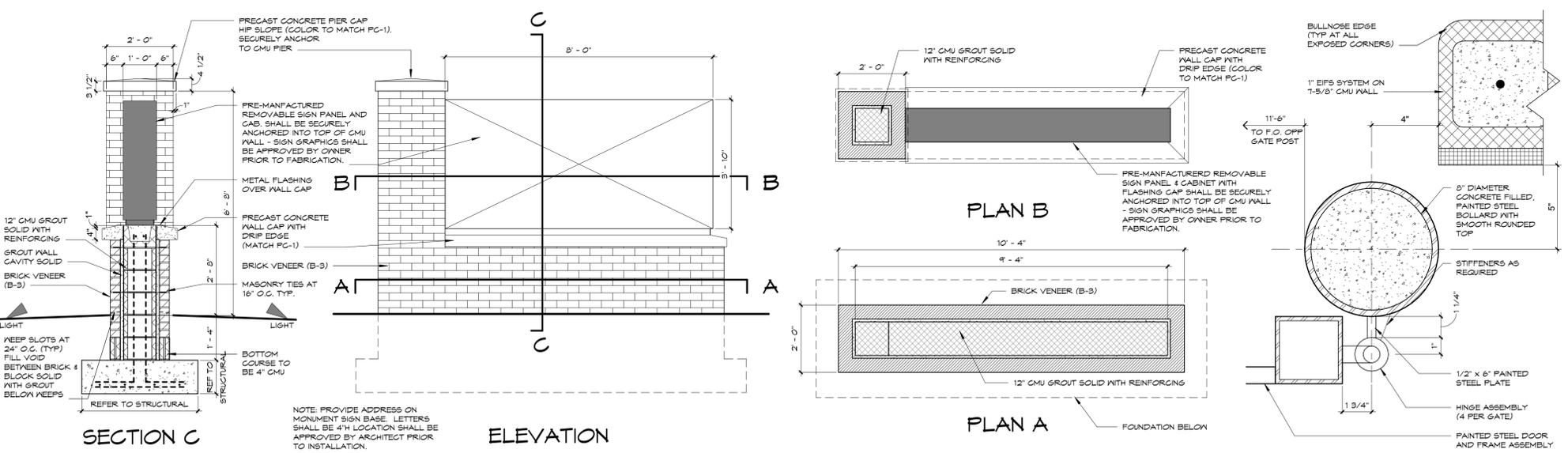


4 BOLLARD DETAIL
3/4" = 1'-0"

5 GATE SECTION
3/4" = 1'-0"

6 WALL SECTION - ENCLOSURE
3/4" = 1'-0"

1 SITE PLAN
1/32" = 1'-0"

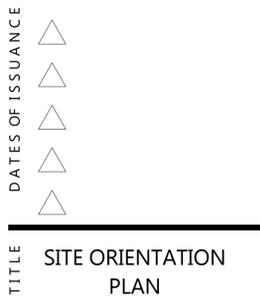


2 MONUMENTAL SIGN
1/2" = 1'-0"

3 DUMPSTER GATE SECTION
3" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MARKER	PRODUCT	MANUFACTURER	COLOR/FINISH
PC-1	INTEGRAL COLORED PRECAST INSULATED CONCRETE PANEL (FIELD COLOR)	REFER TO SPECIFICATIONS	SANDBLAST FINISH, INTEGRAL COLOR TO MATCH SW6127 (IVOIRE)
PC-2	INTEGRAL COLORED PRECAST INSULATED CONCRETE PANEL (ACCENT COLOR)	REFER TO SPECIFICATIONS	SANDBLAST FINISH, INTEGRAL COLOR TO MATCH SW6100 (PRACTICAL BEIGE)
B-1	THIN BRICK VENEER (SOLDIER COURSE & RUNNING BOND)	CAROLINA CERAMICS	DESERT TAN VELOUR
B-2	THIN BRICK VENEER (RUNNING BOND)	CAROLINA CERAMICS	PEBBLE BEACH VELOUR
B-3	MODULAR FACE BRICK VENEER (RUNNING BOND)	CAROLINA CERAMICS	DESERT TAN VELOUR
E-1	EIFS (FASCIA) & ACRYLIC PLASTER FINISH (UNDERSIDE OF CANOPY)	STO SYSTEMS OR DRYVIT SYSTEMS, INC	SANDBLEB FINISH, TEXTURE, COLOR TO MATCH SW6100 (PRACTICAL BEIGE)
M-1	PREFINISHED METAL COPING	REFER TO SPECIFICATIONS	COLOR TO MATCH SW6127 (IVOIRE)
M-2	CORRUGATED ROOF SCREEN WALL PANELS, COPING, EDGE & CORNER TRIM	REFER TO SPECIFICATIONS	COLOR TO MATCH SW6127 (IVOIRE)
X	ALUMINUM WINDOW FRAMES	REFER TO SPECIFICATIONS	CLEAR ANODIZED
X	GLASS/GLAZING-VISION	REFER TO SPECIFICATIONS	SUNGUARD LIGHT BLUE 63
III	EXTERIOR HM DOORS, FRAMES & LOUVERS	REFER TO SPECIFICATIONS	PAINT TO MATCH THE PRECAST PANEL THE COMPONENT IS LOCATED IN

William E. Hereford, III AR 96247
06-30-2016



TITLE
**SITE ORIENTATION
PLAN**

SHEET
A100

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F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

PROJECT
216006.00
LOCATION
Doral, Florida

**Freestanding
Emergency
Department**

Schematic Design

William E. Hereford, III
06-30-2016
ADDENDUM 2 01/28/16
ADDENDUM 3 02/05/16

FLOOR PLAN -
NOTED
A101

FLORIDA GENERAL NOTES	NOA LISTINGS
1. CONTRACTOR SHALL FILE A NOTICE OF COMMENCEMENT PRIOR TO STARTING ANY NEW WORK ON THIS PROJECT. REFER TO FEC 105.0.	ACCESS HATCH (ROOF) NOA# 12-0320.24
2. AS PER FEC 1816.1, ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED FOR THIS WORK. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT STATES THE FOLLOWING: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."	EIFS NOA# 13-0418.04
3. CONTRACTOR SHALL OBTAIN ARCHITECT/ENGINEER OF RECORD APPROVALS BEFORE SUBMITTING DOCUMENTS/SHOP DRAWINGS TO AHJ.	ALUMINUM FIXED WINDOW NOA# 13-0917.06
	GLAZING NOA# 12-1120.04
	ALUMINUM LOUVER NOA# 12-0830.07
	ALUMINUM SLIDING DOOR NOA# 13-0524.23
	TPO ROOFING NOA# 13-0522.07
	METAL COPINGS NOA# 11-0424.08
	ROOF MECHANICAL SCREEN NOA# 12-0625.03
	HOLLOW METAL DOORS FL Product# 11597-R6

BLOX LEGEND	
*REFER TO BLOX VENDOR DRAWINGS FOR MORE INFORMATION.	
BLOX MODULAR UNITS	
HEX02	EXAM ROOM HEADWALL
HEX03	EXAM ROOM HEADWALL (SECURE HOLD)
SER01	EXAM ROOM SINKWALL
SER02	EXAM ROOM SINKWALL (CT SCAN & GEN RAD)
BGP02	GENERAL ADA TOILET (PUBLIC TL)
BGP03	GENERAL ADA TOILET (3'-0" DOOR)
BGP04	GENERAL ADA TOILET (3'-6" DOOR)
HTR01	RESUSCITATION ROOM HEADWALL
STR01	SCRUB SINKWALL
SGP01	GENERAL PURPOSE SINKWALL
SGP02	GENERAL PURPOSE SINKWALL

PARTITION LEGEND	
(Symbol)	1-HR FIRE BARRIER
(Symbol)	1-HR FIRE BARRIER (SHAFT WALL)
(Symbol)	1-HR FIRE/SMOKE BARRIER (SMOKE COMPARTMENT WALL)
(Symbol)	SMOKE PARTITION (CORRIDOR WALLS)
(Symbol)	BLOX PROVIDED SMOKE PARTITION (CORRIDOR WALLS)
(Symbol)	NON-RATED INTERIOR PARTITION

- ### FLOOR PLAN NOTES
- G.C. SHALL VERIFY DIMENSIONS OF OWNER FURNISHED EQUIPMENT AND COORDINATE INSTALLATION WITH ALL TRADES WHERE REQUIRED.
 - REFER TO FINISH SHEETS FOR PARTITION PROTECTION INFORMATION INCLUDING BUT NOT LIMITED TO ALL CORNER GUARD TYPES AND LOCATIONS.
 - G.C. SHALL INSTALL IN-WALL METAL BACKING FOR ALL PARTITION-MOUNTED EQUIPMENT, ACCESSORIES, PARTITION STOPS, ETC.
 - G.C. SHALL INSTALL FIRE-RETARDANT MOOD BLOCKING WITHIN WALLS BASED ON CASEWORK ELEVATIONS AND ALL INTERIOR PARTITION ELEVATIONS.
 - ALL INTERIOR WALLS SHALL RECEIVE 5/8" TYPE 'X' GYPSUM BOARD.
 - G.C. SHALL PROVIDE UL APPROVED FIRE-RESISTIVE PENETRATION SYSTEMS WHERE PLUMBING IS LOCATED IN A FIRE-RATED PARTITION ASSEMBLY.
 - ALL EXTERIOR WINDOWS OPEN TO THE INTERIOR SHALL RECEIVE A SOLID SURFACE WINDOW STOOL. REFER TO FINISH DRAWINGS FOR MATERIAL SELECTION.
 - ALL CORRIDOR WALLS SHALL BE CONSTRUCTED AS NON-RATED SMOKE PARTITIONS.
 - EXTEND ALL RATED WALLS TO DECK PER UL ASSEMBLY REQUIREMENTS. REFER TO 6002 FOR INTERIOR PARTITION TYPES & DETAILS.
 - REFER TO 2/6002 FOR RATED PARTITION PRIORITY AND RATED PARTITION INTERSECTIONS.

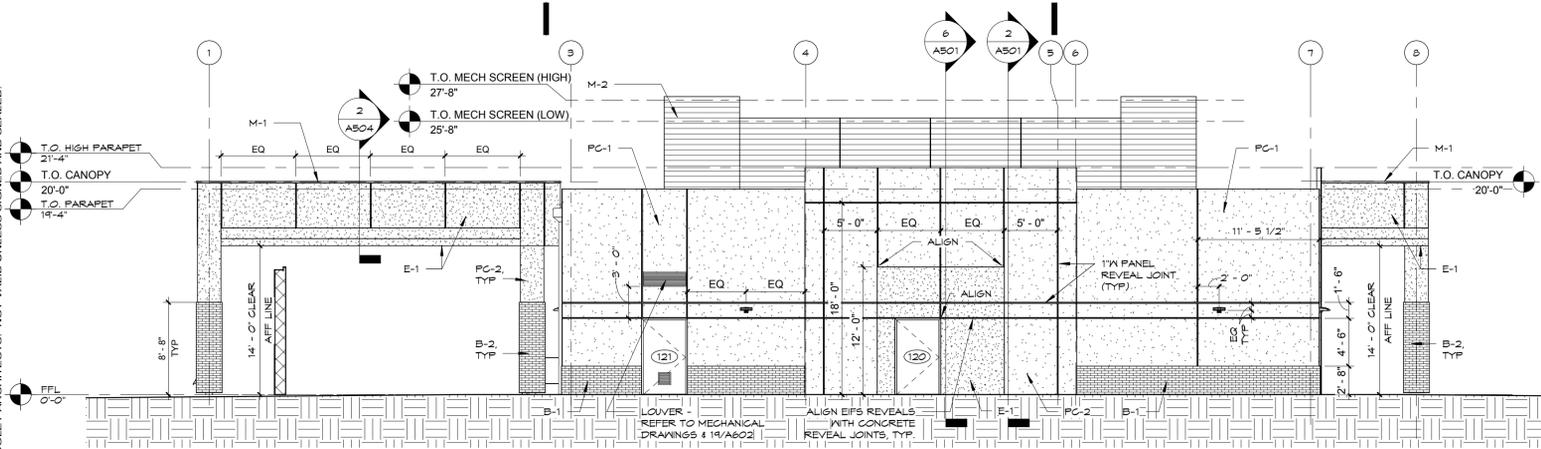
- ### KEYED NOTES
- PROVIDE 1/2" FIRE RETARDANT PLYWOOD BACKING BEHIND WALL-HUNG BINS
 - PROVIDE LEAD LINING IN THIS ROOM PER PHYSICIST REPORT SHIELDING REQUIREMENTS
 - CASEWORK AND EQUIPMENT SHALL WITHSTAND 1000 LBS MIN. VERTICAL FORCE.
 - PROVIDE SIGNAGE ON EXTERIOR DOOR STATING 'DECONTAMINATION'
 - 2" RECESSED SLAB IV SLOPED TOPPING CONC. AND FLOOR DRAIN
 - PROVIDE HAND WASHING STATION, NURSE CALL, AND TELEPHONE OUTLET
 - PROVIDE DELUZE SHOWER AND EYEWASH COMBO IN LAB - COORD. WITH PLUMBING FOR LOCATION AND DRAIN
 - ROOF ACCESS LADDER AND HATCH
 - 3-PHASE GOVT RACK - SEE 6003
 - ALL OUTLETS AND DEVICES SHALL BE 60" AFF MIN.
 - PROVIDE 4" CONC. PADS FOR EQUIPMENT. SEE MECH.
 - PROVIDE MOP SHELF 60" AFF
 - PROVIDE 96" H FIRE-RETARDANT PLYWOOD ALL WALLS THIS ROOM
 - COFFEE BAR WITH WATER HOOK-UP
 - (2) HAND HELD SHOWER HEADS - SEE PLUMBING
 - PROVIDE 1" REDLINE STRIPE 18" BELOW CEILING LEVEL THIS ROOM
 - DROP-IN S.S. SINK CFCI - BASE CABINET BY LAB VENDOR
 - PROVIDE 3" YELLOW STRIPING 36" OUT FROM EACH ELEC. PANEL
 - GC TO INSTALL THIS PORTION OF 1-HR FIRE/SMOKE BARRIER PRIOR TO SETTING BLOX MODULAR COMPONENT SGP02R.

ROOM SCHEDULE		
Room #	Room Name	Clear Floor Area
101	EXAM	121 SF
102	RESUSCITATION	254 SF
110	EXAM	121 SF
114	EXAM	121 SF
116	SECURE HOLD EXAM	134 SF
118	ISO EXAM	131 SF
133	EXAM	121 SF
135	PELVIC EXAM	124 SF
137	BARIATRIC EXAM	200 SF
139	EXAM	121 SF
140	EXAM	121 SF
142	TRIAGE	117 SF

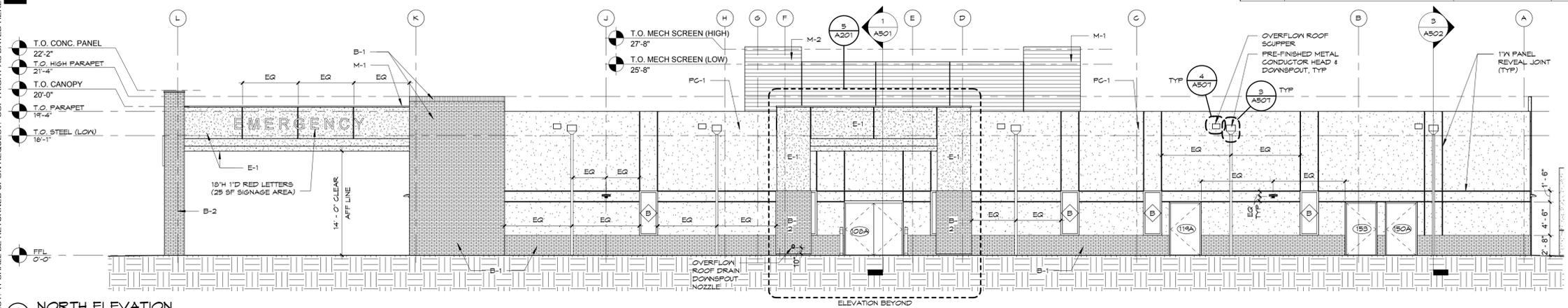


1 FLOOR PLAN
1/8" = 1'-0"

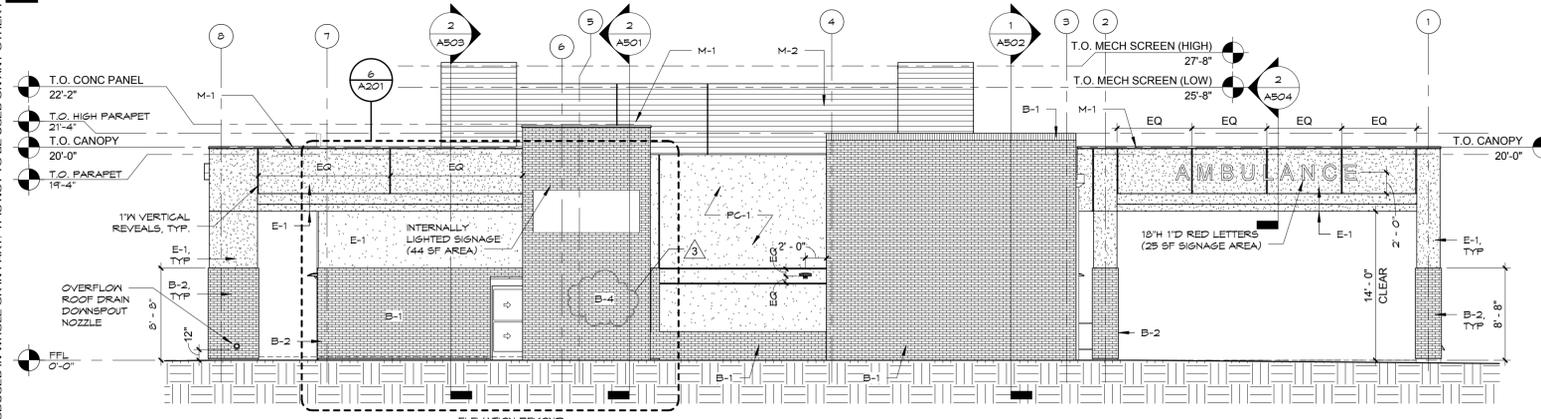
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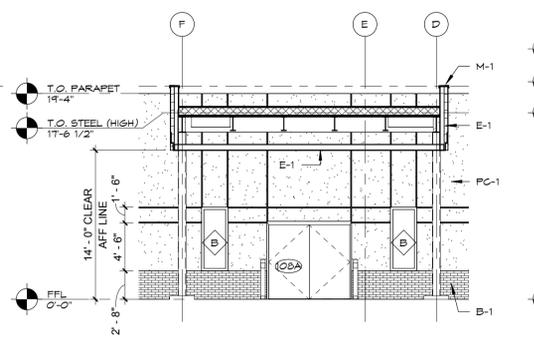
1 WEST ELEVATION
1/8" = 1'-0"



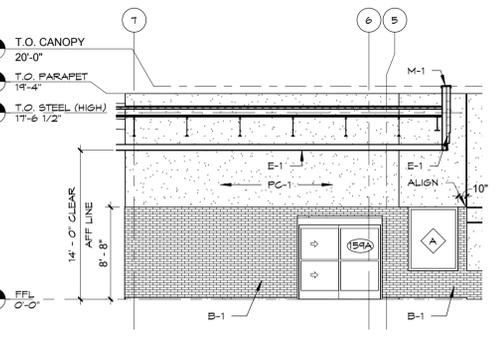
2 NORTH ELEVATION
1/8" = 1'-0"



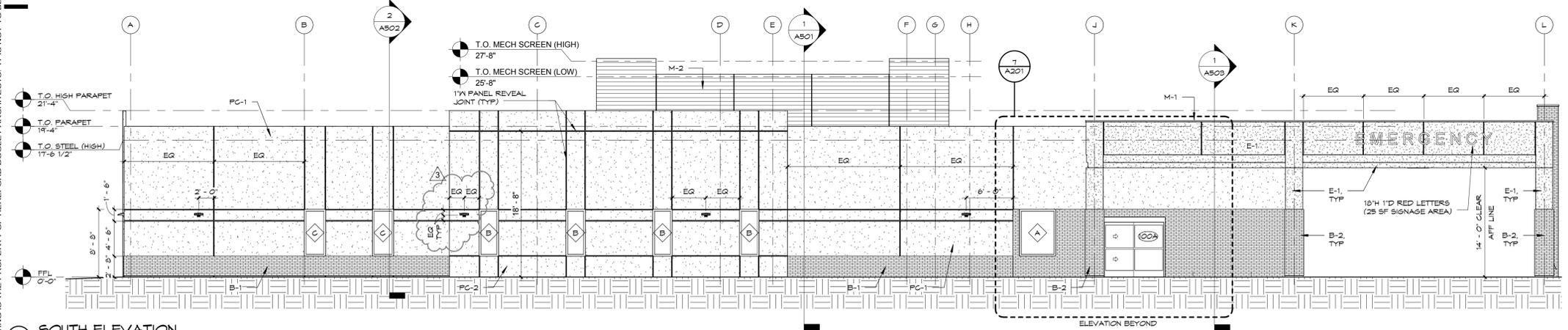
3 EAST ELEVATION
1/8" = 1'-0"



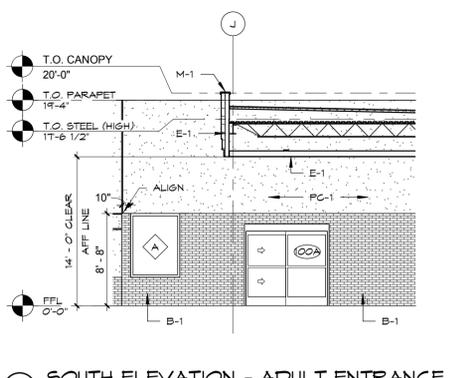
5 NORTH ELEVATION - AMBULANCE ENTRANCE
1/8" = 1'-0"



6 EAST ELEVATION - PEDIATRIC ENTRANCE
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



7 SOUTH ELEVATION - ADULT ENTRANCE
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MARKER	PRODUCT	MANUFACTURER	COLOR/FINISH
PC-1	INTEGRAL COLORED PRECAST INSULATED CONCRETE PANEL (FIELD COLOR)	REFER TO SPECIFICATIONS	SANDBLAST FINISH, INTEGRAL COLOR TO MATCH SW6127 (IVOIRE)
PC-2	INTEGRAL COLORED PRECAST INSULATED CONCRETE PANEL (ACCENT COLOR)	REFER TO SPECIFICATIONS	SANDBLAST FINISH, INTEGRAL COLOR TO MATCH SW6100 (PRACTICAL BEIGE)
B-1	THIN BRICK VENEER (SOLDIER COURSE & RUNNING BOND)	CAROLINA CERAMICS	DESERT TAN VELOUR
B-2	THIN BRICK VENEER (RUNNING BOND)	CAROLINA CERAMICS	PEBBLE BEACH VELOUR
B-3	MODULAR FACE BRICK VENEER (RUNNING BOND)	CAROLINA CERAMICS	DESERT TAN VELOUR
B-4	MODULAR FACE BRICK VENEER (RUNNING BOND)	CAROLINA CERAMICS	PEBBLE BEACH VELOUR
E-1	EIFS (FASCIA) & ACRYLIC PLASTER FINISH (UNDERSIDE OF CANOPY)	STO SYSTEMS OR DRYVIT SYSTEMS, INC	SANDBLEND FINE TEXTURE, COLOR TO MATCH SW6100 (PRACTICAL BEIGE)
M-1	PREFINISHED METAL COPING	REFER TO SPECIFICATIONS	COLOR TO MATCH SW6127 (IVOIRE)
M-2	CORRUGATED ROOF SCREEN WALL PANELS, COPING, EDGE & CORNER TRIM	REFER TO SPECIFICATIONS	COLOR TO MATCH SW6127 (IVOIRE)
◇	ALUMINUM WINDOW FRAMES	REFER TO SPECIFICATIONS	CLEAR ANODIZED
◇	GLASS/GLAZING-VISION	REFER TO SPECIFICATIONS	SUNGUARD LIGHT BLUE 63
###	EXTERIOR HM DOORS, FRAMES & LOUVERS	REFER TO SPECIFICATIONS	PAINT TO MATCH THE PRECAST PANEL THE COMPONENT IS LOCATED IN



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PROJECT
216006.00
LOCATION
Doral, Florida

Freestanding
Emergency
Department

Schematic Design

William E. Hereford, III AR 96247
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2 ADDENDUM 2 01/28/16
3 ADDENDUM 3 02/05/16

TITLE
EXTERIOR ELEVATIONS

SHEET
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