

RESOLUTION No. 21-32

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING/DENYING THE SITE PLAN FOR BRIDGEPREP ACADEMY LOCATED AT 3500 NW 89 COURT, DORAL, FLORIDA; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, MG3 Doral School, LLC. (the “Applicant”) has submitted an Application requesting Mayor and City Council site plan approval pursuant to Section 53-184(f) of the City’s Land Development Code (LDC), for BridgePrep Academy, a public charter school, located at 3500 NW 89 Court, Doral, FL 33172, as legally described in “Exhibit A”; and

WHEREAS, a zoning workshop was held on December 9, 2020, at which meeting the public was afforded an opportunity to examine the project and provide feedback; and

WHEREAS, after notice of public hearing duly published and notifications of all property owners of record within 500-foot radius, a public hearing was held before the Mayor and City Council of the City of Doral on January 27, 2021, at which hearing all interested persons were afforded the opportunity to be heard; and

WHEREAS, Staff finds that the proposed site plan is consistent with the City’s Comprehensive Plan and complies with the requirements and standards of the Land Development Code; and

WHEREAS, the Mayor and City Council of the City of Doral find the adoption and implementation of this Resolution is in the best interest and welfare of the residents of the City.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

Section 1. The above recitals are confirmed, adopted, and incorporated herein and made part hereof by this reference.

Section 2. The City Council hereby approves the site plan for BridgePrep Academy, as legally described in “Exhibit A.” The site plan comprises of the new school campus for BridgePrep Academy, a public charter school consisting of grades K-8. A copy of the site plan is provided in “Exhibit B.” The approval of the site plan is subject to the following conditions. Violation of the conditions may result in a code compliance citation or the revocation of this Resolution.

1. The maximum number of students will be 1,650 subject to the phases and satisfaction of the conditions identified below.
2. The student population will be phased in as follows: 650 students maximum in year 1; 975 students maximum in year 2; 1200 students maximum in year 3; 1650 students maximum in year 4.
3. The owner will conduct a new Traffic Study and update its Traffic Operations Plan at the end of year 2. The traffic study and operations plan shall be prepared in accordance with applicable industry standards. The report shall be reviewed for any potential impacts by the City’s Public Works Department and Miami-Dade County before increasing enrollment from 975 students in year 3.
4. The owner will update the Traffic Study and update its Traffic Operations Plan and obtain approval from the City’s Public Works Department and Miami-Dade County each year it desires to increase enrollment until it reaches its cap of 1650 students.
5. Beginning in year one and for every year thereafter, the school will have three equal shifts, one hour apart, for arrival and dismissal as follows: Shift 1: 7 AM - 2:30 PM; Shift 2: 8 AM - 3:30 PM; Shift 3: 9 AM - 4:30 PM.
6. The above shifts may be adjusted by the school operator provided it maintains the one-hour separation between shifts. Any adjustment in shifts must be provided to the City and Miami-Dade County 30-days prior to implementation to allow the City and Miami-Dade County sufficient time to review and approve for any potential impacts.
7. No less than sixty days prior to time for the annual renewal of the annual Certificate of Use, the owner shall submit to the Planning and Zoning Department the Traffic Study and update; Traffic Operations Plan and a letter from the principal of the school detailing the number of students and the grade levels that are currently enrolled in said facility.

8. That a traffic signal shall be required at NW 33 Street and NW 89 Court at the expense of the school. If not warranted, a 100% contribution shall be required towards the cost of a traffic signal prior to the issuance of the Certificate of Occupancy (CO). A traffic signal shall be required at NW 35 Lane and NW 87 Avenue at the expense of the school. If not warranted, a 50% contribution shall be required towards the cost of a traffic signal prior to the issuance of the CO.
9. That prior to issuance of Temporary Certificate of Occupancy (TCO) or Certificate of Occupancy (CO), Miami-Dade County approved plans be submitted for review and approval to the City's Public Works Department for the requirements of new flashers and school zone striping and signage throughout.
10. All applicable impact fees shall be paid by the Applicant prior to issuance of a building permit.
11. The proposed project shall be built in substantial conformance with the plans entitled "BridgePrep Academy at Doral" prepared by Lorente Architects, consisting of 17 sheets dated stamped received January 7, 2021.
12. The Property shall be landscaped in accordance with the landscape plan, prepared by Lorente Architects, dated stamped received January 7, 2021, as amended, and included with the site plan submittal.
13. Compliance with Ordinance No. 2015-09, "Public Arts Program" will be required at the time of building permit, if applicable.
14. Provide irrigation plans at time of building permit.
15. Provide photometric plans at time of building permit.
16. Provide compliance with the Floodplain Management regulation (Chapter 23, Article II, Floodplain Management) of the City's Land Development Code.
17. Developer shall be responsible for providing the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
18. A Stormwater Pollution Prevention Plan (SWPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed, and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
19. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP) Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>.

Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.

20. The Applicant shall preserve existing trees (including native trees) during the development of the project, wherever possible. If the trees must be removed, the Applicant shall be required to mitigate the impact in accordance with DRER requirements. If the relocated trees do not survive, the Applicant shall be required to replace the trees in compliance with DRER requirements.
21. The hours of operation during the construction shall adhere to as per Noise Ordinance No. 2011-01.
22. Approval from Division of Environmental Resources Management (DERM) is required at time of building permit. If DERM's requirements result in a modification to the approved administrative site plan, which may include but is not limited to, the layout of proposed parking field, the Applicant will be fully responsible to meet those requirements prior to building permit approval.
23. Approval from Miami-Dade County Fire Department is required at time of building permit.
24. All applicable local, state and federal permits must be obtained before commencement of the development.
25. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
26. Noncompliance with the approved site plan and the terms of this approval shall be considered a violation of the City Code. Penalties for such violation(s) shall be prescribed by the City Code, which include, but are not limited to, the revocation of the approval granted by this Resolution.
27. Applicant shall comply with any other outstanding conditions recommended by the Mayor and City Council, Public Works Department, Planning & Zoning Department or Miami-Dade County.

Section 3. The City Manager or his/her designee are hereby authorized to take such action as may be necessary to implement the purpose and provisions of this Resolution.

Section 4. The Resolution shall take effect immediately upon adoption.

The foregoing Resolution was offered by Vice Mayor Cabrera who moved its adoption. The motion was seconded by Councilmember Mariaca and upon being put to a vote, the vote was as follows:

Mayor Juan Carlos Bermudez	Yes
Vice Mayor Pete Cabrera	Yes
Councilwoman Digna Cabral	Yes
Councilwoman Claudia Mariaca	Yes
Councilman Oscar Puig-Corve	Yes

PASSED AND ADOPTED this 27 day of January, 2021.



JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:



CONNIE DIAZ, MMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



LUIS FIGUEREDO, ESQ.
CITY ATTORNEY

EXHIBIT “A”

Exhibit A

Legal description for the subject property:

Lots 8, 9 and 13 of Block 1, of “WestPointe Business Park” according to the Plat thereof, as recorded in Plat Book 147 at Page 25 of the Public Records of Miami-Dade County, Florida, LESS the West 290.67 feet of Lot 13 containing 6.09 Acres more or less.

EXHIBIT “B”

NOTES:

- SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- FABRIC: 12-1/2 GAGE MINIMUM.
- TENSION BANDS: USE ONE LESS THAN THE HEIGHT OF THE FENCE IN FEET EVENLY SPACED.
- FABRIC TIES: MUST BE MINIMUM THE SAME GAGE OF THE FABRIC.
- FABRIC TIE SPACING ON THE TOP RAIL: FIVE TIES BETWEEN POSTS, EVENLY SPACED.
- FABRIC TIE SPACING ON LINE POSTS: ONE LESS THAN HEIGHT OF THE FENCE IN FEET, EVENLY SPACED.
- EITHER TOP RAIL OR TOP TENSION WIRE SHALL BE USED.
- BRACES MUST BE USED AT TERMINAL POST IF TOP TENSION WIRE IS USED INSTEAD OF TOP RAIL.
- IN ORDER TO FOLLOW THE CONTOUR OF THE LAND, THE BOTTOM OF THE FENCE MAY CLEAR THE CONTOUR OF THE GROUND BY UP TO 5 INCH WITHOUT INCREASING TABLE VALUES TO THE NEXT HIGHER LIMIT.
- PROVIDE TOP RAILS, MID RAILS AND BOTTOM RAILS AS REQUIRED.
- ALL WORK TO COMPLY WITH FLORIDA BUILDING CODE (FBC).

FENCE HEIGHT	TERMINAL POST SIZE AND THICK	TERMINAL POST FOOTING	LINE POST SIZE AND THICK	LINE POST FOOTING
OVER 5' TO 6'	2 3/8" x 0.042	10" x 24"	1 7/8" x 0.065	8" x 24"
OVER 10' TO 12'	2 7/8" x 0.160	10" x 42"	2 7/8" x 0.120	12" x 42"

ALL POSTS, TOP RAILS, BRACES, & GATE FRAMES TO BE SCHEDULED 40 GALVANIZED PIPE AS PER ASTM A 120 OR SS40 TUBE PIPE - ALL FINISHES TO MATCH FENCE FABRIC

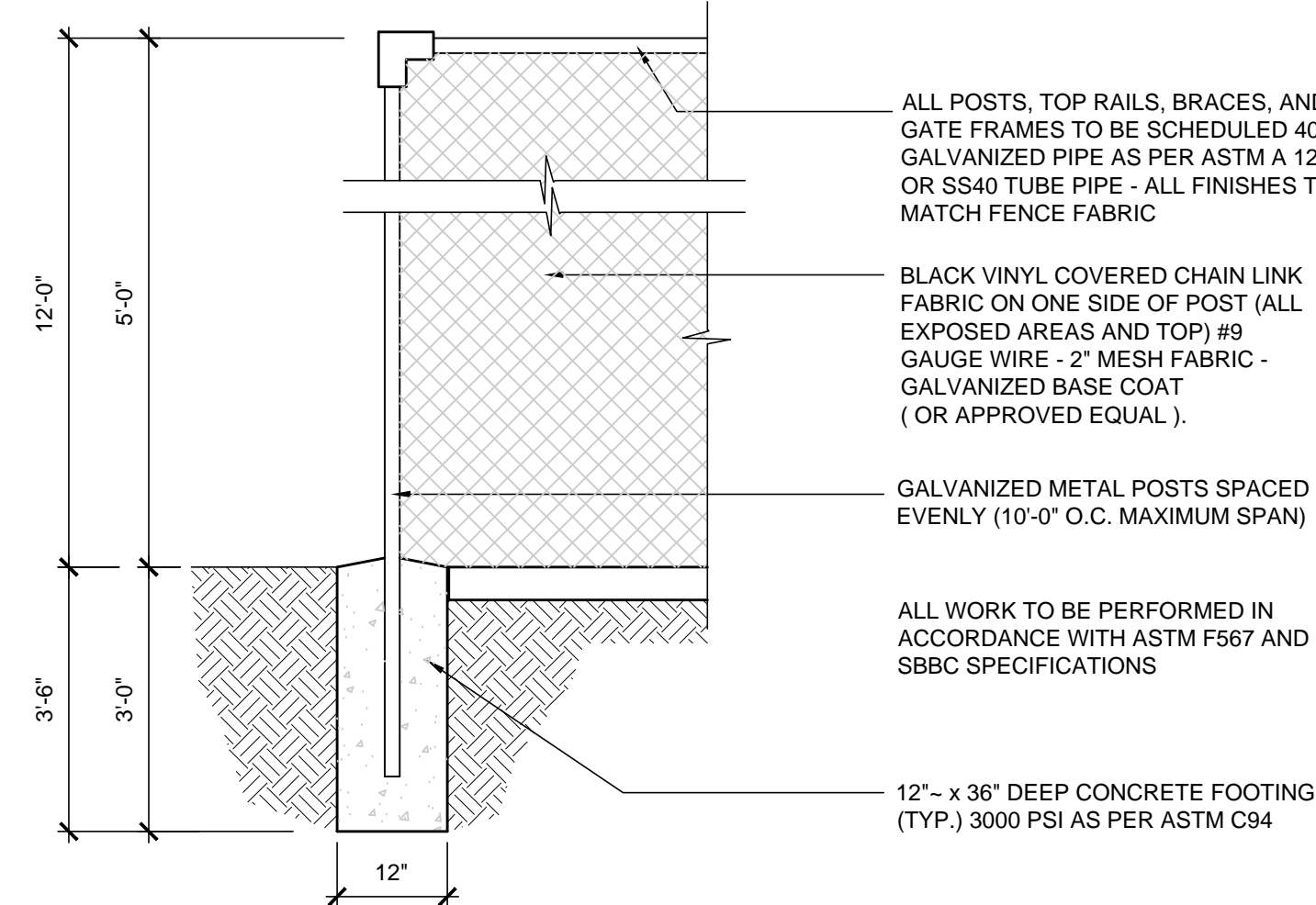
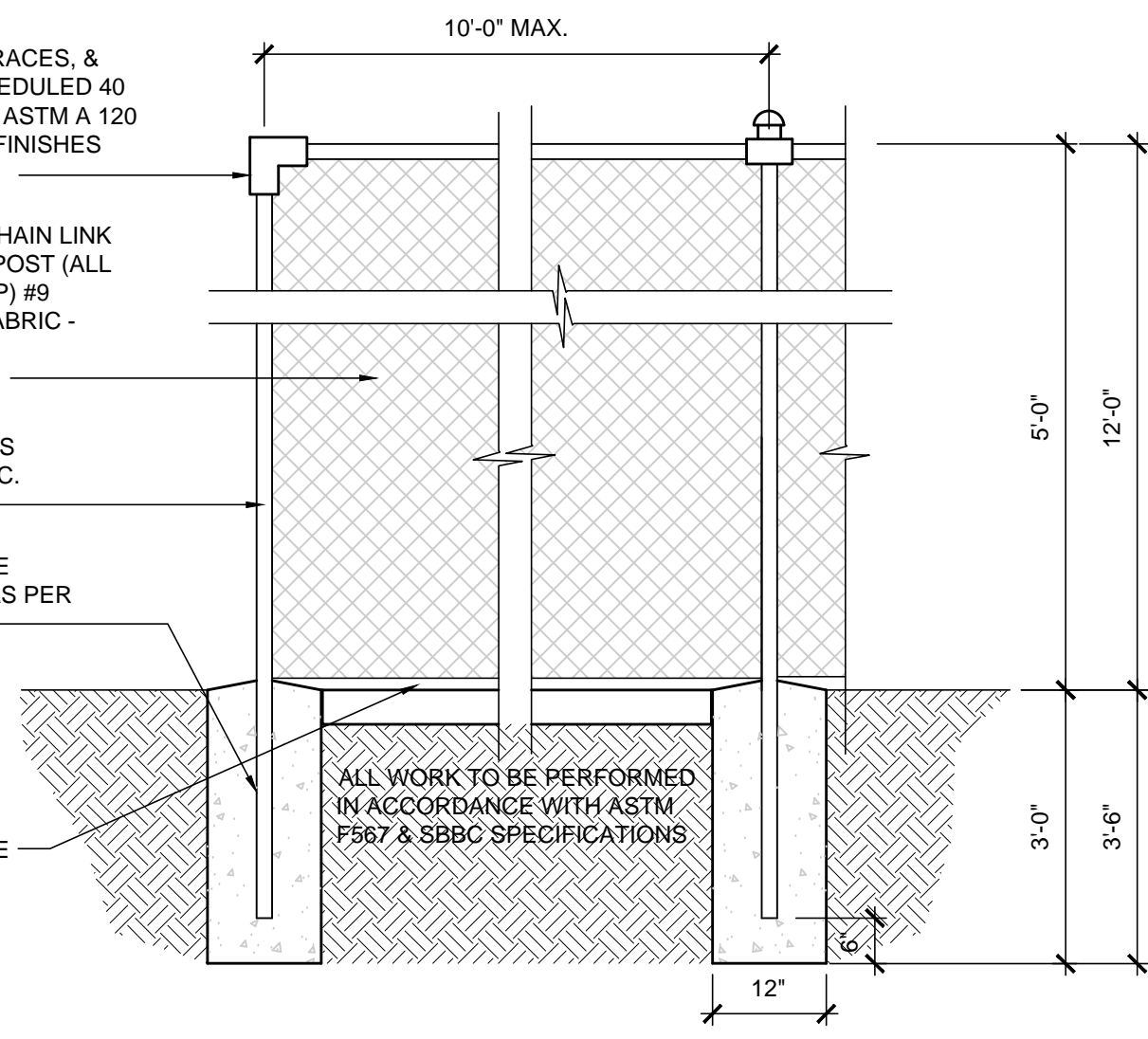
BLACK VINYL COVERED CHAIN LINK FABRIC ON ONE SIDE OF POST (ALL EXPOSED AREAS AND TOP) #9 GAUGE WIRE - 2" MESH FABRIC - GALVANIZED BASE COAT (OR APPROVED EQUAL).

GALVANIZED METAL POSTS SPACED EVENLY (10'-0" O.C. MAXIMUM SPAN)

12" - x 36" DEEP CONCRETE FOOTING (TYP.) 3000 PSI AS PER ASTM C94

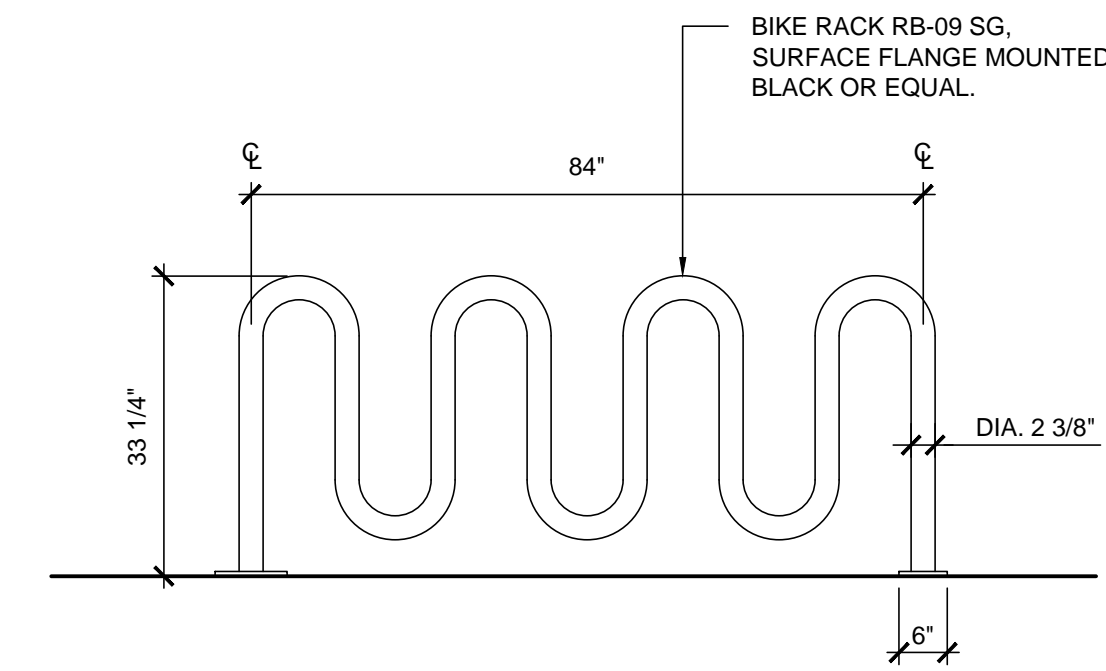
1" MIN. 3" MAX. CLEARANCE

ALL WORK TO BE PERFORMED IN ACCORDANCE WITH ASTM F567 & SBBC SPECIFICATIONS



RECEIVED
By Stephanie Puglia at 2:04 pm, Jan 07, 2021

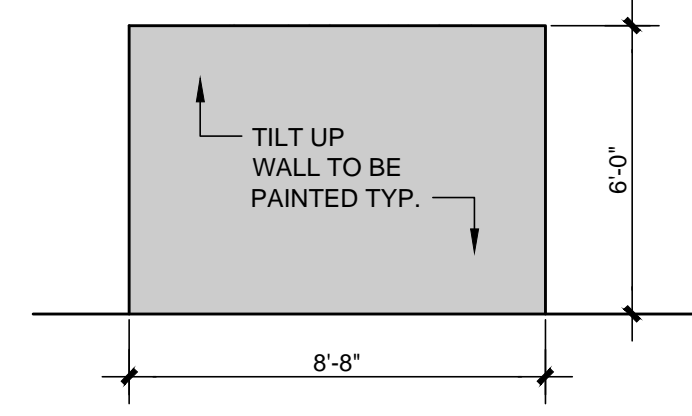
City of Doral
Application No. 2020090002 (343)
3rd Review



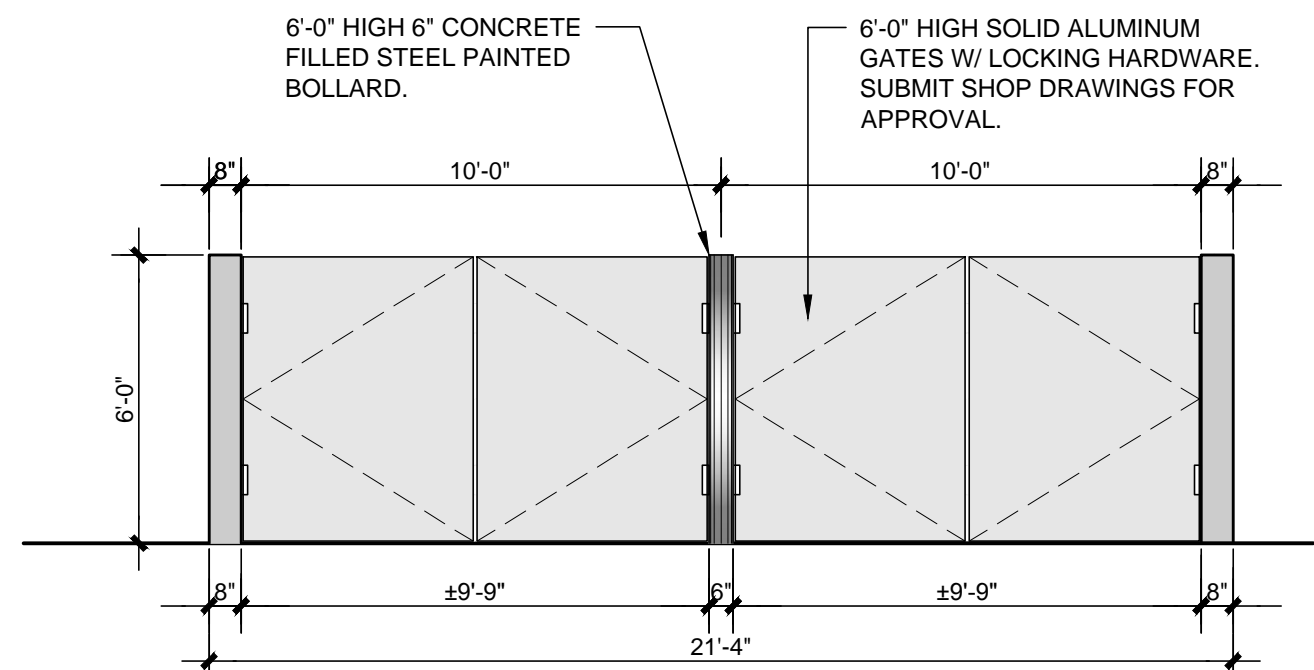
TYPICAL CHAINLINK FENCING DETAIL SCALE: 1/2" = 1'-0"

5 BIKE RACK DETAIL SCALE: 1/2" = 1'-0"

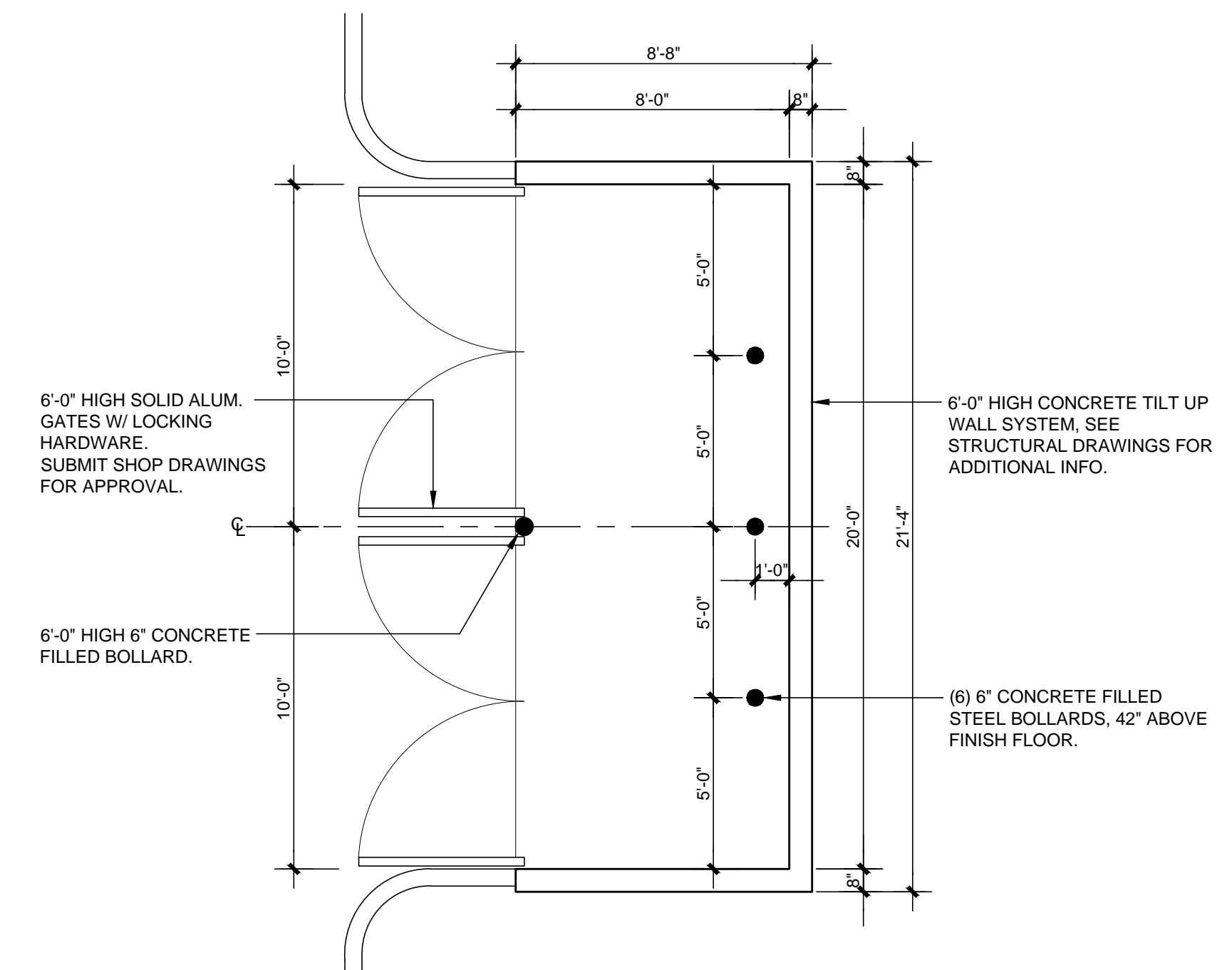
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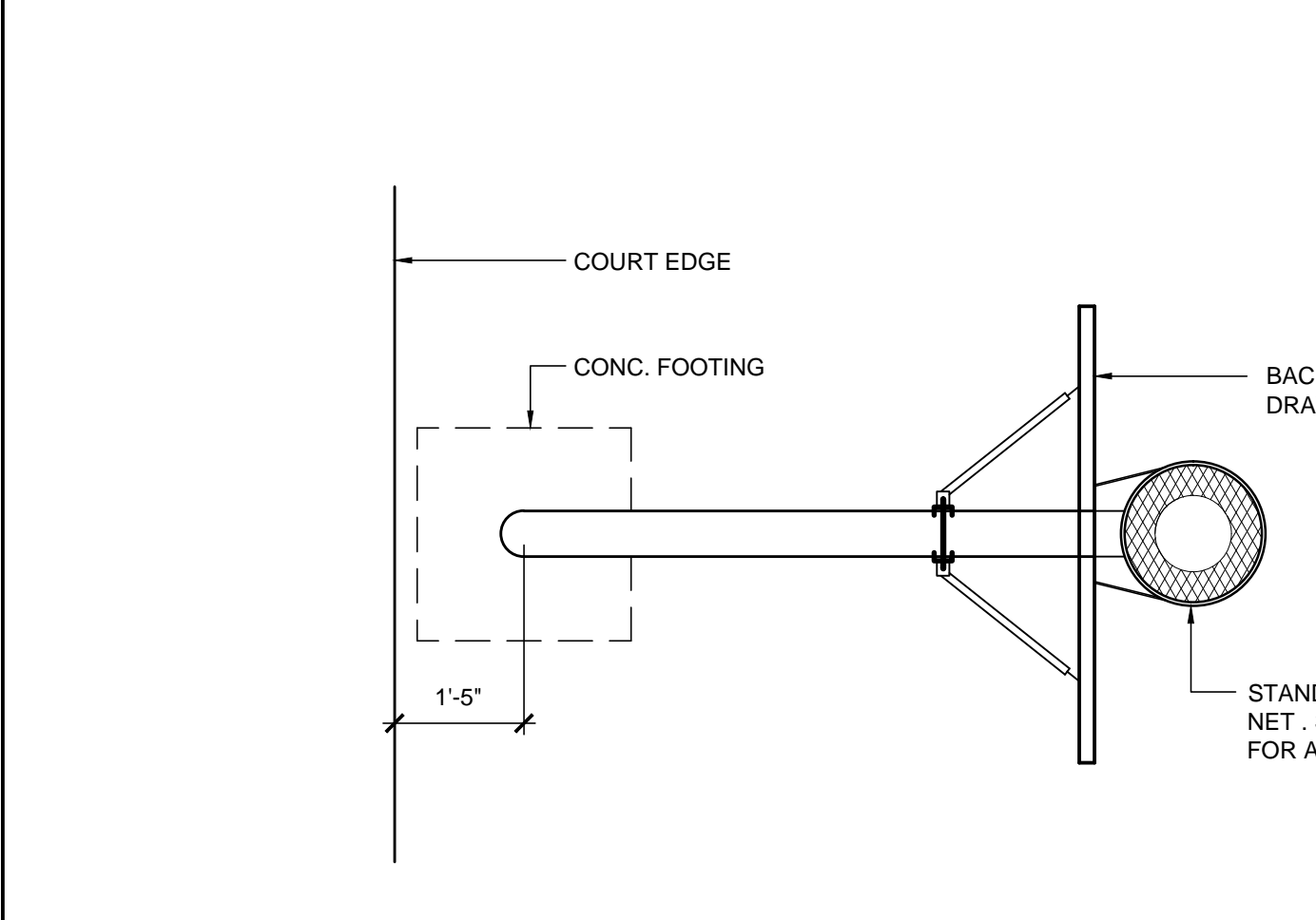
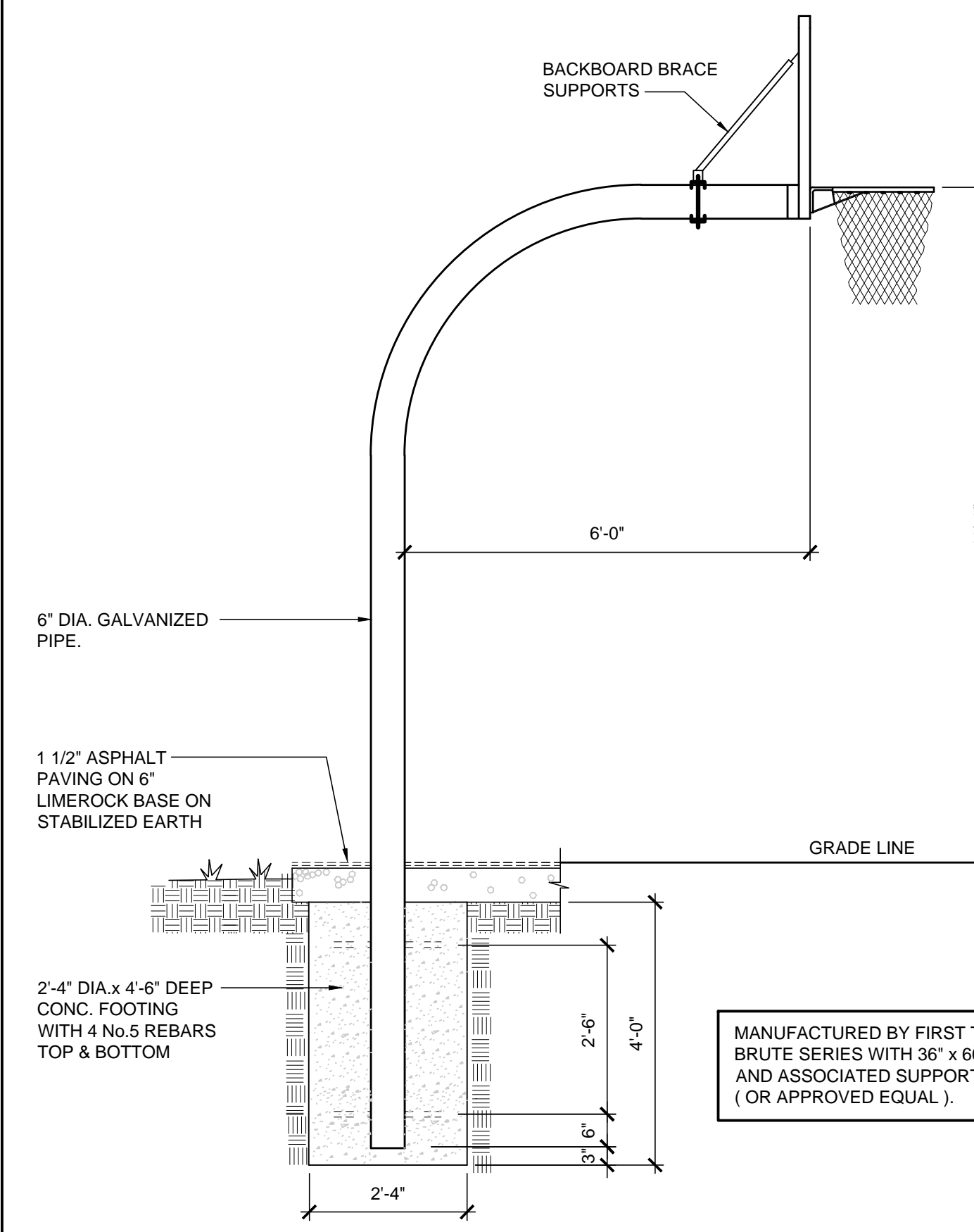
SIDE VIEW



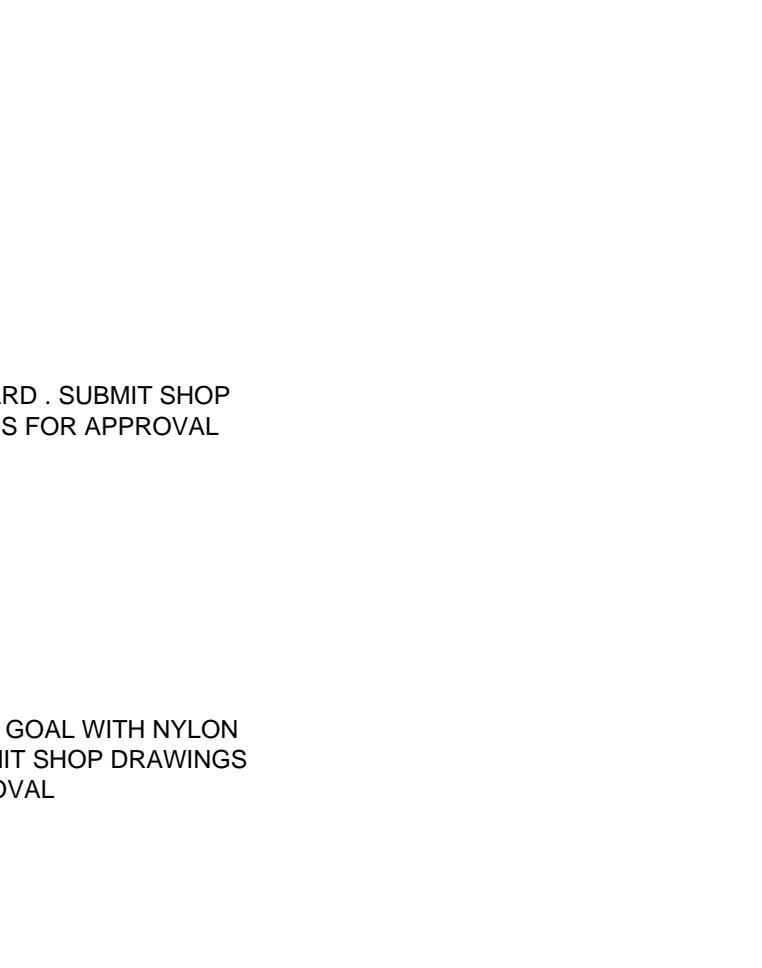
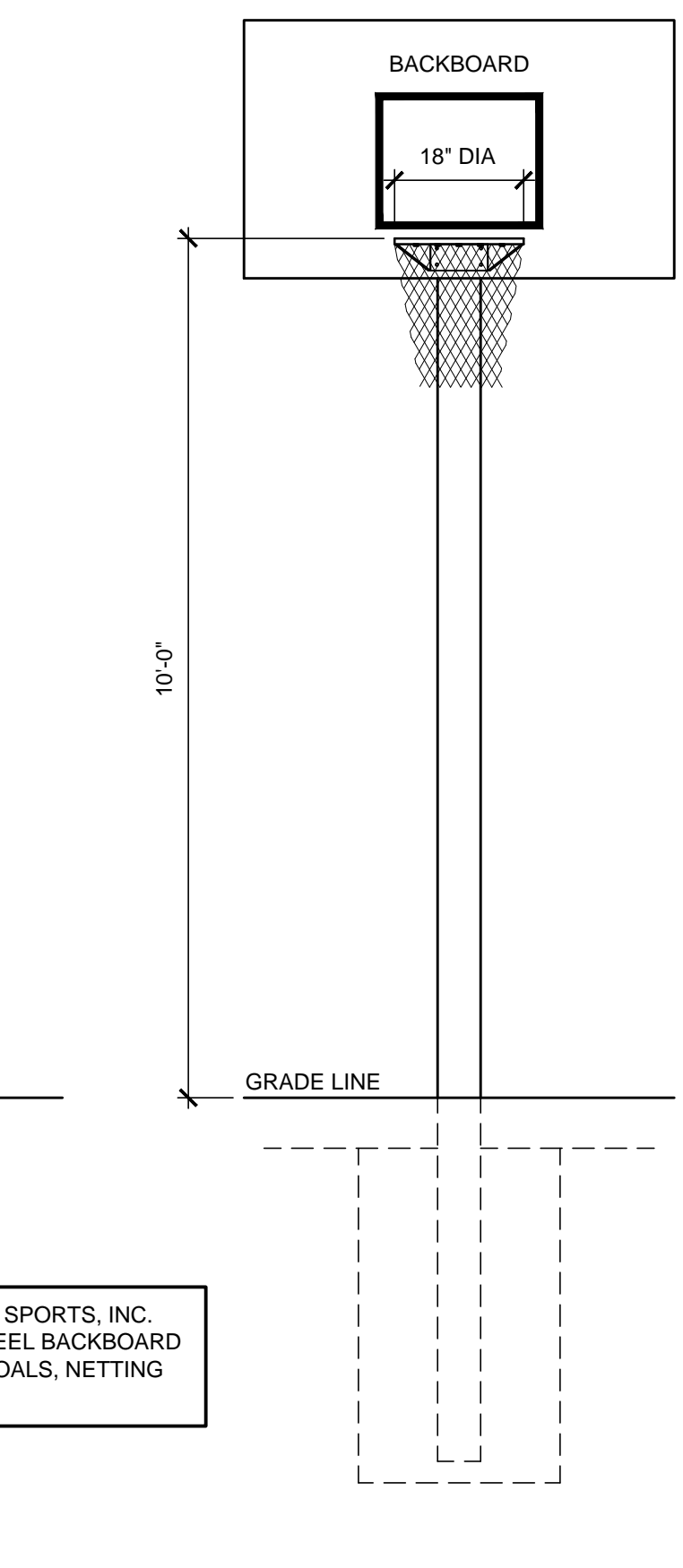
FRONT VIEW



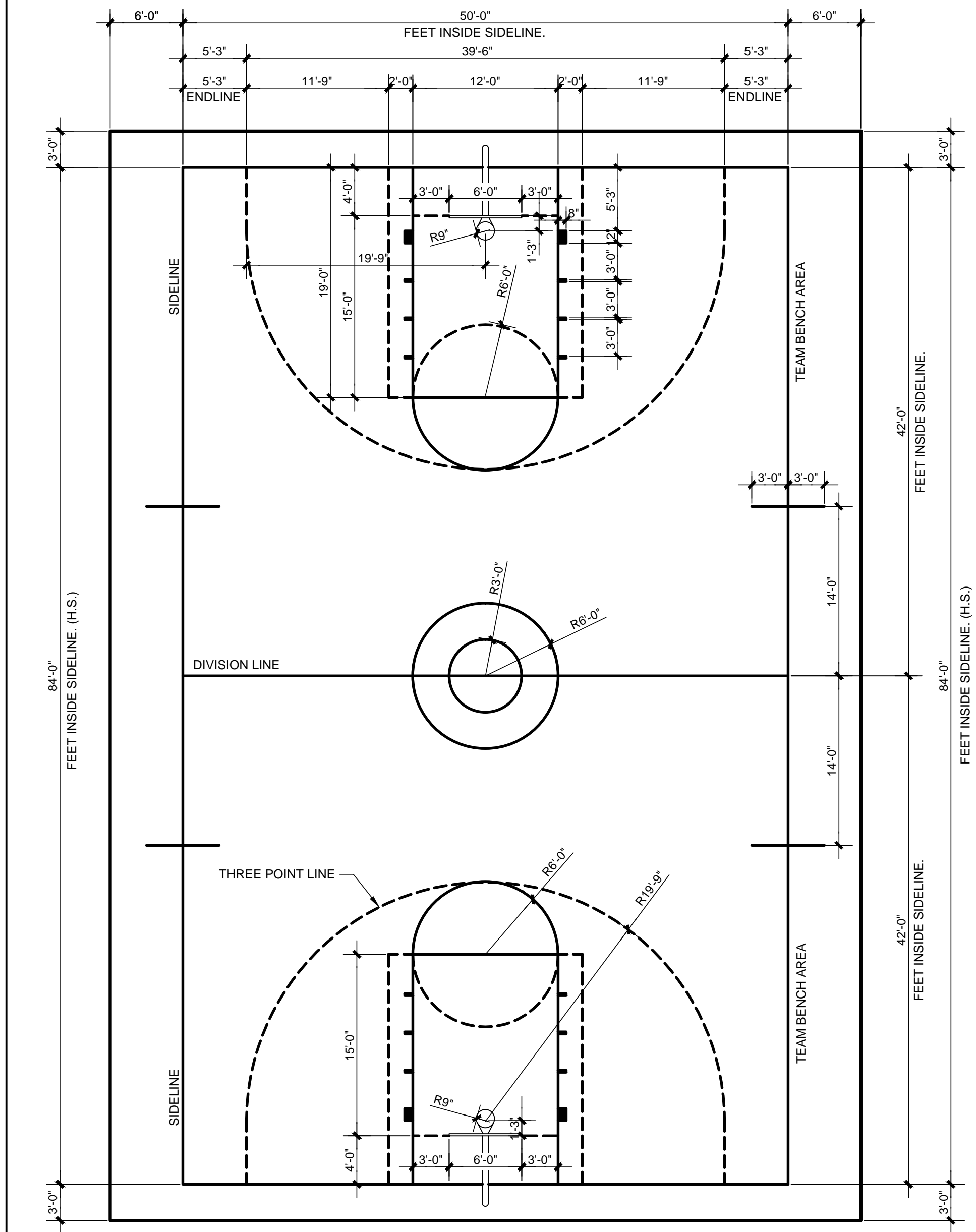
1 DUMPSTER ENCLOSURE LINE PLAN DETAIL SCALE: 1/4" = 1'-0"



3 BASKETBALL BACKBOARD DETAIL SCALE: 1/2" = 1'-0"



2 BASKETBALL COURT STRIPING DETAIL SCALE: 3/16" = 1'-0"



NOTES:

- THE 3-POINT LINE SHALL BE THE SAME COLOR AS THE FREE THROW LINE AND SEMICIRCLE.
- ALL LINES SHALL BE 2 INCHES WIDE (NEUTRAL ZONES EXCLUDED) END LINES AND SIDELINES SHALL BE A MINIMUM OF 2 INCHES IN WIDTH.
- THE COLOR OF THE LANE SPACE MARKS AND NEUTRAL ZONE MARKS SHALL CONTRAST WITH THE COLOR OF THE BOUNDING LINES. THE MID COURT MARKS SHALL BE THE SAME COLOR AS THE BOUNDARY LINES.
- (MINIMUM OF 3 FEET) UNOBSTRUCTED SPACE OUTSIDE.
- BASELINE IS 48" FROM THE FACE OF THE BACKBOARD.
- ALL LINES ARE TO BE ACCURATELY POSITIONED IN ACCORDANCE WITH REGULATIONS OF THE NATIONAL FEDERATION OF STATE HIGH SCHOOL ASSOCIATIONS.

1

IN ASSOCIATION WITH:

PROFESSIONAL SEAL:
STATE OF FLORIDA
ALBERTO LLORENTE
REGISTERED ARCHITECT
00012031
Alberto Llorente
AR-0012031

PROJECT:
BRIDEPREP ACADEMY AT DORAL
3500 NW 89th COURT
DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DRAWING INFORMATION:
SHEET TITLE:
SITE DETAILS

DELIVERY DATE: 01.04.2021
DRAWN BY: J.B.
CHECKED BY: ALL.
REF NUMBER:
SHEET NO. A100.1
3 of 46



BRIDEPREP ACADEMY AT DORAL

3500 NW 89th COURT
DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:
FIRST FLOOR LIFE SAFETY PLAN

DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

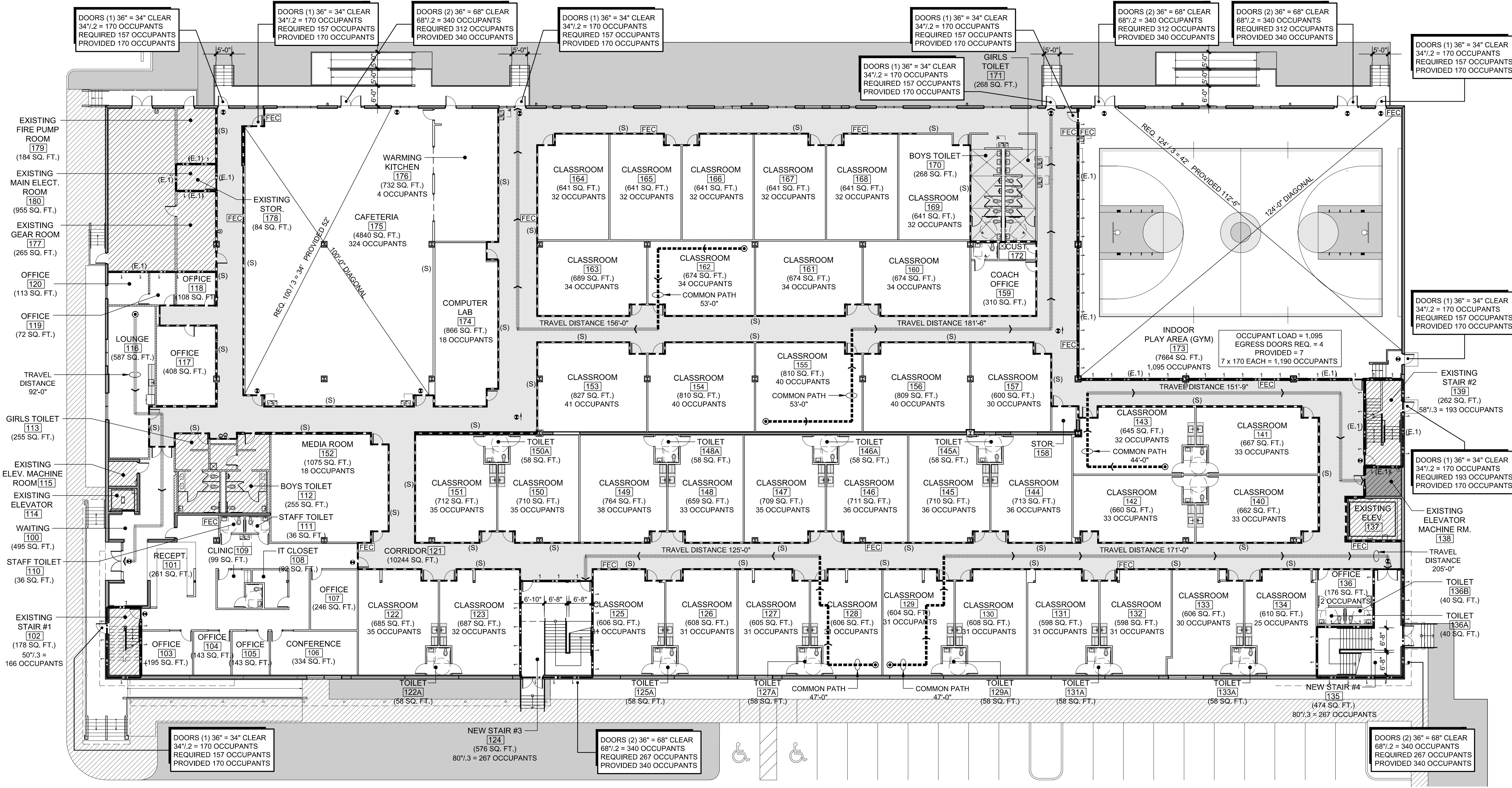
CHECKED BY: ALL

REF NUMBER:

SHEET NO. A101

LEGEND:

- NEW SMOKE RATED CORRIDOR
- NEW SMOKE RATED CORRIDOR AT FIRST FLOOR.
- NEW 1 HR FIRED RATED HORIZONTAL CEILING AT SECOND FLOOR BELOW.
- FIRE ALARM PULL STATION
- HORN & STROBE LIGHT, MOUNTED @ 6'-8"
- FLASHING STROBE LIGHT, MOUNTED AT 6'-8"
- CALL-IN STATION, INTERCOM SYSTEM (NORMAL & EMERGENCY)
- HEAT DETECTOR
- SMOKE DETECTOR
- MAGNETIC DOOR HOLDER
- FIRE EXTINGUISHER CABINET W/ TEMPERED GLASS DOOR
- EMERGENCY LIGHTING FIXTURES
- EMERGENCY LIGHTING FIXTURES
- EMERGENCY LIGHTING FIXTURES
- EXIT LIGHT
- CEILING MOUNTED EMERGENCY EXIT SIGN W/ DIRECTION OF TRAVEL
- 2 HOUR FIRE RESISTIVE WALL
- NEW 1 HOUR RATED PARTITION
- EXISTING 1 HOUR RATED PARTITION
- SMOKE PARTITION WALL
- TRAVEL DISTANCE (WORST CONDITION)
- FARTHEST POINT
- FIRE EXTINGUISHER
- EXIT DISCHARGE TO THE EXTERIOR
- FIRE SPRINKLER
- EMERGENCY EXIT DIAGRAM
- OCCUPANCY SIGN
- PROVIDE ROOM SIGN STATING 'DOOR SHALL BE KEPT UNLOCKED WHEN SCHOOL IS OCCUPIED'
- FIRE DEPARTMENT LOCK BOX



FIRST FLOOR LIFE SAFETY PLAN SCALE: 1/16" = 1'-0"

BRIDEPREP ACADEMY DORAL (LIFE SAFETY GENERAL PARAMETERS)

1. APPLICABLE CODES (INCLUDING BUT NOT LIMITED TO)
B. FLORIDA BUILDING CODE (FBC) 2017 EDITION
C. FLORIDA FIRE PREVENTION CODE (FFPC) 2017 6TH EDITION

2. BUILDING CLASSIFICATION OF OCCUPANCY & HAZARD CONTENT
A. EXISTING BUILDING BUSINESS/FACTORY/STORAGE
B. PROPOSED BUILDING EDUCATION GROUP E
FBC CHAPTER 3-SECTION 305 EDUCATIONAL GROUP E
C. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1

3. BUILDING CONSTRUCTION TYPE
A. EXISTING CONSTRUCTION FBC TYPE II-A
B. PROPOSED CONSTRUCTION FBC TYPE II-A
C. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1

4. ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (FBC TABLE 504.3)
A. ALLOWED: 85 FEET / ABOVE GRADE PLANE
B. PROVIDED: 58 FEET / ABOVE GRADE PLANE

5. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (FBC TABLE 504.4)
A. ALLOWED: 4 STORIES
B. PROVIDED: 3 STORIES

6. ALLOWABLE AREA FACTOR IN SQUARE FEET (FBC TABLE 506.2)
A. ALLOWED AREA 79,500 SF.
B. PROVIDED BUILDING AREA 65,620 SF.

7. COMMON PATH OF EGRESS TRAVEL FBC (TABLE 1006.2.1)
A. THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75 FEET
FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
B. FFPC TABLE A.7.6: THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100 FEET

8. MAXIMUM DEAD END CORRIDOR FBC 1020.4.2
A. SHALL NOT EXCEED 50 FEET
FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
B. FFPC TABLE A.7.6: THE DEAD END CORRIDOR SHALL NOT EXCEED 50 FEET

9. EXIT ACCESS TRAVEL DISTANCE FBC (TABLE 1017.2)
A. TRAVEL DISTANCE SHALL NOT EXCEED 250 FEET
FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
B. FFPC TABLE A.7.6: TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET

10. EXIT AND EXIT ACCESS DOORWAYS FBC TABLE 1006.3.1
A. TWO EXITS ARE REQUIRED FOR SPACES THAT EXCEED 49-50 OCCUPANTS
B. THREE EXITS ARE REQUIRED FOR SPACES THAT EXCEED 501-1000 OCCUPANTS
C. FOUR EXITS ARE REQUIRED FOR SPACES THAT EXCEED 1000 OCCUPANTS

11. FIRE-RESISTANT RATING REQUIREMENTS FOR BUILDING ELEMENT FBC TABLE 601
A. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
B. PRIMARY STRUCTURAL FRAME
C. BEARING WALLS
D. NON-BEARING WALLS AND PARTITIONS
E. FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS
F. ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS

12. CORRIDOR FIRE RESISTANCE RATING FBC TABLE 1020.1
A. REQUIRED FIRE RATING
FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1

13. INTERIOR WALLS AND CEILING FINISHES REQUIREMENT BY OCCUPANCY FBC (TABLE 903.11)
A. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
INTERIOR EXIT STAIRWAYS AND EXIT PASSAGE
CORRIDOR
ROOMS AND ENCLOSED SPACES

14. MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT FBC CHAPTER 10 AND NFPA 101

ROOM	FUNCTION OF SPACE	SQ. FT.	FLOOR AREA / SQ. FT. PER OCCUPANT	OCCUPANT LOAD
1	CLASSROOMS	26,053	1 PER 20	1303
2	MEDIA CENTER	1,075	1 PER 50	22
3	LABS	866	1 PER 50	17
4	OFFICES	2,622	1 PER 100	27
5	GYMNASIUM	7,664	1 PER 7	1095
6	CAFETERIA/DINING ROOM	4,840	1 PER 15	323
7	STAFF DINING (LOUNGE)	587	1 PER 15	39
8	KITCHEN	732	1 PER 200	4
9	ELECTRICAL / MECHANICAL ROOMS	1,139	N/A	0
10	CIRCULATION/WALLS/PARTITIONS/TOILETS	19,858	N/A	N/A
TOTALS		65,436	N/A	2831

15.1 FIRST FLOOR EGRESS WIDTH PER OCCUPANT SERVED FBC TABLE 1005.1
A. DOORS (2 PER OCCUPANT)
REQUIRED: 2832 OCCUPANTS X .2" PER OCCUPANT = 567"
(2) 36" DOOR WIDTH (68" CLEAR OPENING)/2 OCCUPANTS = 340 OCCUPANTS PROVIDED: 612"
B. CORRIDORS (2 PER OCCUPANT)
REQUIRED: 72"
C. STAIRS (3 PER OCCUPANT) REQUIRED: 2832 X .3" PER OCCUPANT = 850" PROVIDED: 948"

15.2 SECOND FLOOR
ROOM FUNCTION OF SPACE SQ. FT. FLOOR AREA / SQ. FT. PER OCCUPANT OCCUPANT LOAD
1. CLASSROOMS 16,470 1 PER 20 824
2. OFFICES 552 1 PER 100 6
3. OPEN SPACE 38,944 N/A N/A
4. CIRCULATION/WALLS/PARTITIONS/TOILETS 9,470 N/A N/A
TOTALS 65,436 NA 830

15.2 SECOND FLOOR EGRESS WIDTH PER OCCUPANT SERVED FBC TABLE 1005.1
A. DOORS (2 PER OCCUPANT)
REQUIRED: 830 OCCUPANTS X .2" PER OCCUPANT = 166" PROVIDED: 204"
(6) 36" DOOR WIDTH (34" CLEAR OPENING)/2 OCCUPANTS = 1,020 OCCUPANTS
B. CORRIDORS (2 PER OCCUPANT)
REQUIRED: 72"
C. STAIRS (3 PER OCCUPANT)
REQUIRED: 830 X .3" PER OCCUPANT 249" PROVIDED: 268"

15.3 THIRD FLOOR
ROOM FUNCTION OF SPACE SQ. FT. FLOOR AREA / SQ. FT. PER OCCUPANT OCCUPANT LOAD
1. CLASSROOMS 12,255 1 PER 20 614
2. OFFICES 313 1 PER 100 3
3. ELECTRICAL / MECHANICAL ROOMS 506 1 PER 300 N/A
4. OPEN SPACE 12,723 N/A N/A
5. CIRCULATION/WALLS/PARTITIONS/TOILETS 9,136 N/A N/A
TOTALS 34,933 N/A 617

15.3 THIRD FLOOR EGRESS WIDTH PER OCCUPANT SERVED FBC TABLE 1005.1
A. DOORS (2 PER OCCUPANT)
REQUIRED: 617 OCCUPANTS X .2" PER OCCUPANT = 124" PROVIDED: 204"
(2) 36" DOOR WIDTH (68" CLEAR OPENING)/2 OCCUPANTS = 340 OCCUPANTS
B. CORRIDORS (2 PER OCCUPANT)
REQUIRED: 72"
C. STAIRS (3 PER OCCUPANT)
REQUIRED: 617 X .3" PER OCCUPANT = 186" PROVIDED: 268"

16. FIRE EXTINGUISHER REQUIREMENT
CORRIDORS: MAXIMUM DISTANCE TO FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET

17. FINISHES
A. ALL FLOOR SURFACES WHICH MAY BECOME SLIPPERY SHALL HAVE A NON-SLIP IMPERVIOUS FLOORING
B. ALL WINDOWS/ STOREFRONTS ADJACENT TO DOORS SHALL BE CATEGORY II GLAZING IN COMPLIANCE WITH FBC.

18. MINIMUM NUMBER OF REQUIRED TOILET FIXTURES FBC PLUMBING CODE TABLE 403.1
A. GRADES K-2 24 CLASSROOMS @ 18 STUDENTS PER CLASSROOM = 432 STUDENTS / 50 = 9 UNISEX REQUIRED = 11 UNISEX PROVIDED
B. STUDENT TOILET TOTAL CAPACITY BASED ON ACTUAL STUDENTS IN CLASSROOM K-2 = (18 STUDENTS) 3-8 = (22 STUDENTS)
TOTAL OCCUPANT LOAD = 1,548 STUDENTS (774 MALES / 774 FEMALES)

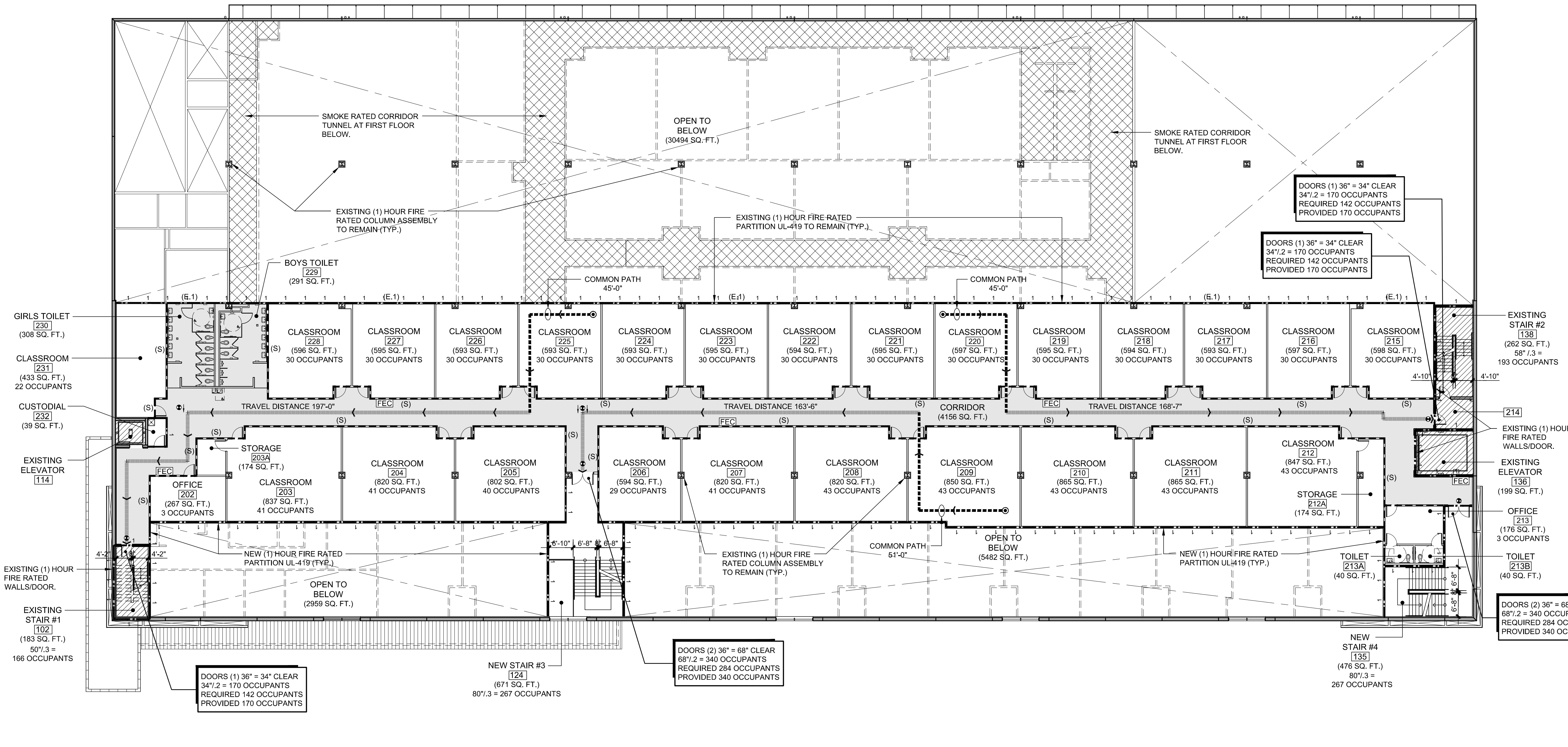
LOAD FACTOR	REQUIRED		PROVIDED			
	MALE	FEMALE	MALE	FEMALE		
WATER CLOSETS	1 PER 50	1 PER 50	16	16	19	19
LAVATORIES	1 PER 50	1 PER 50	16	16	20	20
DRINKING FOUNTAINS	1 PER 100	1 PER 100	20	20	20	20
SERVICE SINK	1	1	1	1	4	4

C. OFFICES AND STAFF TOTAL CAPACITY 90 OCCUPANTS
TOTAL OCCUPANT LOAD = 90 STAFF (45 MALES / 45 FEMALES)

LOAD FACTOR	REQUIRED		PROVIDED			
	MALE	FEMALE	MALE	FEMALE		
WATER CLOSETS	1 PER 25 FIRST 50	2	2	4	4	4
LAVATORIES	1 PER 40 FIRST 80	2	2	4	4	4

LEGEND:

- NEW SMOKE RATED CORRIDOR
- NEW SMOKE RATED CORRIDOR AT FIRST FLOOR.
- NEW 1 HR FIRED RATED HORIZONTAL CEILING AT SECOND FLOOR BELOW.
- FIRE ALARM PULL STATION
- HORN & STROBE LIGHT, MOUNTED @ 6'-8"
- FLASHING STROBE LIGHT, MOUNTED AT 6'-8"
- CALL-IN STATION, INTERCOM SYSTEM (NORMAL & EMERGENCY)
- HEAT DETECTOR
- SMOKE DETECTOR
- MAGNETIC DOOR HOLDER
- FIRE EXTINGUISHER CABINET W/ TEMPERED GLASS DOOR
- EMERGENCY LIGHTING FIXTURES
- EMERGENCY LIGHTING FIXTURES
- EMERGENCY LIGHTING FIXTURES
- EXIT LIGHT
- CEILING MOUNTED EMERGENCY EXIT SIGN W/ DIRECTION OF TRAVEL
- 2 HOUR FIRE RESISTIVE WALL
- NEW 1 HOUR RATED PARTITION
- EXISTING 1 HOUR RATED PARTITION (E.1)
- SMOKE PARTITION WALL (S)
- TRAVEL DISTANCE (WORST CONDITION)
- FARTHEST POINT
- FIRE EXTINGUISHER
- EXIT DISCHARGE TO THE EXTERIOR
- FIRE SPRINKLER
- EMERGENCY EXIT DIAGRAM
- OCCUPANCY SIGN
- PROVIDE ROOM SIGN STATING 'DOOR SHALL BE KEPT UNLOCKED WHEN SCHOOL IS OCCUPIED'
- FIRE DEPARTMENT LOCK BOX (FDLB)



1 SECOND FLOOR LIFE SAFETY PLAN SCALE: 1/16" = 1'-0" 1

BRIDGEPREP ACADEMY DORAL (LIFE SAFETY GENERAL PARAMETERS)

- 1. APPLICABLE CODES (INCLUDING BUT NOT LIMITED TO)**
 - B. FLORIDA BUILDING CODE (FBC) 2017 EDITION
 - C. FLORIDA FIRE PREVENTION CODE (FFPC) 2017 6TH EDITION
- 2. BUILDING CLASSIFICATION OF OCCUPANCY & HAZARD CONTENT**
 - A. EXISTING BUILDING BUSINESS/FACILITY/STORAGE
 - B. PROPOSED BUILDING EDUCATION GROUP E
 - FBC CHAPTER 3-SECTION 305 EDUCATIONAL GROUP E
 - C. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
- 3. BUILDING CONSTRUCTION TYPE**
 - A. EXISTING CONSTRUCTION FBC TYPE II-A
 - B. PROPOSED CONSTRUCTION FBC TYPE II-A
 - C. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
- 4. ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (FBC TABLE 504.3)**
 - A. ALLOWED: 85 FEET / ABOVE GRADE PLANE
 - B. PROVIDED: 58 FEET / ABOVE GRADE PLANE
- 5. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (FBC TABLE 504.4)**
 - A. ALLOWED: 4 STORIES
 - B. PROVIDED: 3 STORIES
- 6. ALLOWABLE AREA FACTOR IN SQUARE FEET (FBC TABLE 506.2)**
 - A. ALLOWED AREA 79,500 SF.
 - B. PROVIDED BUILDING AREA 65,620 SF.
- 7. COMMON PATH OF EGRESS TRAVEL (FBC TABLE 1006.2.1)**
 - A. THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75 FEET
 - FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - B. FFPC TABLE A.7.6: THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100 FEET
- 8. MAXIMUM DEAD END CORRIDOR FBC 1020.4.2**
 - A. SHALL NOT EXCEED 50 FEET
 - FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - B. FFPC TABLE A.7.6: THE DEAD END CORRIDOR SHALL NOT EXCEED 50 FEET
- 9. EXIT ACCESS TRAVEL DISTANCE FBC (TABLE 1017.2)**
 - A. TRAVEL DISTANCE SHALL NOT EXCEED 250 FEET
 - FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - B. FFPC TABLE A.7.6: TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET

- 10. EXIT AND EXIT ACCESS DOORWAYS FBC TABLE 1006.3.1**
 - A. TWO EXITS ARE REQUIRED FOR SPACES THAT EXCEED 49-500 OCCUPANTS
 - B. THREE EXITS ARE REQUIRED FOR SPACES THAT EXCEED 501-1000 OCCUPANTS
 - C. FOUR EXITS ARE REQUIRED FOR SPACES THAT EXCEED 1000 OCCUPANTS
- 11. FIRE-RESISTANT RATING REQUIREMENTS FOR BUILDING ELEMENT FBC TABLE 601**
 - A. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - REQUIRED: PROVIDED:
 - B. PRIMARY STRUCTURAL FRAME 1-HR 1-HR
 - C. BEARING WALLS 1-HR 1-HR
 - EXTERIOR 1-HR 1-HR
 - INTERIOR 1-HR 1-HR
 - D. NON BEARING WALLS AND PARTITIONS 0-HR 0-HR
 - INTERIOR 1-HR 1-HR
 - E. FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS 1-HR 1-HR
 - F. ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS 1-HR 1-HR
- 12. CORRIDOR FIRE RESISTANCE RATING FBC TABLE 1020.1**
 - A. REQUIRED FIRE RATING 0-HR 0-HR
 - FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
- 13. INTERIOR WALLS AND CEILING FINISHES REQUIREMENT BY OCCUPANCY FBC (TABLE 903.11)**
 - A. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - INTERIOR EXIT STAIRWAYS AND EXIT PASSAGE B
 - CORRIDOR C
 - ROOMS AND ENCLOSED SPACES C
- 14. MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT FBC CHAPTER 10 AND NFPA 101**

- 15.1 FIRST FLOOR EGRESS WIDTH PER OCCUPANT SERVED FBC TABLE 1005.1**
 - A. DOORS (2 PER OCCUPANT)
 - REQUIRED: 282 OCCUPANTS X .2" PER OCCUPANT = 567" PROVIDED: 612"
 - (2) 36" DOOR WIDTH: (68" CLEAR OPENING)/2 OCCUPANTS = 340 OCCUPANTS
 - B. CORRIDORS (2 PER OCCUPANT)
 - REQUIRED: 72" PROVIDED: 89"
 - C. STAIRS (3 PER OCCUPANT) REQUIRED: 282 X .3" PER OCCUPANT = 850" PROVIDED: 948"
- 15.2 SECOND FLOOR**

ROOM	FUNCTION OF SPACE	SQ. FT.	FLOOR AREA / SQ. FT. PER OCCUPANT	OCCUPANT LOAD
1.	CLASSROOMS	16,470	1 PER 20	824
2.	OFFICES	552	1 PER 100	6
3.	OPEN SPACE	38,944	N/A	N/A
4.	CIRCULATION/WALLS/PARTITIONS/TOILETS	9,470	N/A	N/A
TOTALS		65,436	NA	830

 - 15.2. SECOND FLOOR EGRESS WIDTH PER OCCUPANT SERVED FBC TABLE 1005.1**
 - A. DOORS (2 PER OCCUPANT)
 - REQUIRED: 830 OCCUPANTS X .2" PER OCCUPANT = 166" PROVIDED: 204"
 - (6) 36" DOOR WIDTH: (34" CLEAR OPENING)/2 OCCUPANTS = 1,020 OCCUPANTS
 - B. CORRIDORS (2 PER OCCUPANT)
 - REQUIRED: 72" PROVIDED: 89"
 - C. STAIRS (3 PER OCCUPANT)
 - REQUIRED: 830 X .3" PER OCCUPANT 249" PROVIDED: 268"

- 15.3 THIRD FLOOR**

ROOM	FUNCTION OF SPACE	SQ. FT.	FLOOR AREA / SQ. FT. PER OCCUPANT	OCCUPANT LOAD
1.	CLASSROOMS	12,255	1 PER 20	614
2.	OFFICES	313	1 PER 100	3
3.	ELECTRICAL / MECHANICAL ROOMS	506	1 PER 300	N/A
4.	OPEN SPACE	12,723	N/A	N/A
5.	CIRCULATION/WALLS/PARTITIONS/TOILETS	9,136	N/A	N/A
TOTALS		34,933	N/A	617

- 15.3. THIRD FLOOR EGRESS WIDTH PER OCCUPANT SERVED FBC TABLE 1005.1**
 - A. DOORS (2 PER OCCUPANT)
 - REQUIRED: 617 OCCUPANTS X .2" PER OCCUPANT = 124" PROVIDED: 204"
 - (2) 36" DOOR WIDTH: (68" CLEAR OPENING)/2 OCCUPANTS = 340 OCCUPANTS
 - B. CORRIDORS (2 PER OCCUPANT)
 - REQUIRED: 72" PROVIDED: 89"
 - C. STAIRS (3 PER OCCUPANT)
 - REQUIRED: 617 X .3" PER OCCUPANT = 186" PROVIDED: 268"
- 16. FIRE EXTINGUISHER REQUIREMENT**
 - CORRIDORS: MAXIMUM DISTANCE TO FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET
- 17. FINISHES**
 - A. ALL FLOOR SURFACES WHICH MAY BECOME SLIPPERY SHALL HAVE A NON-SLIP IMPERVIOUS FLOORING
 - B. ALL WINDOWS/ STOREFRONTS ADJACENT TO DOORS SHALL BE CATEGORY II GLAZING IN COMPLIANCE WITH FBC.
- 18. MINIMUM NUMBER OF REQUIRED TOILET FIXTURES FBC PLUMBING CODE TABLE 403.1**
 - A. GRADES K-2 24 CLASSROOMS @ 18 STUDENTS PER CLASSROOM = 432 STUDENTS / 50 = 9 UNISEX REQUIRED
 - = 11 UNISEX PROVIDED
 - B. STUDENT TOILET TOTAL CAPACITY BASED ON ACTUAL STUDENTS IN CLASSROOM K-2 = (18 STUDENTS) 3-8 = (22 STUDENTS)

	LOAD FACTOR		REQUIRED		PROVIDED	
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE
WATER CLOSETS	1 PER 50	1 PER 50	16	16	19	19
LAVATORIES	1 PER 50	1 PER 50	16	16	20	20
DRINKING FOUNTAINS	1 PER 100		20		20	
SERVICE SINK	1		1		4	

	LOAD FACTOR		REQUIRED		PROVIDED	
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE
WATER CLOSETS	1 PER 25 FIRST 50		2	2	4	4
LAVATORIES	1 PER 40 FIRST 80		2	2	4	4

PROFESSIONAL SEAL:



PROJECT:

BRIDGEPREP ACADEMY AT DORAL

3500 NW 89th COURT
 DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:
 SECOND FLOOR LIFE SAFETY PLAN

DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

CHECKED BY: ALL.

REF NUMBER:

SHEET NO. A102

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BRIDEPREP ACADEMY AT DORAL

3500 NW 89th COURT
 DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:
 THIRD FLOOR LIFE SAFETY PLAN

DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

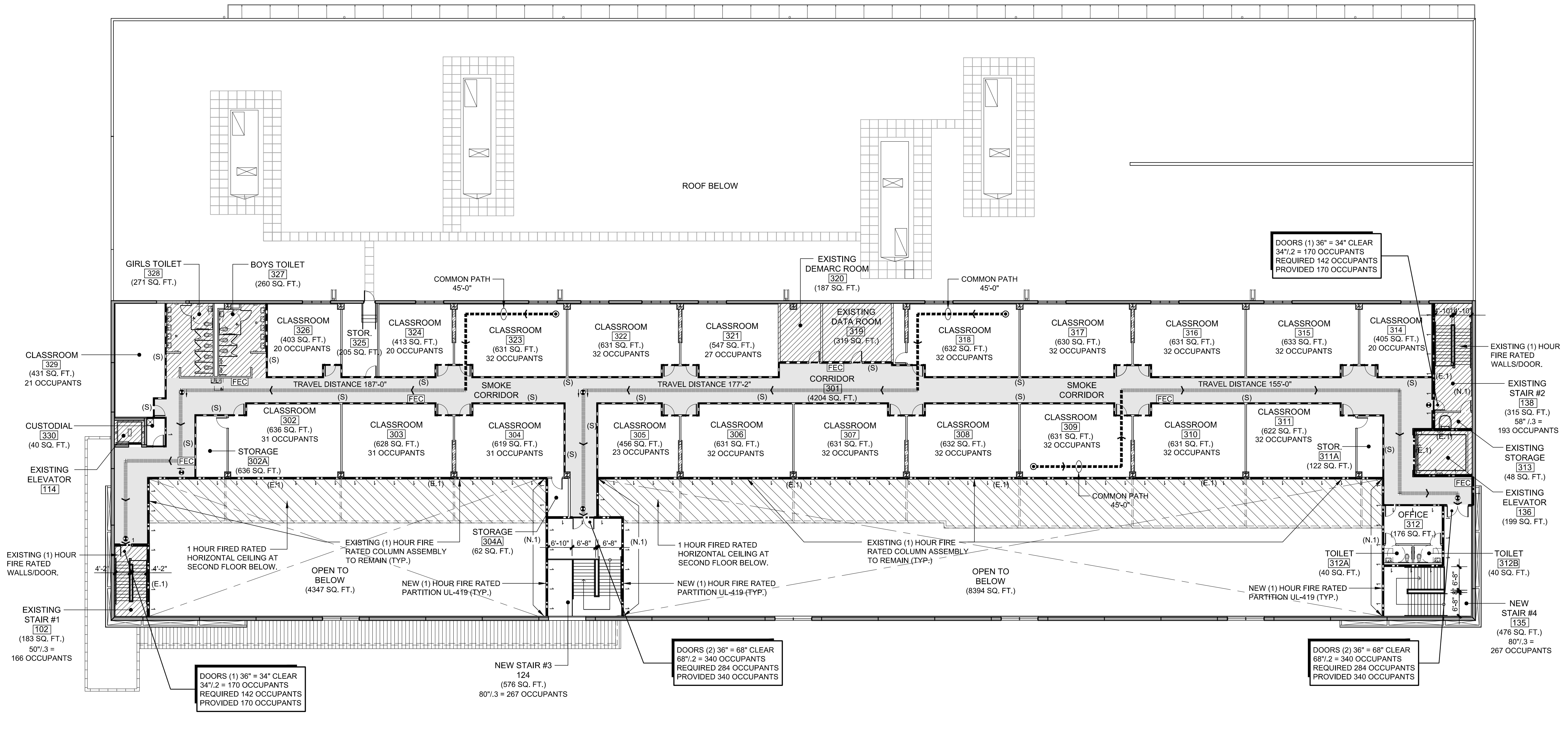
CHECKED BY: ALL.

REF NUMBER:

SHEET NO. **A103**

LEGEND:

- NEW SMOKE RATED CORRIDOR
- NEW SMOKE RATED CORRIDOR AT FIRST FLOOR.
- NEW 1 HR FIRED RATED HORIZONTAL CEILING AT SECOND FLOOR BELOW.
- FIRE ALARM PULL STATION
- HORN & STROBE LIGHT, MOUNTED @ 6'-8"
- FLASHING STROBE LIGHT, MOUNTED AT 6'-8"
- CALL-IN STATION, INTERCOM SYSTEM (NORMAL & EMERGENCY)
- HEAT DETECTOR
- SMOKE DETECTOR
- MAGNETIC DOOR HOLDER
- FIRE EXTINGUISHER CABINET W/ TEMPERED GLASS DOOR
- EMERGENCY LIGHTING FIXTURES
- EXIT LIGHT
- CEILING MOUNTED EMERGENCY EXIT SIGN W/ DIRECTION OF TRAVEL
- 2 HOUR FIRE RESISTIVE WALL
- NEW 1 HOUR RATED PARTITION
- EXISTING 1 HOUR RATED PARTITION (E.1)
- SMOKE PARTITION WALL (S)
- TRAVEL DISTANCE (WORST CONDITION)
- FARTHEST POINT
- FIRE EXTINGUISHER
- EXIT DISCHARGE TO THE EXTERIOR
- FIRE SPRINKLER
- EMERGENCY EXIT DIAGRAM
- OCCUPANCY SIGN
- PROVIDE ROOM SIGN STATING 'DOOR SHALL BE KEPT UNLOCKED WHEN SCHOOL IS OCCUPIED'
- FIRE DEPARTMENT LOCK BOX (FDLB)



1 THIRD FLOOR LIFE SAFETY PLAN SCALE: 1/16" = 1'-0" **1**

BRIDEPREP ACADEMY DORAL (LIFE SAFETY GENERAL PARAMETERS)

- 1. APPLICABLE CODES (INCLUDING BUT NOT LIMITED TO)**
 - B. FLORIDA BUILDING CODE (FBC) 2017 EDITION
 - C. FLORIDA FIRE PREVENTION CODE (FFPC) 2017 6TH EDITION
- 2. BUILDING CLASSIFICATION OF OCCUPANCY & HAZARD CONTENT**
 - A. EXISTING BUILDING BUSINESS/FACILITY/STORAGE
 - B. PROPOSED BUILDING EDUCATION GROUP E
 - FBC CHAPTER 3-SECTION 305 EDUCATIONAL GROUP E
 - C. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
- 3. BUILDING CONSTRUCTION TYPE**
 - A. EXISTING CONSTRUCTION FBC TYPE II-A
 - B. PROPOSED CONSTRUCTION FBC TYPE II-A
 - C. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
- 4. ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (FBC TABLE 504.3)**
 - A. ALLOWED: 85 FEET / ABOVE GRADE PLANE
 - B. PROVIDED: 58 FEET / ABOVE GRADE PLANE
- 5. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (FBC TABLE 504.4)**
 - A. ALLOWED: 4 STORIES
 - B. PROVIDED: 3 STORIES
- 6. ALLOWABLE AREA FACTOR IN SQUARE FEET (FBC TABLE 506.2)**
 - A. ALLOWED AREA 79,500 SF.
 - B. PROVIDED BUILDING AREA 65,620 SF.
- 7. COMMON PATH OF EGRESS TRAVEL FBC (TABLE 1006.2.1)**
 - A. THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75 FEET
 - FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - B. FFPC TABLE A.7.6: THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100 FEET
- 8. MAXIMUM DEAD END CORRIDOR FBC 1020.4.2**
 - A. SHALL NOT EXCEED 50 FEET
 - FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - B. FFPC TABLE A.7.6: THE DEAD END CORRIDOR SHALL NOT EXCEED 50 FEET
- 9. EXIT ACCESS TRAVEL DISTANCE FBC (TABLE 1017.2)**
 - A. TRAVEL DISTANCE SHALL NOT EXCEED 250 FEET
 - FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - B. FFPC TABLE A.7.6: TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET

- 10. EXIT AND EXIT ACCESS DOORWAYS FBC TABLE 1006.3.1**
 - A. TWO EXITS ARE REQUIRED FOR SPACES THAT EXCEED 49-500 OCCUPANTS
 - B. THREE EXITS ARE REQUIRED FOR SPACES THAT EXCEED 501-1000 OCCUPANTS
 - C. FOUR EXITS ARE REQUIRED FOR SPACES THAT EXCEED 1000 OCCUPANTS
- 11. FIRE-RESISTANT RATING REQUIREMENTS FOR BUILDING ELEMENT FBC TABLE 601**
 - A. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - REQUIRED: PROVIDED:
 - B. PRIMARY STRUCTURAL FRAME 1-HR 1-HR
 - C. BEARING WALLS
 - EXTERIOR 1-HR 1-HR
 - INTERIOR 1-HR 1-HR
 - D. NON BEARING WALLS AND PARTITIONS
 - EXTERIOR 0-HR 0-HR
 - INTERIOR 0-HR 0-HR
 - E. FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS 1-HR 1-HR
 - F. ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS 1-HR 1-HR
- 12. CORRIDOR FIRE RESISTANCE RATING FBC TABLE 1020.1**
 - A. REQUIRED FIRE RATING 0-HR 0-HR
 - FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
- 13. INTERIOR WALLS AND CEILING FINISHES REQUIREMENT BY OCCUPANCY FBC (TABLE 903.11)**
 - A. FULLY SPRINKLERED BUILDING IN COMPLIANCE WITH FBC 903.3.1.1
 - INTERIOR EXIT STAIRWAYS AND EXIT PASSAGE B
 - CORRIDOR C
 - ROOMS AND ENCLOSED SPACES C
- 14. MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT FBC CHAPTER 10 AND NFPA 101**

1. FIRST FLOOR

ROOM	FUNCTION OF SPACE	SQ. FT.	FLOOR AREA / SQ. FT. PER OCCUPANT	OCCUPANT LOAD
1	CLASSROOMS	26,053	1 PER 20	1303
2	MEDIA CENTER	1,075	1 PER 50	22
3	LABS	866	1 PER 50	17
4	OFFICES	2,622	1 PER 100	27
5	GYMNASIUM	7,664	1 PER 7	1095
6	CAFETERIA/DINING ROOM	4,840	1 PER 15	323
7	STAFF DINING (LOUNGE)	587	1 PER 15	39
8	KITCHEN	732	1 PER 200	4
9	ELECTRICAL / MECHANICAL ROOMS	1,139	N/A	0
10	CIRCULATION/WALLS/PARTITIONS/TOILETS	19,858	N/A	N/A
TOTALS		65,436	N/A	2831

- 15.1 FIRST FLOOR EGRESS WIDTH PER OCCUPANT SERVED FBC TABLE 1005.1**
 - A. DOORS (2 PER OCCUPANT) REQUIRED: 2832 OCCUPANTS X .2" PER OCCUPANT = 567" PROVIDED: 612"
 - (2) 36" DOOR WIDTH: (68" CLEAR OPENING)/2 OCCUPANTS = 340 OCCUPANTS
 - B. CORRIDORS (2 PER OCCUPANT) REQUIRED: 72" PROVIDED: 89"
 - C. STAIRS (3 PER OCCUPANT) REQUIRED: 2832 X .3" PER OCCUPANT = 850" PROVIDED: 948"
- 15.2 SECOND FLOOR**

ROOM	FUNCTION OF SPACE	SQ. FT.	FLOOR AREA / SQ. FT. PER OCCUPANT	OCCUPANT LOAD
1.	CLASSROOMS	16,470	1 PER 20	824
2.	OFFICES	552	1 PER 100	6
3.	OPEN SPACE	38,944	N/A	N/A
4.	CIRCULATION/WALLS/PARTITIONS/TOILETS	9,470	N/A	N/A
TOTALS		65,436	NA	830
- 15.2 SECOND FLOOR EGRESS WIDTH PER OCCUPANT SERVED FBC TABLE 1005.1**
 - A. DOORS (2 PER OCCUPANT) REQUIRED: 830 OCCUPANTS X .2" PER OCCUPANT = 166" PROVIDED: 204"
 - (6) 36" DOOR WIDTH: (34" CLEAR OPENING)/2 OCCUPANTS = 1,020 OCCUPANTS
 - B. CORRIDORS (2 PER OCCUPANT) REQUIRED: 72" PROVIDED: 89"
 - C. STAIRS (3 PER OCCUPANT) REQUIRED: 830 X .3" PER OCCUPANT 249" PROVIDED: 268"
- 15.3 THIRD FLOOR**

ROOM	FUNCTION OF SPACE	SQ. FT.	FLOOR AREA / SQ. FT. PER OCCUPANT	OCCUPANT LOAD
1.	CLASSROOMS	12,255	1 PER 20	614
2.	OFFICES	313	1 PER 100	3
3.	ELECTRICAL / MECHANICAL ROOMS	506	1 PER 300	N/A
4.	OPEN SPACE	12,723	N/A	N/A
5.	CIRCULATION/WALLS/PARTITIONS/TOILETS	9,136	N/A	N/A
TOTALS		34,933	N/A	617

- 15.3. THIRD FLOOR EGRESS WIDTH PER OCCUPANT SERVED FBC TABLE 1005.1**
 - A. DOORS (2 PER OCCUPANT) REQUIRED: 617 OCCUPANTS X .2" PER OCCUPANT = 124" PROVIDED: 204"
 - (2) 36" DOOR WIDTH: (68" CLEAR OPENING)/2 OCCUPANTS = 340 OCCUPANTS
 - B. CORRIDORS (2 PER OCCUPANT) REQUIRED: 72" PROVIDED: 89"
 - C. STAIRS (3 PER OCCUPANT) REQUIRED: 617 X .3" PER OCCUPANT = 186" PROVIDED: 268"
- 16. FIRE EXTINGUISHER REQUIREMENT**

CORRIDORS: MAXIMUM DISTANCE TO FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET
- 17. FINISHES**
 - A. ALL FLOOR SURFACES WHICH MAY BECOME SLIPPERY SHALL HAVE A NON-SLIP IMPERVIOUS FLOORING
 - B. ALL WINDOWS/ STOREFRONTS ADJACENT TO DOORS SHALL BE CATEGORY II GLAZING IN COMPLIANCE WITH FBC.
- 18. MINIMUM NUMBER OF REQUIRED TOILET FIXTURES FBC PLUMBING CODE TABLE 403.1**
 - A. GRADES K-2 24 CLASSROOMS @ 18 STUDENTS PER CLASSROOM = 432 STUDENTS / 50 = 9 UNISEX REQUIRED = 11 UNISEX PROVIDED
 - B. STUDENT TOILET TOTAL CAPACITY BASED ON ACTUAL STUDENTS IN CLASSROOM K-2 = (18 STUDENTS) 3-8 = (22 STUDENTS)

TOTAL OCCUPANT LOAD = 1,548 STUDENTS (774 MALES / 774 FEMALES)

LOAD FACTOR	REQUIRED		PROVIDED			
	MALE	FEMALE	MALE	FEMALE		
WATER CLOSETS	1 PER 50	1 PER 50	16	16	19	19
LAVATORIES	1 PER 50	1 PER 50	16	16	20	20
DRINKING FOUNTAINS	1 PER 100	REQUIRED	20	20	PROVIDED	PROVIDED
SERVICE SINK	1	REQUIRED	1	1	PROVIDED	PROVIDED

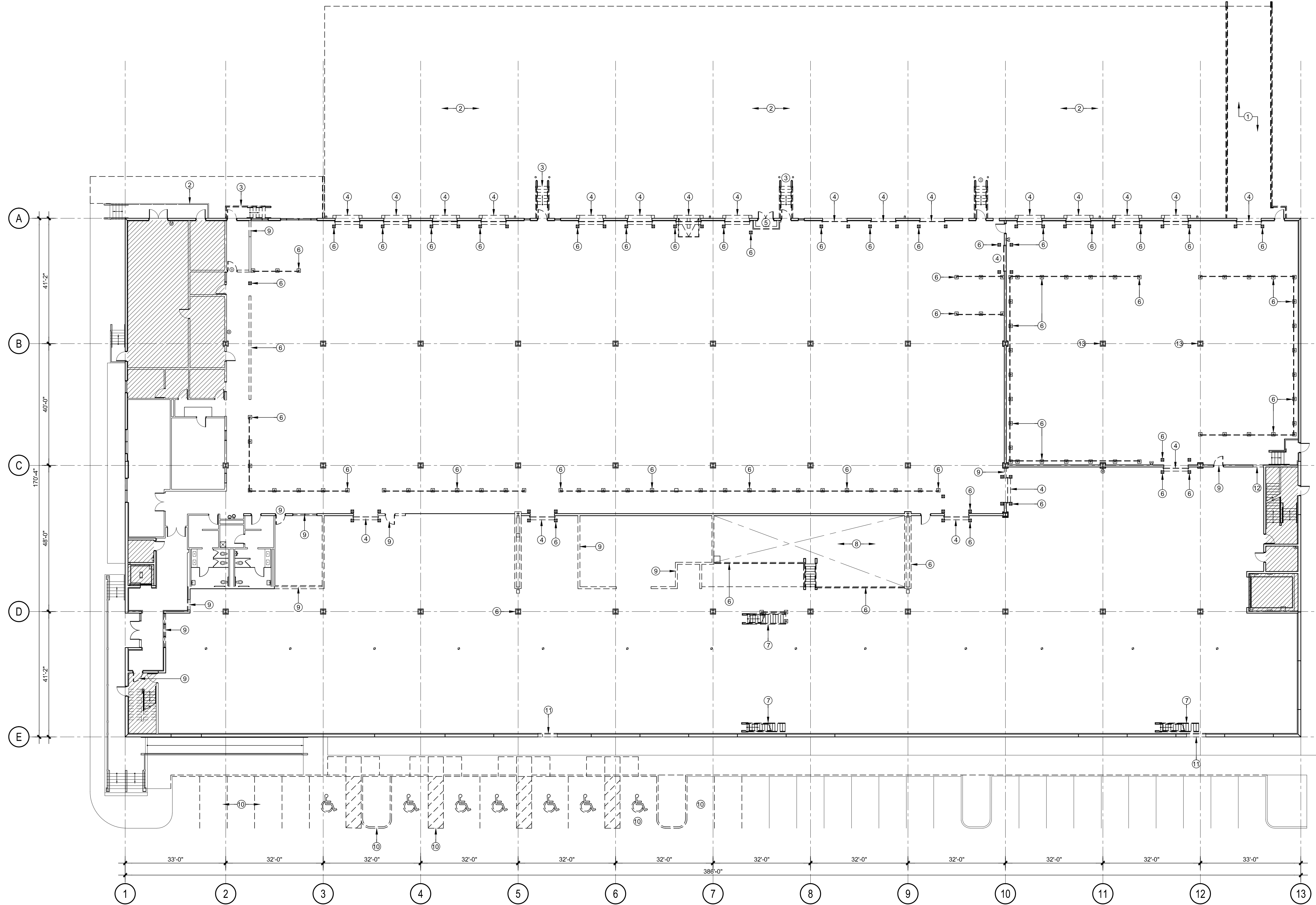
C. OFFICES AND STAFF TOTAL CAPACITY 90 OCCUPANTS

TOTAL OCCUPANT LOAD = 90 STAFF (45 MALES / 45 FEMALES)

LOAD FACTOR	REQUIRED		PROVIDED			
	MALE	FEMALE	MALE	FEMALE		
WATER CLOSETS	1 PER 25 FIRST 50	2	2	4	4	4
LAVATORIES	1 PER 40 FIRST 80	2	2	4	4	4

DEMOLITION LEGEND

- 1 EXISTING CONCRETE RAMP TO BE REMOVED.
- 2 EXISTING CONCRETE PAVEMENT TO BE REMOVED.
- 3 EXISTING CONCRETE STAIRS TO BE REMOVED.
- 4 EXISTING OVERHEAD DOORS AND DOCK LEVELER TO BE REMOVED.
- 5 EXISTING INK CABINET TO BE REMOVED.
- 6 EXISTING HEAVY BARRIER SYSTEM AND CONCRETE FILLED STEEL BOLLARDS TO BE REMOVED. PREPARE SLAB AS REQUIRED FOR NEW WORK.
- 7 EXISTING METAL STAIRS TO BE REMOVED.
- 8 EXISTING INK PIT TO BE FILLED TO MATCH EXISTING FINISH FLOOR ELEVATION. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 9 EXISTING NON BEARING PARTITIONS, WINDOWS AND DOORS TO BE REMOVED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 10 EXISTING PARKING AND WALKWAY TO BE REMOVED. REFER TO STRUCTURAL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 EXISTING TILT-UP WALL TO BE REMOVED FOR NEW DOORS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 EXISTING BLOCK WALL TO BE REMOVED FOR NEW DOORS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 EXISTING STEEL COLUMNS TO BE REMOVED AND NEW STEEL BEAM INSTALLED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 14 EXISTING STEEL STRUCTURE COLUMNS TO BE REMOVED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 EXISTING BATHROOM FIXTURES AND TRIMS TO BE REMOVED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 16 EXISTING LOCKERS TO BE REMOVED.
- 17 EXISTING METAL STUD PARTITION TO BE REMOVED FOR NEW WINDOW OPENING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 18 EXISTING LOUVER IN METAL STUD PARTITION TO BE REMOVED AND OPENING BLOCKED TO MATCH EXISTING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 19 NEW STEEL STRUCTURE TO SUPPORT ROOF STRUCTURE BELOW. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.



PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

**BRIDEPREP
ACADEMY
AT DORAL**

3500 NW 89th COURT
DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:
DEMOLITION FIRST FLOOR
PLAN

DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **A104**

7 OF 46

DEMOLITION LEGEND

- ① EXISTING CONCRETE RAMP TO BE REMOVED.
- ② EXISTING CONCRETE PAVEMENT TO BE REMOVED.
- ③ EXISTING CONCRETE STAIRS TO BE REMOVED.
- ④ EXISTING OVERHEAD DOORS AND DOCK LEVELER TO BE REMOVED.
- ⑤ EXISTING INK CABINET TO BE REMOVED.
- ⑥ EXISTING HEAVY BARRIER SYSTEM AND CONCRETE FILLED STEEL BOLLARDS TO BE REMOVED. PREPARE SLAB AS REQUIRED FOR NEW WORK.
- ⑦ EXISTING METAL STAIRS TO BE REMOVED.
- ⑧ EXISTING INK PIT TO BE FILLED TO MATCH EXISTING FINISH FLOOR ELEVATION. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑨ EXISTING NON BEARING PARTITIONS, WINDOWS AND DOORS TO BE REMOVED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑩ EXISTING PARKING AND WALKWAY TO BE REMOVED. REFER TO STRUCTURAL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑪ EXISTING TILT-UP WALL TO BE REMOVED FOR NEW DOORS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑫ EXISTING BLOCK WALL TO BE REMOVED FOR NEW DOORS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑬ EXISTING STEEL COLUMNS TO BE REMOVED AND NEW STEEL BEAM INSTALLED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑭ EXISTING STEEL STRUCTURE COLUMNS TO BE REMOVED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑮ EXISTING BATHROOM FIXTURES AND TRIMS TO BE REMOVED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑯ EXISTING LOCKERS TO BE REMOVED.
- ⑰ EXISTING METAL STUD PARTITION TO BE REMOVED FOR NEW WINDOW OPENING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑱ EXISTING LOUVER IN METAL STUD PARTITION TO BE REMOVED AND OPENING BLOCKED TO MATCH EXISTING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑲ NEW STEEL STRUCTURE TO SUPPORT ROOF STRUCTURE BELOW. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

**BRIDEPREP
ACADEMY
AT DORAL**

3500 NW 89th COURT
DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:
DEMOLITION SECOND
FLOOR PLAN

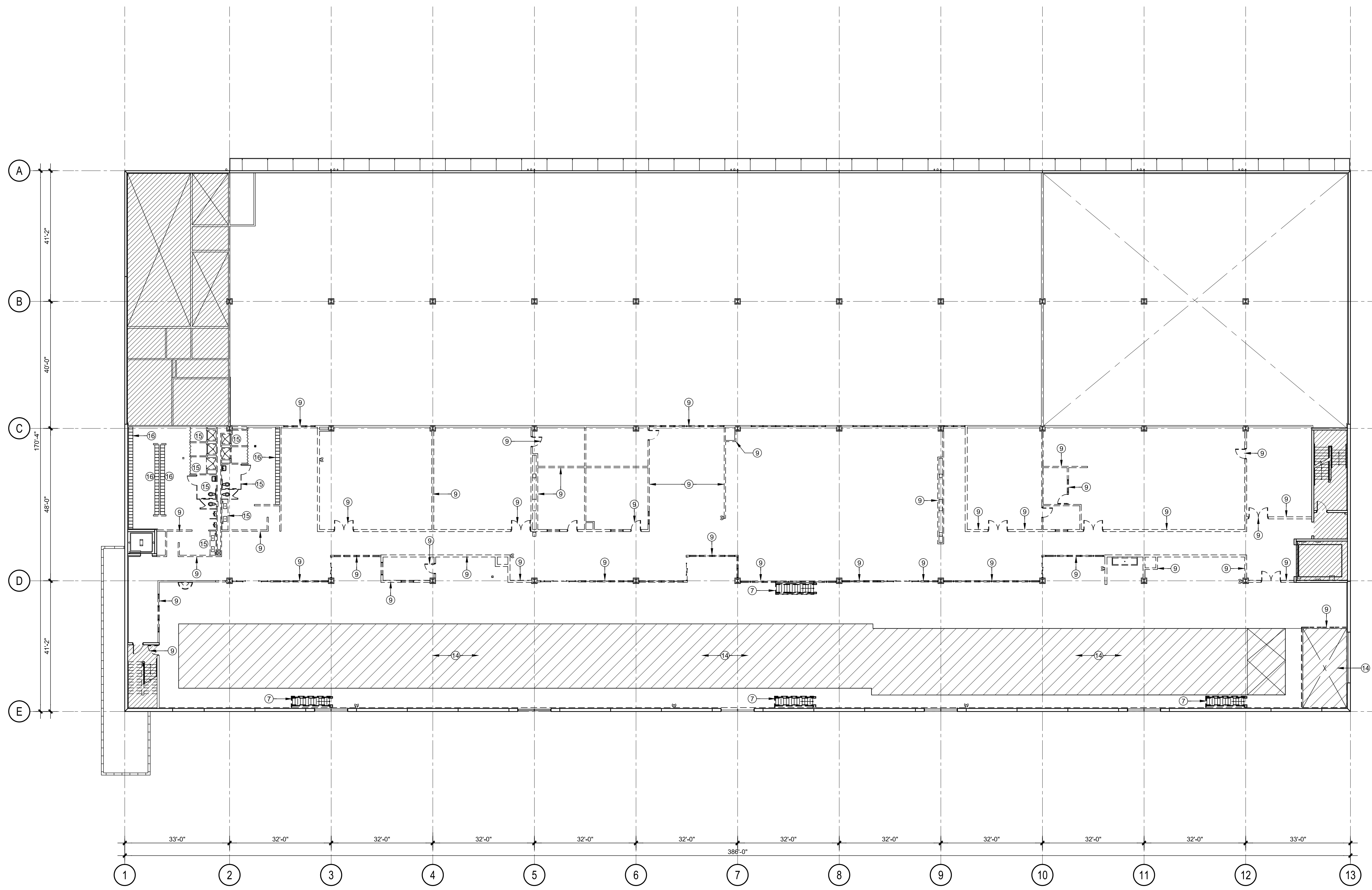
DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

CHECKED BY: A.L.L.

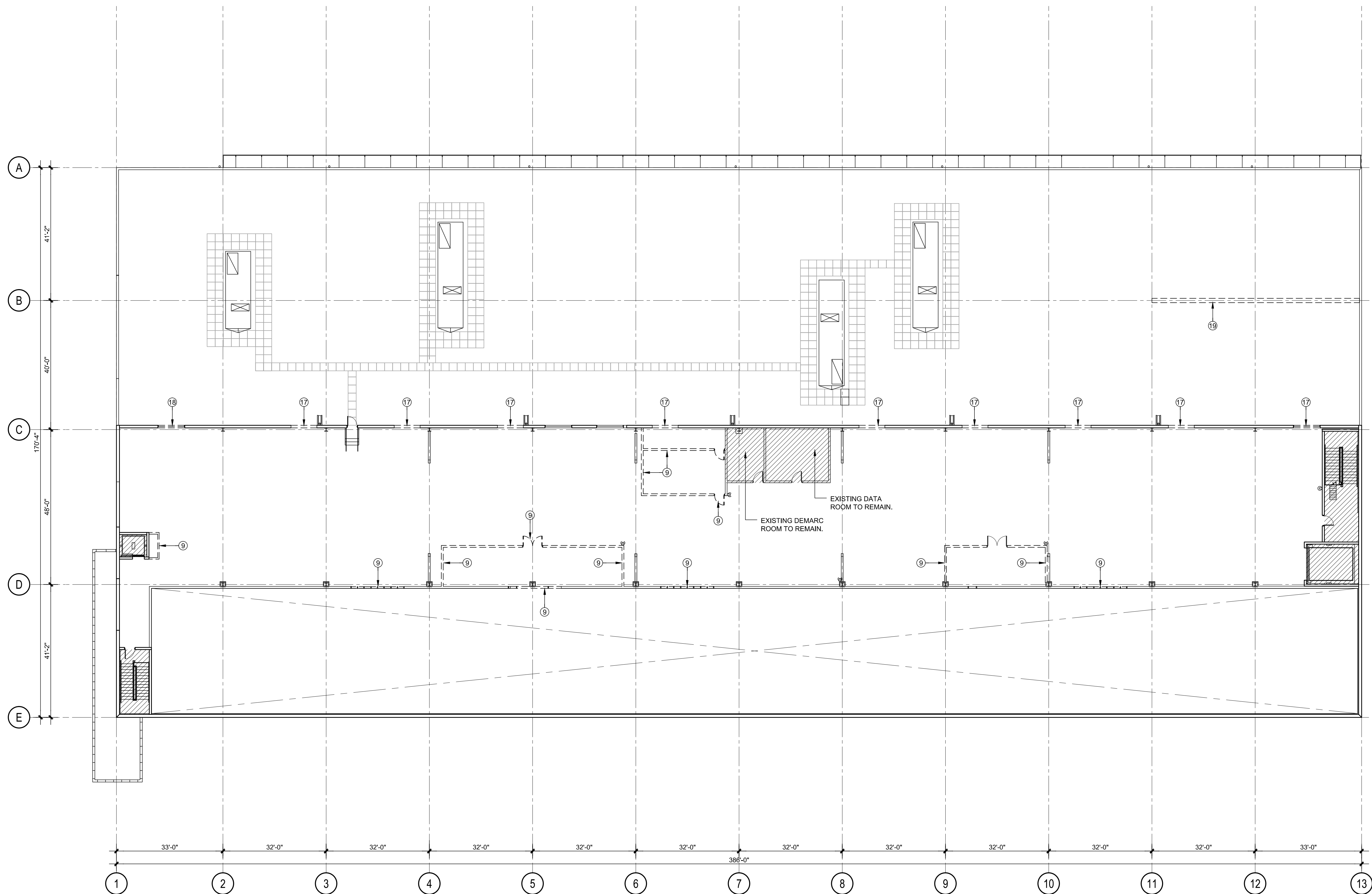
REF NUMBER:

SHEET NO. **A105**
8 of 46



DEMOLITION LEGEND

- ① EXISTING CONCRETE RAMP TO BE REMOVED.
- ② EXISTING CONCRETE PAVEMENT TO BE REMOVED.
- ③ EXISTING CONCRETE STAIRS TO BE REMOVED.
- ④ EXISTING OVERHEAD DOORS AND DOCK LEVELER TO BE REMOVED.
- ⑤ EXISTING INK CABINET TO BE REMOVED.
- ⑥ EXISTING HEAVY BARRIER SYSTEM AND CONCRETE FILLED STEEL BOLLARDS TO BE REMOVED. PREPARE SLAB AS REQUIRED FOR NEW WORK.
- ⑦ EXISTING METAL STAIRS TO BE REMOVED.
- ⑧ EXISTING INK PIT TO BE FILLED TO MATCH EXISTING FINISH FLOOR ELEVATION. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑨ EXISTING NON BEARING PARTITIONS, WINDOWS AND DOORS TO BE REMOVED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑩ EXISTING PARKING AND WALKWAY TO BE REMOVED. REFER TO STRUCTURAL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑪ EXISTING TILT-UP WALL TO BE REMOVED FOR NEW DOORS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑫ EXISTING BLOCK WALL TO BE REMOVED FOR NEW DOORS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑬ EXISTING STEEL COLUMNS TO BE REMOVED AND NEW STEEL BEAM INSTALLED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑭ EXISTING STEEL STRUCTURE COLUMNS TO BE REMOVED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑮ EXISTING BATHROOM FIXTURES AND TRIMS TO BE REMOVED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑯ EXISTING LOCKERS TO BE REMOVED.
- ⑰ EXISTING METAL STUD PARTITION TO BE REMOVED FOR NEW WINDOW OPENING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑱ EXISTING LOUVER IN METAL STUD PARTITION TO BE REMOVED AND OPENING BLOCKED TO MATCH EXISTING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⑲ NEW STEEL STRUCTURE TO SUPPORT ROOF STRUCTURE BELOW. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.



PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

**BRIDEPREP
ACADEMY
AT DORAL**

3500 NW 89th COURT
DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DATE	ISSUE	DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:
DEMOLITION THIRD FLOOR PLAN

DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **A106**
9 of 46

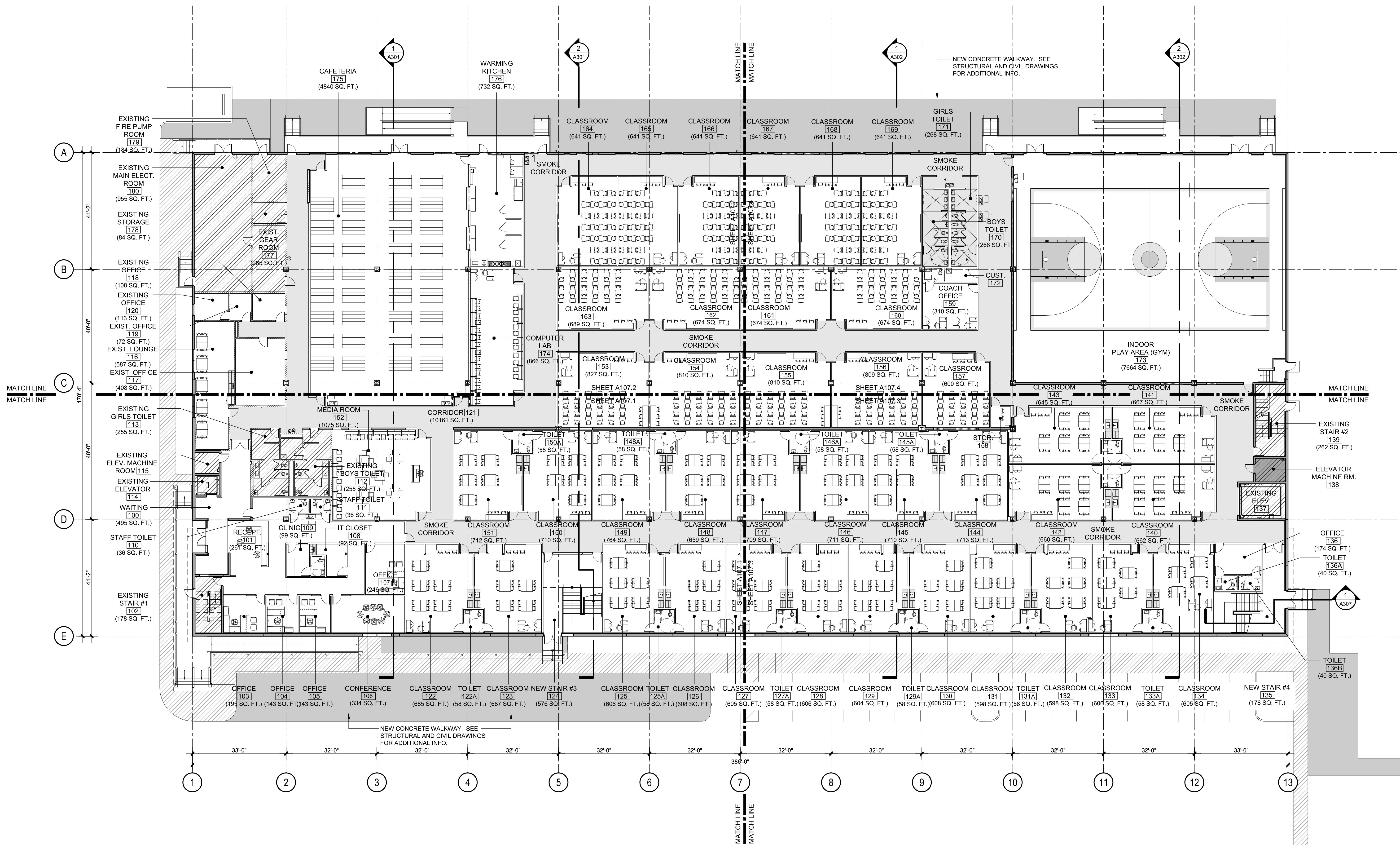


**BRIDEPREP
ACADEMY
AT DORAL**

3500 NW 89th COURT
DORAL, FLORIDA 33172

DATE	ISSUE DESCRIPTION

SHEET TITLE:
PROPOSED OVERALL
FIRST FLOOR PLAN



PROPOSED OVERALL FIRST FLOOR PLAN SCALE: 1/16" = 1'-0"

A107

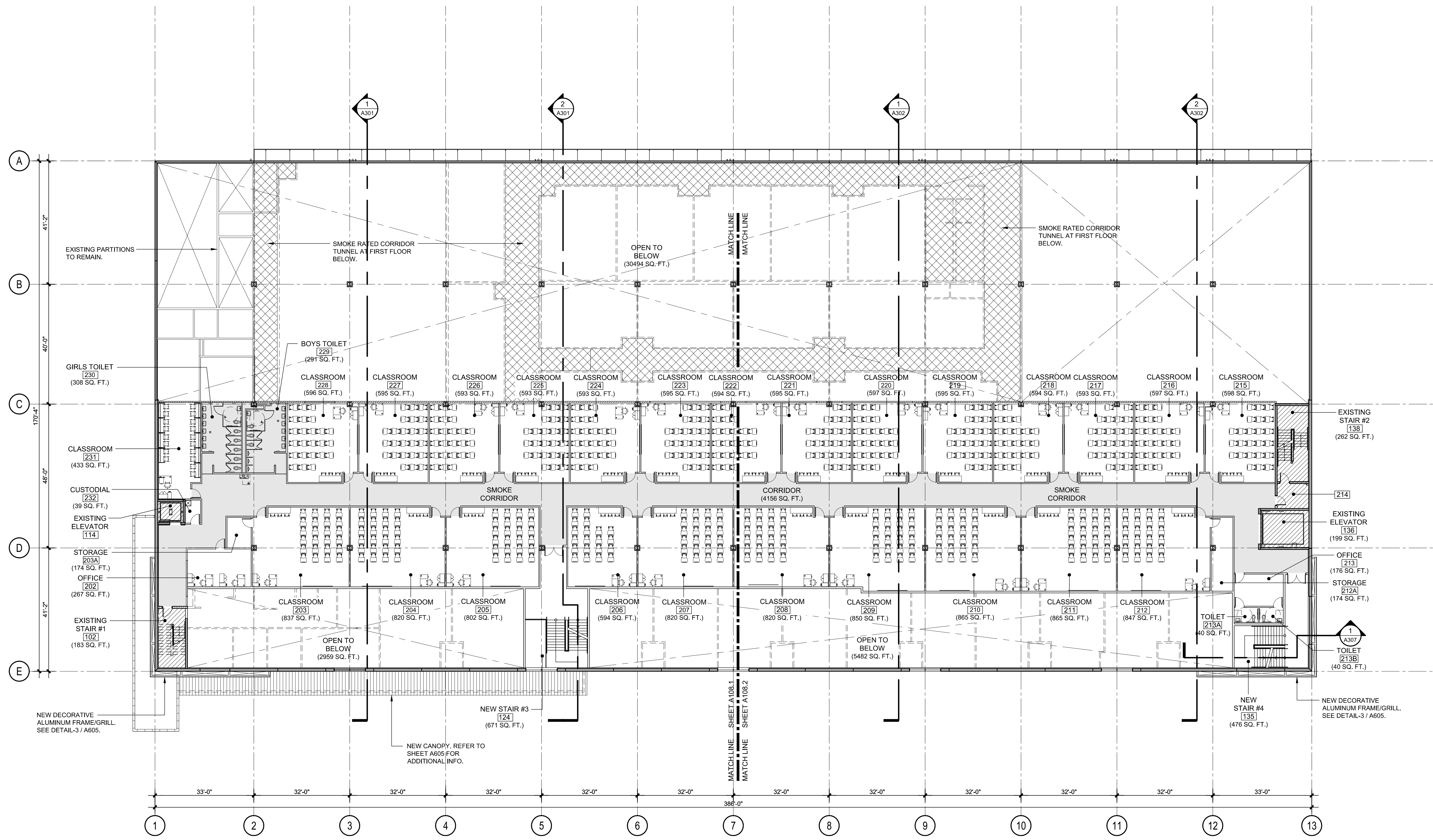


**BRIDEPREP
ACADEMY
AT DORAL**

3500 NW 89th COURT
DORAL, FLORIDA 33172

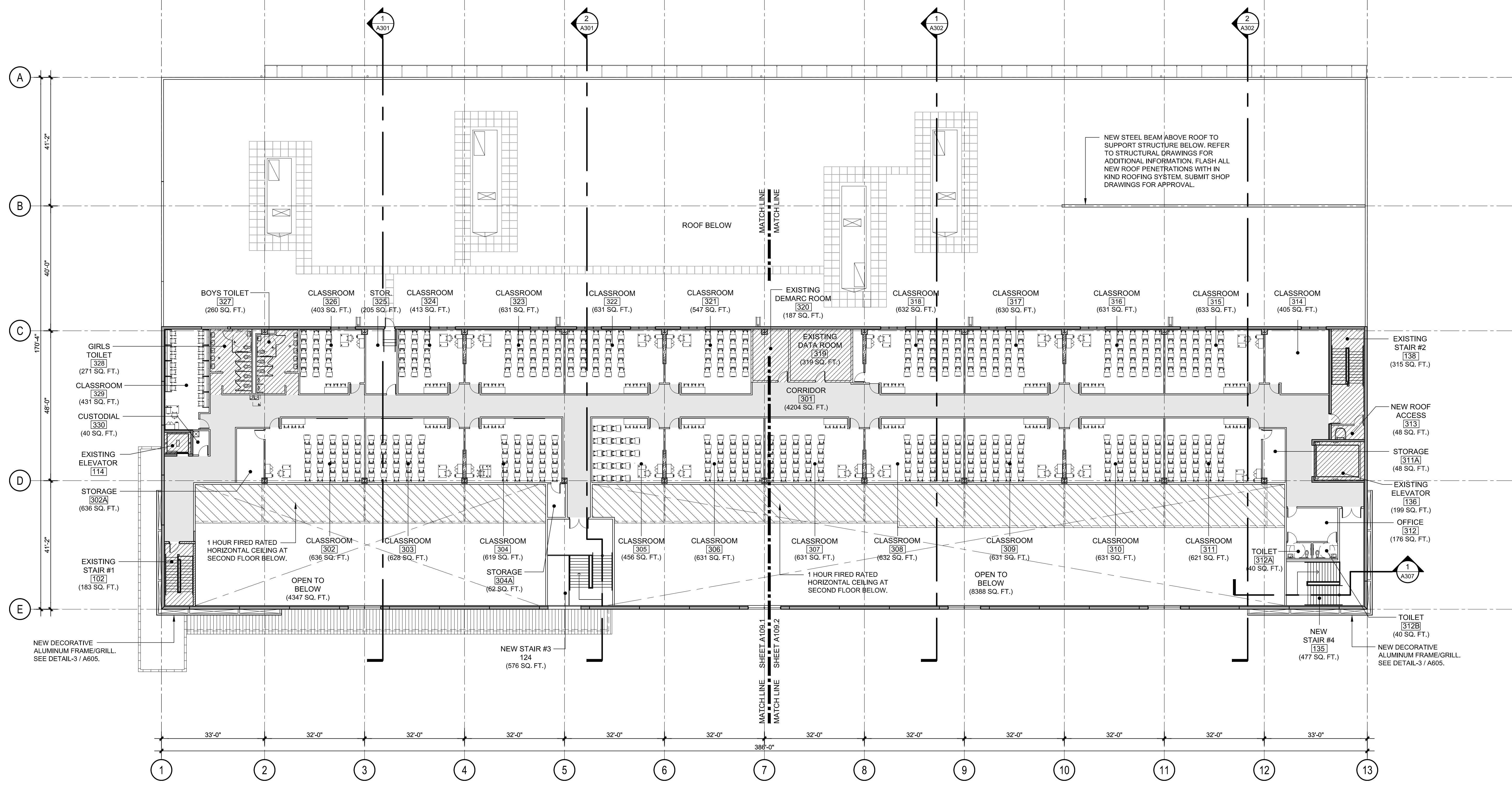
DATE	ISSUE DESCRIPTION

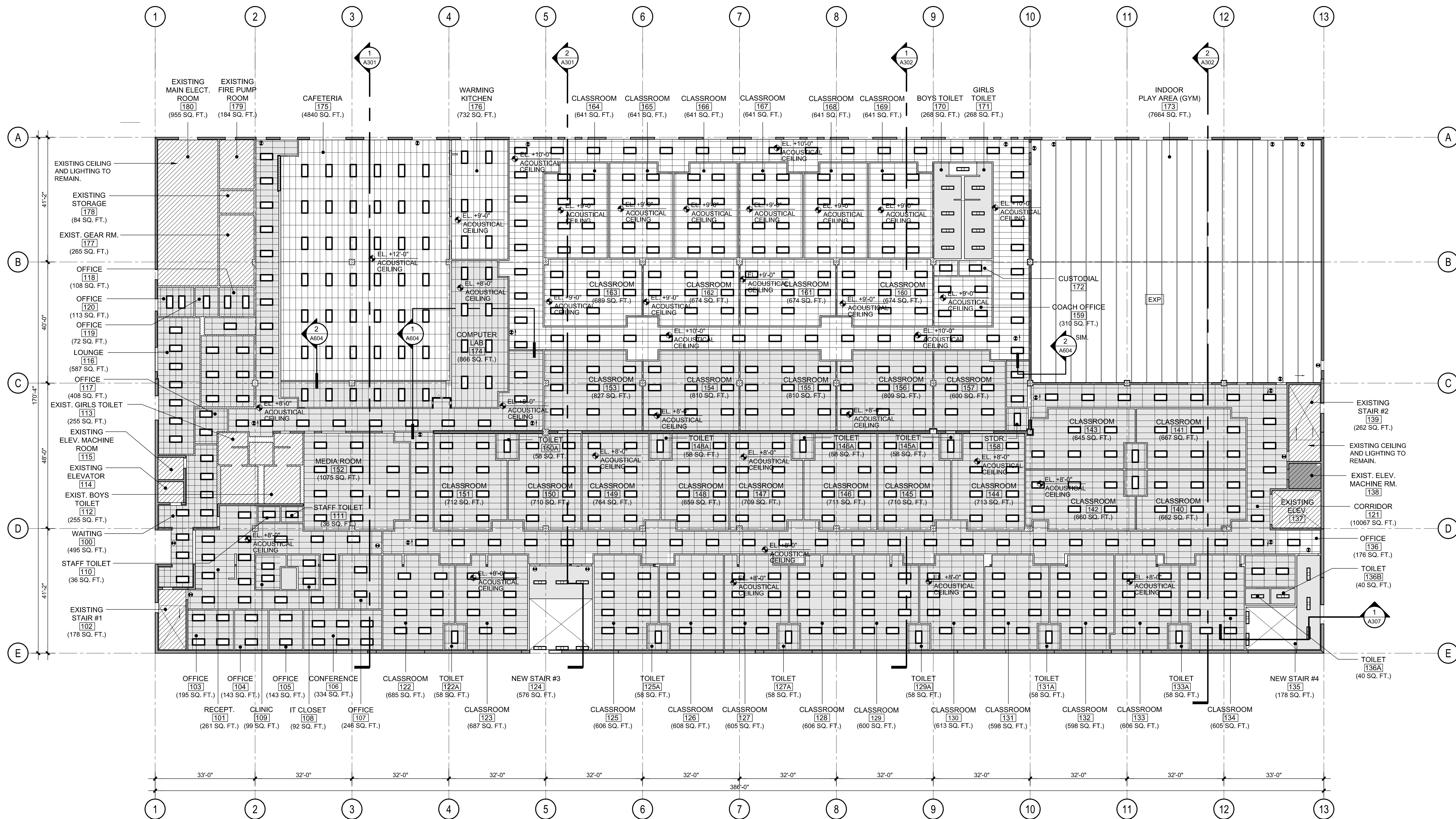
SHEET TITLE:
PROPOSED OVERALL
SECOND FLOOR PLAN





DATE	ISSUE DESCRIPTION





LEGEND AND NOTES

- | | | | |
|--|--|--|--|
| <ul style="list-style-type: none"> | <ul style="list-style-type: none"> | <ul style="list-style-type: none"> | <ul style="list-style-type: none"> |
|--|--|--|--|
- NOTE:** AT HARD CEILING AREAS PROVIDE ACCESS PANELS AS REQUIRED

PROFESSIONAL SEAL:



Alberto Llorente
 AR-0012031

PROJECT:

BRIDEPREP ACADEMY AT DORAL

3500 NW 89th COURT
 DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:
 PROPOSED FIRST FLOOR REFLECTED CEILING PLAN

DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

CHECKED BY: ALL

REF NUMBER:

SHEET NO. A110

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BRIDEPREP ACADEMY AT DORAL

3500 NW 89th COURT
 DORAL, FLORIDA 33172

SHEET TITLE:
PROPOSED SECOND FLOOR REFLECTED CEILING PLAN

DELIVERY DATE: 01.04.2021

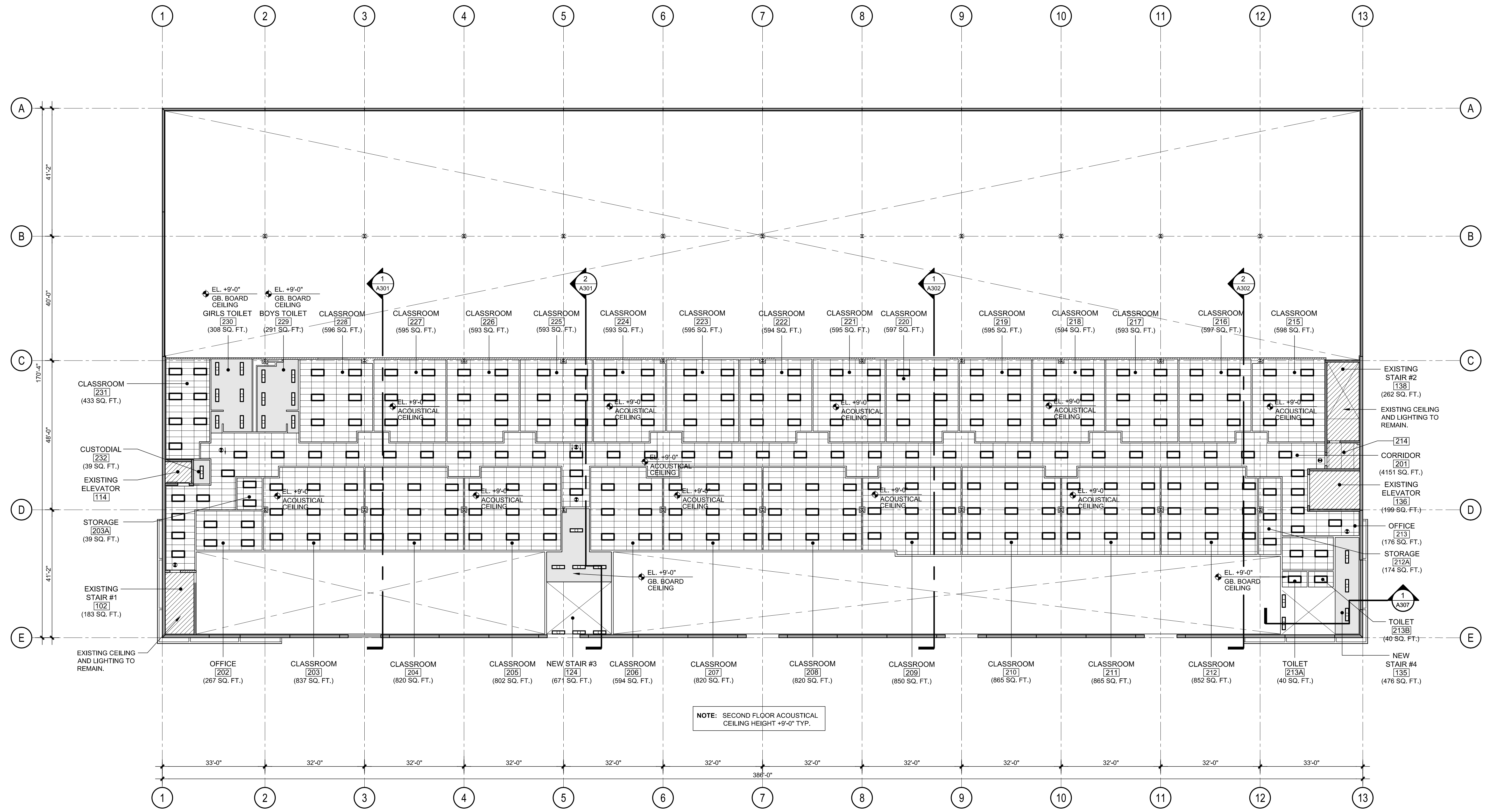
DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **A111**

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LEGEND AND NOTES

	2' x 2' x 5/8" SQUARE EDGE LAY-IN ACOUSTICAL PANEL SUSPENDED CEILING SYSTEM, SCHOOL ZONE FINE FISSURE BY ARMSTRONG OR APPROVED EQUAL.		(GYMNASIUM/ MECHANICAL/ ELECTRICAL ROOMS) EXPOSED UNDERSIDE OF FLOOR OR ROOF STRUCTURE PAINT FINISH		2'x4' LIGHT FIXTURE		WALL MOUNTED EMERGENCY EXIT LIGHT
	2' x 4' x 5/8" SQUARE EDGE LAY-IN ACOUSTICAL PANEL SUSPENDED CEILING SYSTEM, SCHOOL ZONE FINE FISSURE BY ARMSTRONG OR APPROVED EQUAL.		OCCUPANCY SENSOR		2'x4' EMERGENCY LIGHT FIXTURE		SURFACE MOUNTED EMERGENCY FLUORESCENT LIGHT FIXTURE.
	2' x 4' x 5/8" SQUARE EDGE LAY-IN ACOUSTICAL PANEL SUSPENDED CEILING SYSTEM, SCHOOL ZONE FINE FISSURE BY ARMSTRONG OR APPROVED EQUAL @ ELEV. +8'-0" AT FIRST FLOOR.		CEILING MOUNTED SMOKE DETECTOR		1'x4' LIGHT FIXTURE		SUPPLY CEILING DIFFUSER, SEE MECHANICAL DRAWINGS FOR DUCTING
	PAINTED MOISTURE RESISTANT DRYWALL ON SUSPENDED METAL FRAMING CEILING.		BATTERY EMERGENCY LIGHT		1'x4' EMERGENCY LIGHT FIXTURE		RETURN OR EXHAUST GRILLE, SEE MECHANICAL DRAWINGS FOR DUCTING
	PAINTED DRYWALL ON SUSPENDED METAL FRAMING CEILING.		12" X 12" CEILING ACCESS PANEL WHERE REQ. PROVIDE 1HR FIRE RATED AT 1HR FIRED EATED CEILINGS.		HID OR FLUORESCENT WALL MOUNTED LIGHT FIXTURE		RETURN OR EXHAUST GRILLE, SEE MECHANICAL DRAWINGS FOR DUCTING
	EXISTING CEILING TO REMAIN.		SURFACE OR PENDANT MOUNTED FLUORESCENT STRIPS.		HID OR FLUORESCENT DOWN LIGHT	NOTE: AT HARD CEILING AREAS PROVIDE ACCESS PANELS AS REQUIRED	
			CEILING MOUNTED EMERGENCY EXIT SIGN WITH DIRECTION OF TRAVEL		M-2 CEILING MOUNTED PROJECTOR PLATE W/ 6" PIGTAIL		



BRIDEPREP ACADEMY AT DORAL

3500 NW 89th COURT
DORAL, FLORIDA 33172

SHEET TITLE:
PROPOSED THIRD FLOOR REFLECTED CEILING PLAN

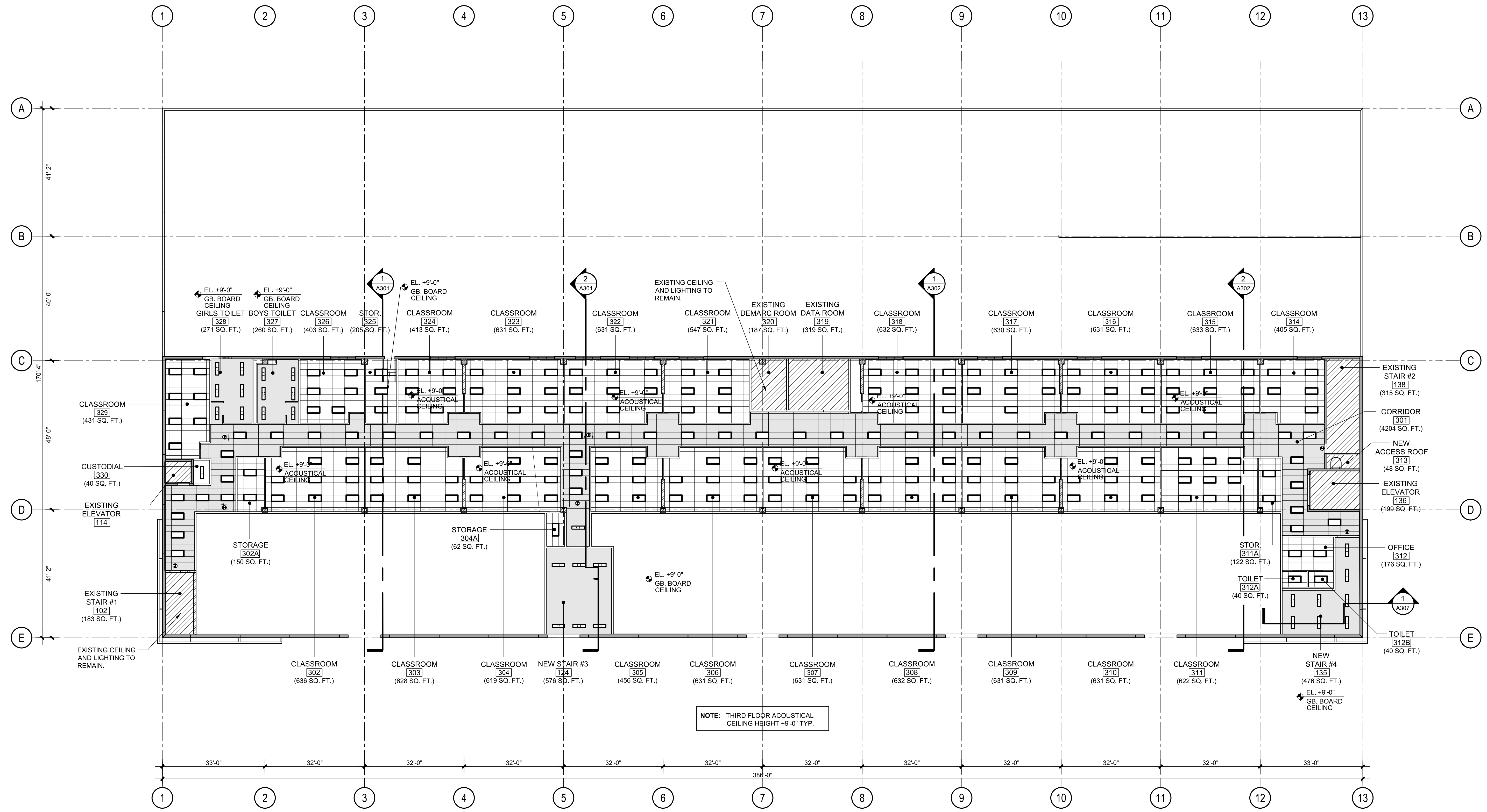
DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **A112**

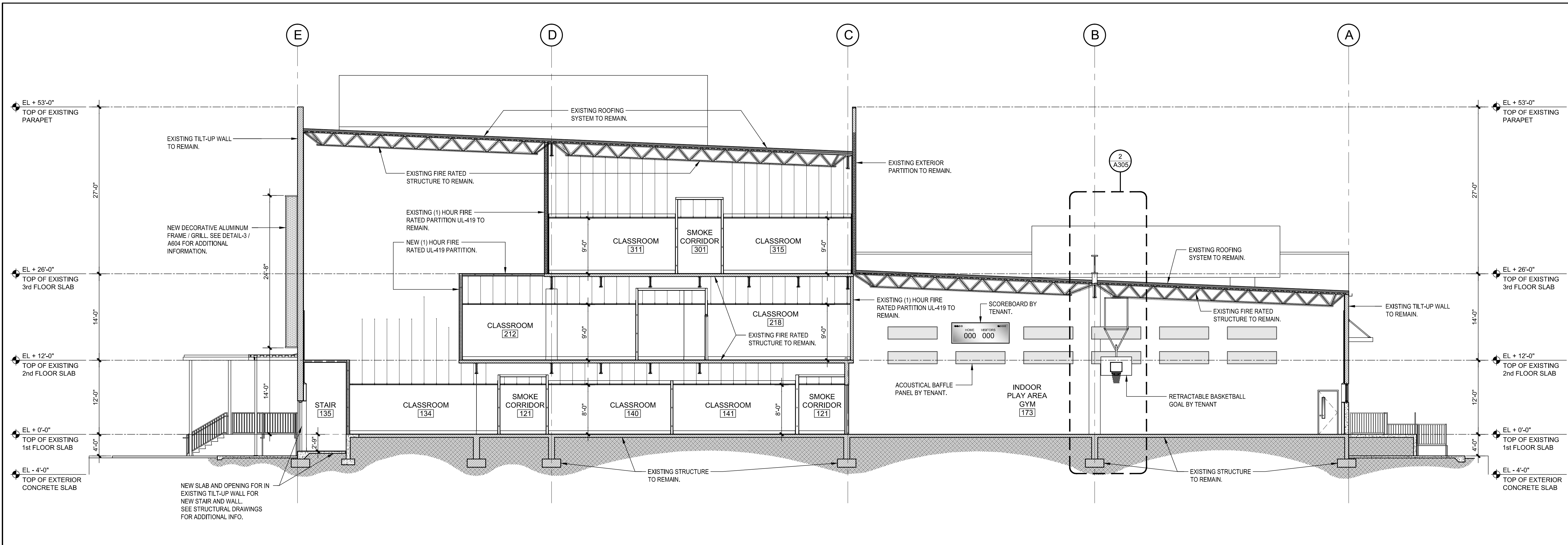


NOTE: THIRD FLOOR ACOUSTICAL CEILING HEIGHT +9'-0" TYP.

LEGEND AND NOTES

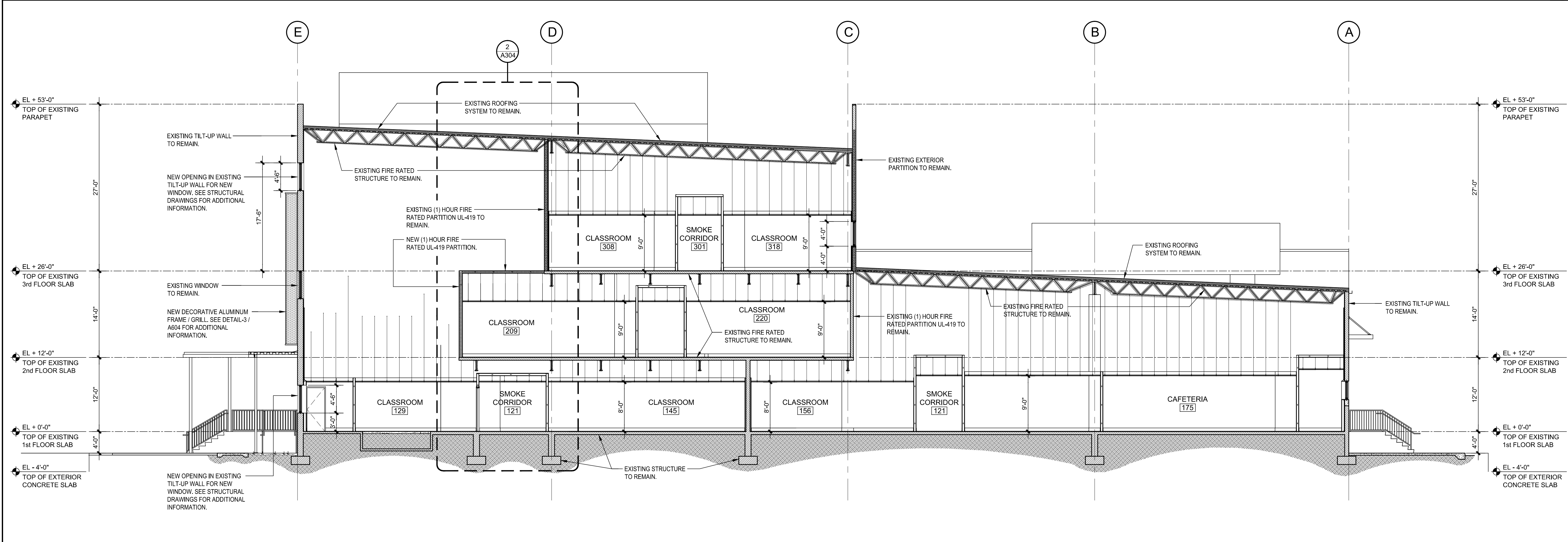
	2' x 2' x 5/8" SQUARE EDGE LAY-IN ACOUSTICAL PANEL SUSPENDED CEILING SYSTEM, SCHOOL ZONE FINE FISSURE BY ARMSTRONG OR APPROVED EQUAL.		(GYMNASIUM/ MECHANICAL/ ELECTRICAL ROOMS) EXPOSED UNDERSIDE OF FLOOR OR ROOF STRUCTURE PAINT FINISH		2x4' LIGHT FIXTURE		WALL MOUNTED EMERGENCY EXIT LIGHT
	2' x 4' x 5/8" SQUARE EDGE LAY-IN ACOUSTICAL PANEL SUSPENDED CEILING SYSTEM, SCHOOL ZONE FINE FISSURE BY ARMSTRONG OR APPROVED EQUAL.		OCCUPANCY SENSOR		2x4' EMERGENCY LIGHT FIXTURE		SURFACE MOUNTED EMERGENCY FLUORESCENT LIGHT FIXTURE.
	2' x 4' x 5/8" SQUARE EDGE LAY-IN ACOUSTICAL PANEL SUSPENDED CEILING SYSTEM, SCHOOL ZONE FINE FISSURE BY ARMSTRONG OR APPROVED EQUAL @ ELEV. +8'-0" AT FIRST FLOOR.		CEILING MOUNTED SMOKE DETECTOR		EMERGENCY LIGHT		SUPPLY CEILING DIFFUSER, SEE MECHANICAL DRAWINGS FOR DUCTING
	PAINTED MOISTURE RESISTANT DRYWALL ON SUSPENDED METAL FRAMING CEILING.		BATTERY EMERGENCY LIGHT		1x4' LIGHT FIXTURE		RETURN OR EXHAUST GRILLE, SEE MECHANICAL DRAWINGS FOR DUCTING
	PAINTED DRYWALL ON SUSPENDED METAL FRAMING CEILING.		12" X 12" CEILING ACCESS PANEL WHERE REQ. PROVIDE 1HR FIRE RATED AT 1HR FIRED EATED CEILINGS.		1x4' EMERGENCY LIGHT FIXTURE		RETURN OR EXHAUST GRILLE, SEE MECHANICAL DRAWINGS FOR DUCTING
	EXISTING CEILING TO REMAIN.		SURFACE OR PENDANT MOUNTED FLUORESCENT STRIPS.		HID OR FLUORESCENT WALL MOUNTED LIGHT FIXTURE		RETURN OR EXHAUST GRILLE, SEE MECHANICAL DRAWINGS FOR DUCTING
			HID OR FLUORESCENT DOWN LIGHT		M-2 CEILING MOUNTED PROJECTOR PLATE W/ 6" PIGTAIL		
			CEILING MOUNTED EMERGENCY EXIT SIGN WITH DIRECTION OF TRAVEL				

NOTE: AT HARD CEILING AREAS PROVIDE ACCESS PANELS AS REQUIRED



BUILDING SECTION SCALE: 1/8" = 1'-0"

2



BUILDING SECTION SCALE: 1/8" = 1'-0"

1

PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

**BRIDEPREP
ACADEMY
AT DORAL**

3500 NW 89th COURT
DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:
PROPOSED EXTERIOR
ELEVATIONS

DELIVERY DATE: 01.04.2021

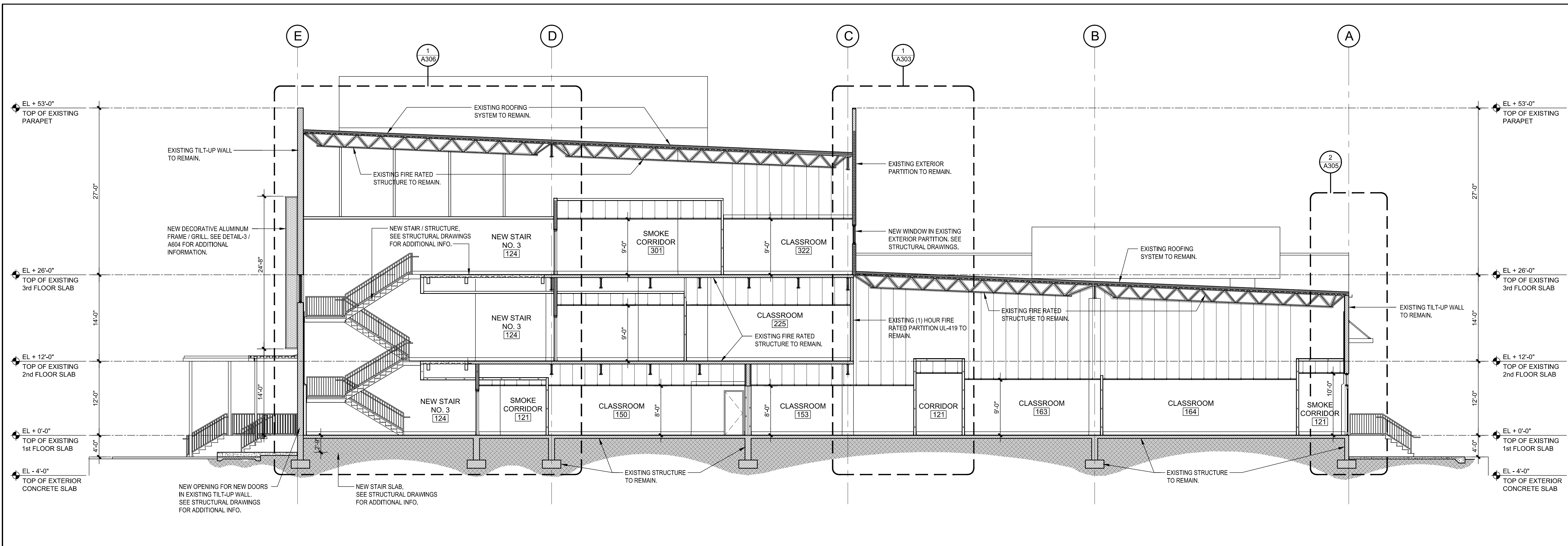
DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

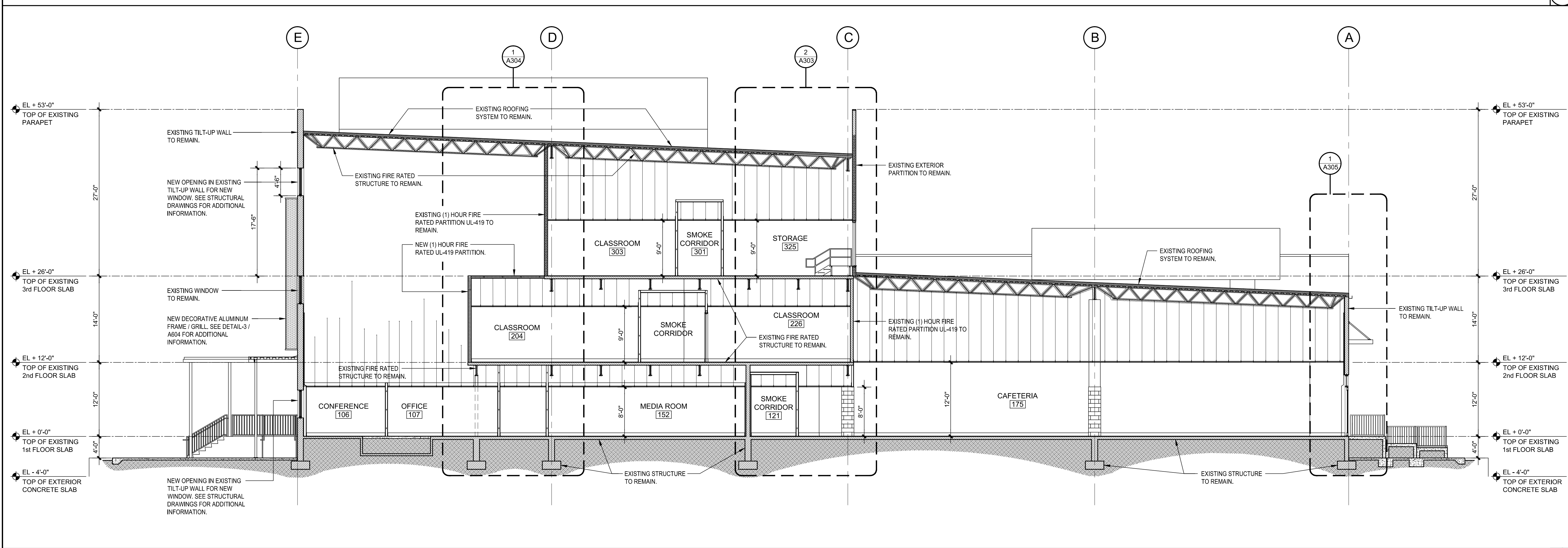
SHEET NO. A302

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BUILDING SECTION SCALE: 1/8" = 1'-0"

2



BUILDING SECTION SCALE: 1/8" = 1'-0"

1

PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

PROJECT:

**BRIDEPREP
ACADEMY
AT DORAL**

3500 NW 89th COURT
DORAL, FLORIDA 33172

DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:
PROPOSED EXTERIOR
ELEVATIONS

DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **A301**
26 of 46



BRIDEPREP ACADEMY AT DORAL

3500 NW 89th COURT
 DORAL, FLORIDA 33172

DATE	ISSUE DESCRIPTION

SHEET TITLE:
 PROPOSED EXTERIOR ELEVATIONS

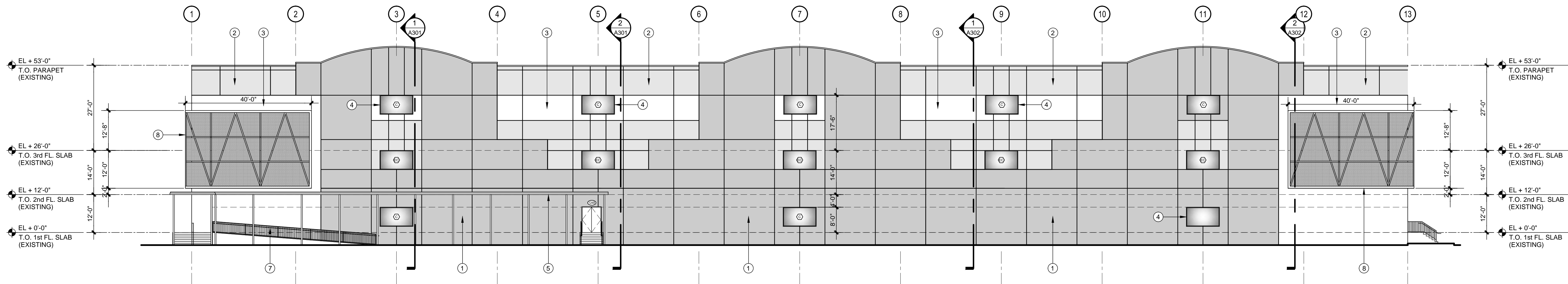
DELIVERY DATE: 01.04.2021

DRAWN BY: J.B.

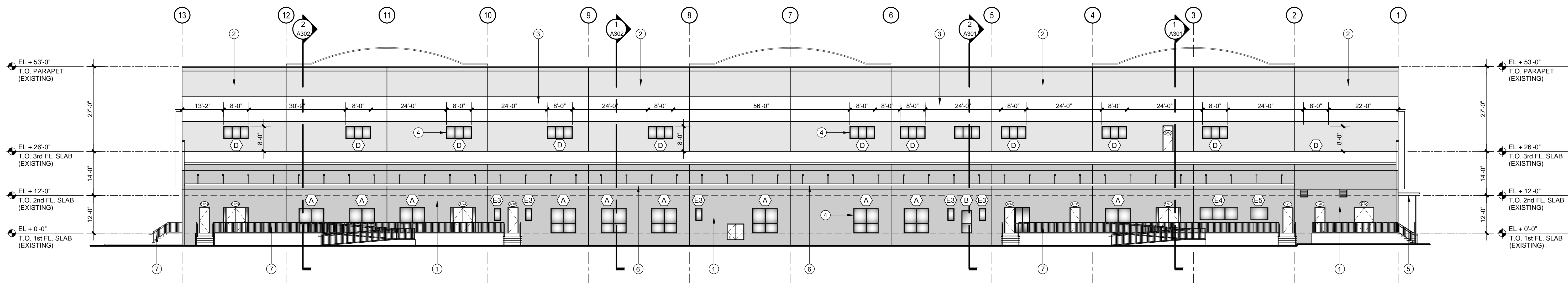
CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **A201**
 25 of 46



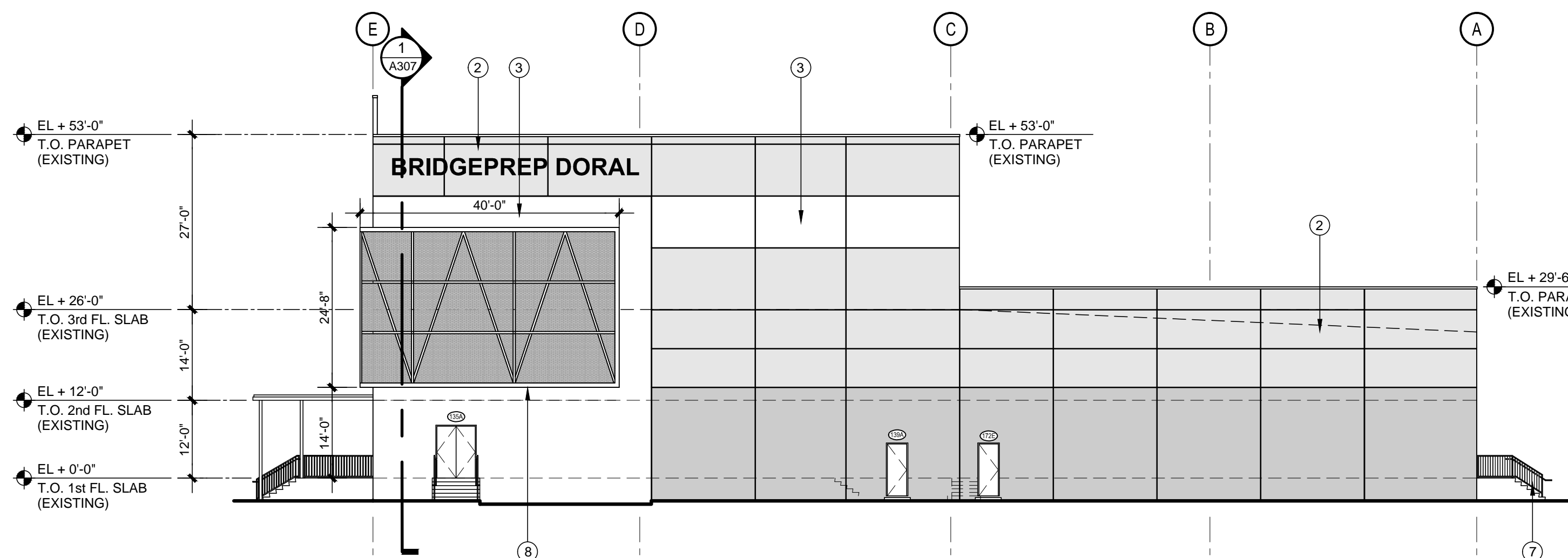
SOUTH ELEVATION



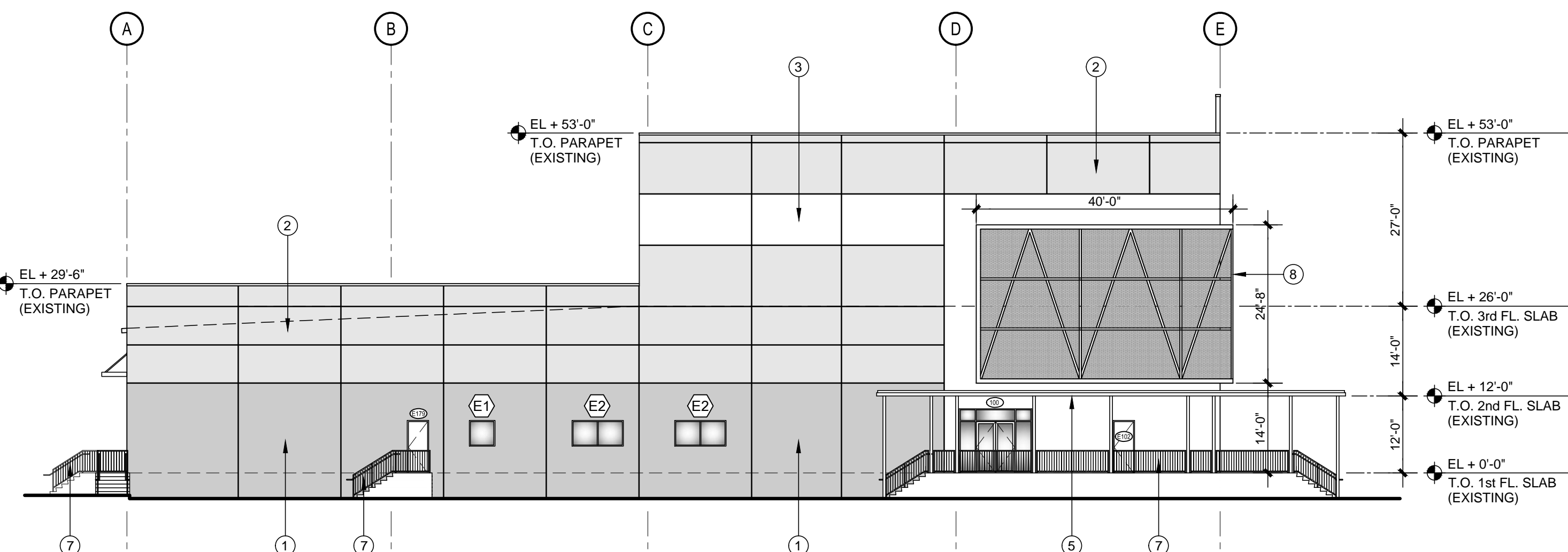
NORTH ELEVATION

COLOR LEGEND

	① COLOR SHERWIN WILLIAMS (BLUE BLOOD) SW6966		② COLOR SHERWIN WILLIAMS (NETWORK GRAY) SW7073		③ COLOR SHERWIN WILLIAMS (CEILING BRIGHT WHITE) SW7007	④ DARK BRONZE ALUMINUM WINDOW WITH GRAY TINTED GLASS.	⑥ ANODIZED ALUMINUM COVERED CANOPY.	⑧ ANODIZED ALUMINUM ARCHITECTURE SCREEN AND FRAME.
						⑤ ANODIZED ALUMINUM COVERED WALKWAY.	⑦ ANODIZED ALUMINUM RAILINGS.	



EAST ELEVATION



WEST ELEVATION

TREE AND PALM LEGEND

	GUMBO LIMBO <i>Bursera simaruba</i>		SLASH PINE <i>Pinus elliotii</i>
	SMALL-LEAVED CLUSIA <i>Clusia guttifera</i>		LIVE OAK <i>Quercus virginiana</i>
	SATINLEAF <i>Chrysophyllum oliviforme</i>		MONTGOMERY PALM <i>Veitchia montgomeryana</i>
	GREEN BUTTONWOOD <i>Conocarpus erectus</i>		FOXTAIL PALM <i>Wodyetia bifurcata</i>
	SILVER BUTTONWOOD <i>Conocarpus erectus</i> Var. "sericeus"		SYLVESTER PALM <i>Phoenix sylvestris</i>
	WILD TAMARIND <i>Lycium latifolium</i>		

LANDSCAPE LEGEND CITY OF DORAL- CHAPTER 71

ZONING DISTRICT: IC	NET LAND 6.03 ACRES	265,418 SF.
OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 71, as indicated on site plan: Net lot area = 20% x 215,418 =	53,086	88,388
B. Square feet of parking lot open space required by Chapter 71 on site plan: 131 SURFACE SPACES x 10 SF/SPACE	1,310	1,310
C. Total s.f. of open space required by Chapter 71: A + B =	54,406	90,298
LAWN AREA CALCULATION 54,406 required by Chapter 71	54,406	90,298
B. Maximum lawn area (sqd) permitted = required by Chapter 71, on site plan: 2 x 54,406 s.f. =	10,881	10,765
TREES: 15 per Acre		
A. No. trees required per net lot acre space Less existing no. of trees meeting min. required	92	102
B. % Palms Allowed: No. of trees provided 30 x 30% =	27	-
C. % Natives Required: 50% MINIMUM REQUIRED	46	84
D. Street Trees (maximum average spacing of 25' o.c.) linear feet along street /35: No. of trees provided x 30% =	12	12
E. Street Trees located directly beneath power lines, Max. ave. spacing of 25' o.c.	N/A	N/A
TOTAL NUMBER OF TREES REQUIRED	104	114
SHRUBS:		
A. No. trees required x 10 = No. of shrubs allowed	1,040	1,075
B. No. shrubs allowed x 50% = No. of Native shrubs required	520	1,075

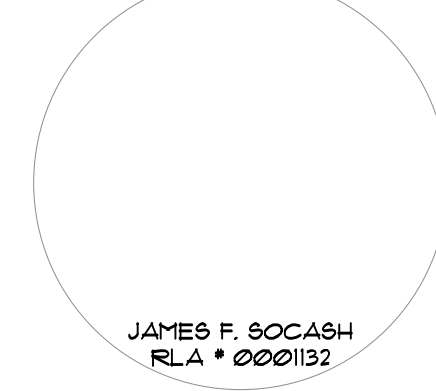
STREET TREE TABULATIONS

	REQUIRED	PROVIDED
N.W. 89th Court 392 L.F. / 1 TREE/35 L.F.	12	12 7 EXIST., 5 PROPOSED
TOTALS	12	12

TYPE 2	Landscape Required			
	WIDTH	SHADE TREES	UNDERSTORY TREES	SHRUBS
for every 100 L.F.	10'	3	3	30
NORTH: 500' L.F.		15	15	150
NORTH 500' L.F.	Landscape Provided			
	WIDTH	SHADE TREES	UNDERSTORY TREES	SHRUBS
500' L.F.	10'	15*	16*	480*
'IN ADDITION TO LANDSCAPE REQUIREMENTS				
EAST NOT DISSIMILIAR LAND USE 568' L.F.	WIDTH	SHADE TREES	UNDERSTORY TREES	SHRUBS
SOUTH NOT DISSIMILIAR LAND USE 464' L.F.	WIDTH	SHADE TREES	UNDERSTORY TREES	SHRUBS
WEST NOT DISSIMILIAR LAND USE 557' L.F.	WIDTH	SHADE TREES	UNDERSTORY TREES	SHRUBS

SEE SHEET L-11 FOR NORTH SECTOR PLAN, AND SHEET L-12 FOR SOUTH SECTOR PLAN.
 SEE SHEET L-2 FOR PLANTLIST AND LANDSCAPE SPECIFICATIONS.
 SEE SHEET L-3 FOR LANDSCAPE DETAILS, NOTES, ETC.

PROFESSIONAL SEAL:



Alberto Llorente
 AR-0012031

PROJECT:

BRIDGEPREP ACADEMY AT DORAL
 3500 NW 89th COURT
 DORAL, FLORIDA 33172

DATE: 10.23.20
 ISSUE DESCRIPTION: SITE PLAN COMM.

DRAWING INFORMATION:
 SHEET TITLE:

DELIVERY DATE: 12.01.2020

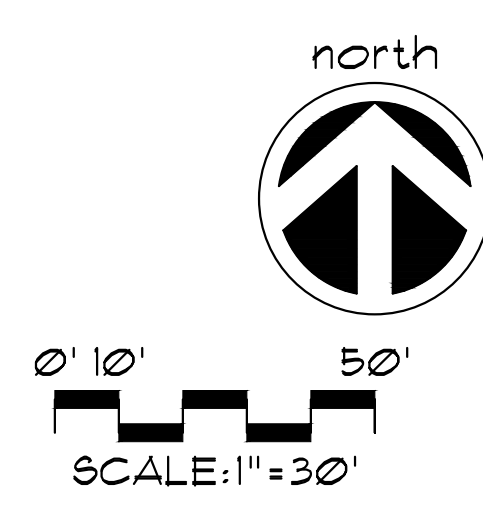
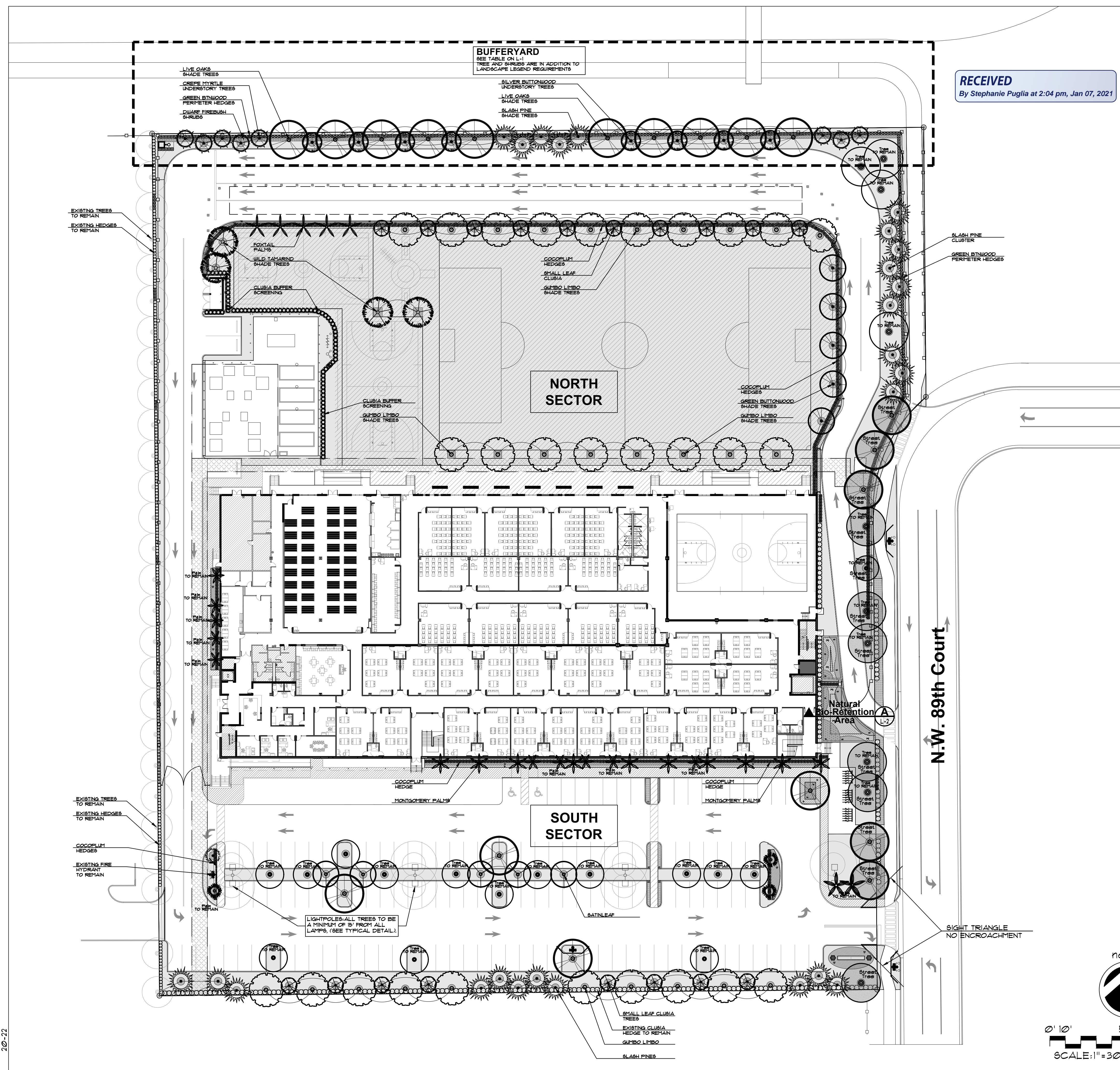
DRAWN BY: J.B.

CHECKED BY: ALL

REF NUMBER:

SHEET NO. **L-1**
 OF

RECEIVED
 By Stephanie Puglia at 2:04 pm, Jan 07, 2021

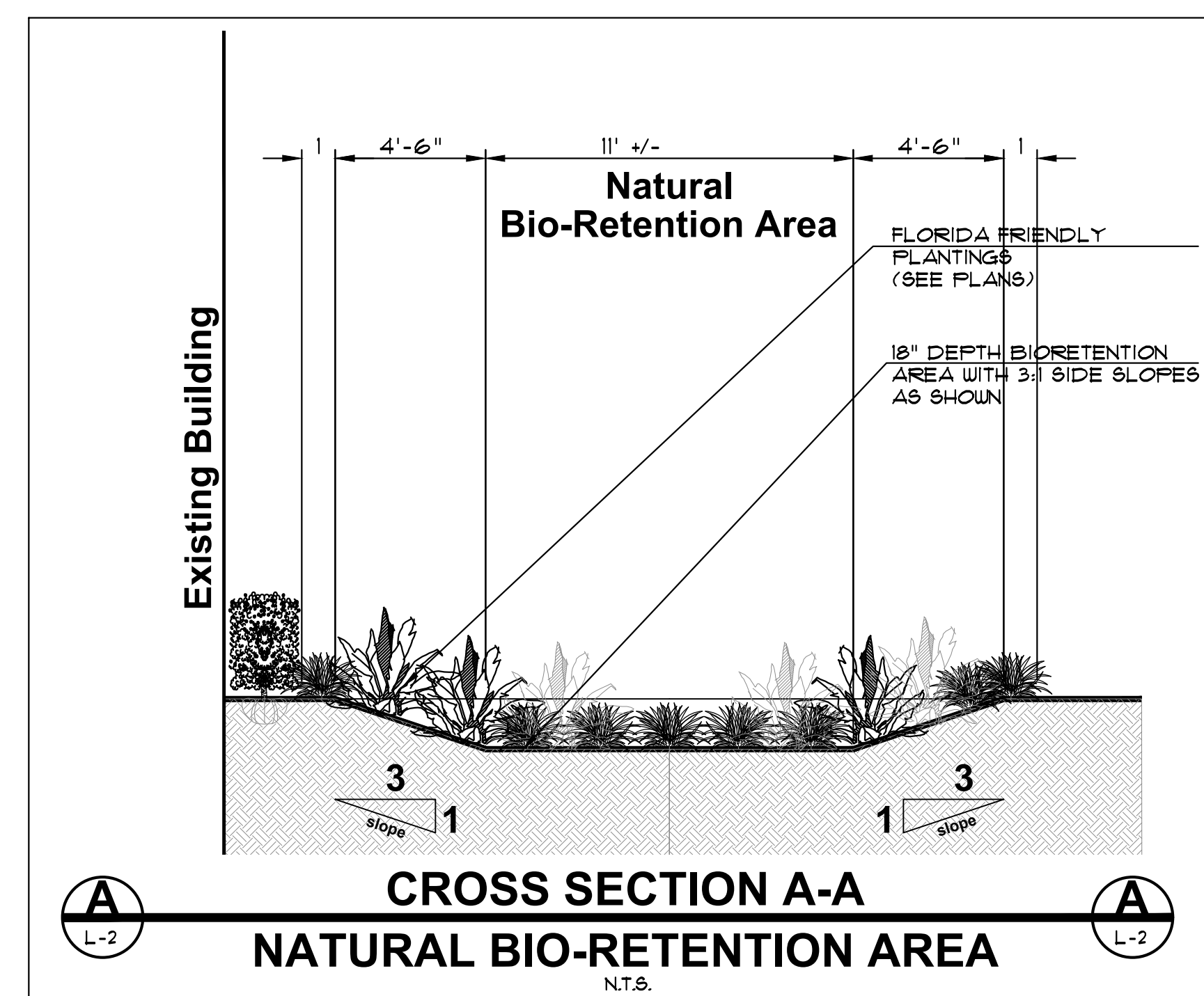


SITE LANDSCAPE PLAN

RECEIVED
By Stephanie Puglia at 2:04 pm, Jan 07, 2021

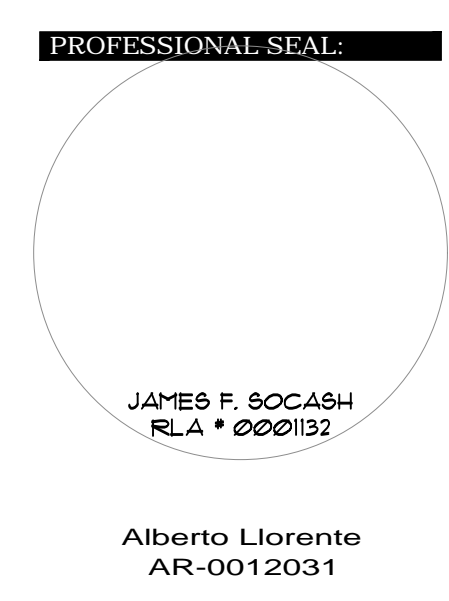
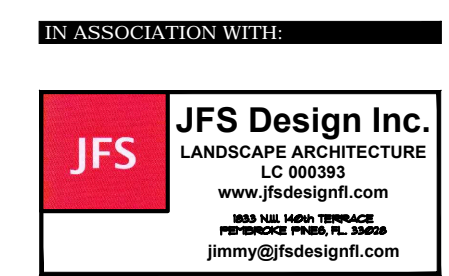
LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.
 - SODDED-LAWN AREAS
 - 2" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
 - GROUND COVER PLANTING BEDS:
 - 6" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
 - SHRUB AND HEDGE PLANTING AREAS:
 - 12" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
 - TREES, PALMS, SPECIMEN PLANT MATERIAL:
 - 24" DEPTH PLANTING SOIL SPREAD IN PLACE OR TO THE DEPTH OF THE ROOTBALL OR CONTAINER WHICHEVER IS GREATEST.
 - LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:
 - EXCAVATE AND REMOVE ALL LIMESTONE, ROCKS, DEBRIS, ETC. TO A DEPTH OF 18" AND BACKFILL W/ 50:50 TOPSOIL:SAND MIX.
 - BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
- THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT. OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 "NO CUTS" AS REQUIRED BY LAW.
- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.
- SOD SHALL BE ARGENTINE "BAHIA" OR ST. AUGUSTINE "FLORATAM" AS SHOWN ON THE PLANS, STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.
- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FDOT. SOD SHALL CARRY A 5-MONTH WARRANTY.
- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
- IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP. AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.
- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.
- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING-IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS "TENAX" PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRIPLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.
- EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.
- ALL EXISTING TREES AND PALMS SHALL BE "LIFTED AND THINNED" TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.
- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.
- ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SWALES, ETC. SHALL BE WATERED-IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.
- THE LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE LOCAL GOVERNING AGENCY, GENERAL CONTRACTOR, LANDSCAPE ARCHITECT, AND IRRIGATION CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.



PLANTLIST				
SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION
** "AT TIME OF PLANTING" FOR ALL PLANTINGS.				
EXISTING TREES (SEE TREE DISPOSITION PLANS)				
** PROPOSED STREET TREES				
LL	YES	1	EXISTING WILD TAMARIND	Lysiloma latissiliquum ALL EXISTING - SEE TREE INVENTORY
QV6	YES	5	LIVE OAKS	Quercus virginiana 16' x 1" epr, 4" cal, 6' ct.
12 STREET TREES				
** PROPOSED LOT TREES				
18 EXISTING TREES TO REMAIN				
BS	YES	28	GUMBO LIMBO	Bursera simaruba 14' x 6' epr, 4" cal.
CG12	YES	18	SMALL LEAF CLUBMIA	Clusia guttifera 10' OA, X 6', 2 1/2" cal.
CO	YES	5	SATINLEAF	Chrysophyllum oliviforme 14' x 6' epr, 4" cal.
CE	YES	5	GREEN BUTTWOOD	Conocarpus erectus 14' x 6' epr, 4" cal.
LL	YES	4	WILD TAMARIND	Lysiloma latissiliquum 14' x 6' epr, 4" cal.
FEL	YES	20	SLASH PINE	Pinus elliotii 14' x 6' epr, 4" cal.
QV	YES	4	LIVE OAKS	Quercus virginiana 14' x 6' epr, 4" cal.
102 LOT TREES				
**PALMS				
VM2	YES	10	MONTGOMERY PALMS	Veitchia montgomeryana DBL. TK, FG, 14' oa, full hd.
WB	YES	5	FOXTAIL PALMS	Wodyetia bifurcata 14' oa, 5" dbh, full hd
**SHRUBS				
CRT	YES	200	EXISTING FITCH APPLE	Clusia rosea SOUTH PERIMETER
C13	YES	150	EXISTING COCOPLUM	Chrysobalanus icaco EAST PERIMETER
CRT	YES	125	FITCH APPLE	Clusia rosea 1 GAL, 36" h, 30" O.C., FTB.
C13	YES	500	COCOPLUM	Chrysobalanus icaco 3 gal, 24" x 24", 24" o.c., full
CEH	YES	50	GREEN BUTTWOOD	Conocarpus erectus 3 gal, 24" x 24", 24" o.c., full
HPD	YES	50	DWARF FIREBUSH	Hamelia nodosa 3 gal, 18" x 18", 24" o.c.
1,075 SHRUBS				
NOTE: SPECIFIC QUANTITIES WILL BE SHOWN ON CONSTRUCTION LANDSCAPE DRAWINGS.				
** BUFFERYARD PLANTINGS (ADDITIONAL TO LANDSCAPE REQUIREMENTS)				
** SHADE TREES				
PEL	YES	5	SLASH PINE	Pinus elliotii 14' x 6' epr, 4" cal.
QV	YES	10	LIVE OAKS	Quercus virginiana 14' x 6' epr, 4" cal.
** UNDERSTORY TREES				
CET	YES	8	SILVER BUTTWOOD	Conocarpus erectus "sericeus" 10' x 6' epr, 4" DBH (3 TRS. # 7" ea) AT TIME OF INSTALLATION
L1W	YES	8	CRAPE MYRTLE "WHITE"	Lagerstroemia indica "Natchez" 12' x 5' epr, STANDARD, SINGLE LEADER, 2" DBH, 4' CT. AT TIME OF INSTALLATION
** BUFFERYARD SHRUBS				
CEH	YES	240	GREEN BUTTWOOD	Conocarpus erectus 3 gal, 24" x 24", 24" o.c., full
HPD	YES	240	DWARF FIREBUSH	Hamelia nodosa 3 gal, 18" x 18", 24" o.c.
SOD				
SOD			"FLORATAM" ST. AUGUSTINE	Stenotaphrum secundatum SOLID SOD, price per sq. ft.
BAH			"ARGENTINE" BAHIA SOD	Paspalum notatum SOLID SOD, price per sq. ft.
TOPSOIL:				
			TOPSOIL:SAND MIX	50:50 TOPSOIL:SAND MIX, SPREAD IN PLACE
		30 c.y.	TREES, PALMS, SHRUBS AND GROUNDCOVERS	
		50 c.y.	AREA TO BE SODDED WITH A 2" DEPTH OF TOPSOIL SPREAD IN PLACE	
MULCHING:				
		30 c.y.	RECYCLED DRK BROWN	3" DEPTH, SPREAD IN PLACE, ATLAS FEAT AND SOIL
				PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION
			TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR	
				TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS
				UPON FINAL INSPECTION AND APPROVAL.
INSTALLATION WATERING:				
				CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED,
				AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY
				THE LOCAL GOVERNING AGENCY AND THE OWNER

PLANTLIST, DETAILS, NOTES, ETC.



PROJECT:
BRIDGEPREP ACADEMY AT DORAL
3500 NW 89th COURT DORAL, FLORIDA 33172

DATE: 10.23.20 **ISSUE DESCRIPTION:** SITE PLAN COMM.

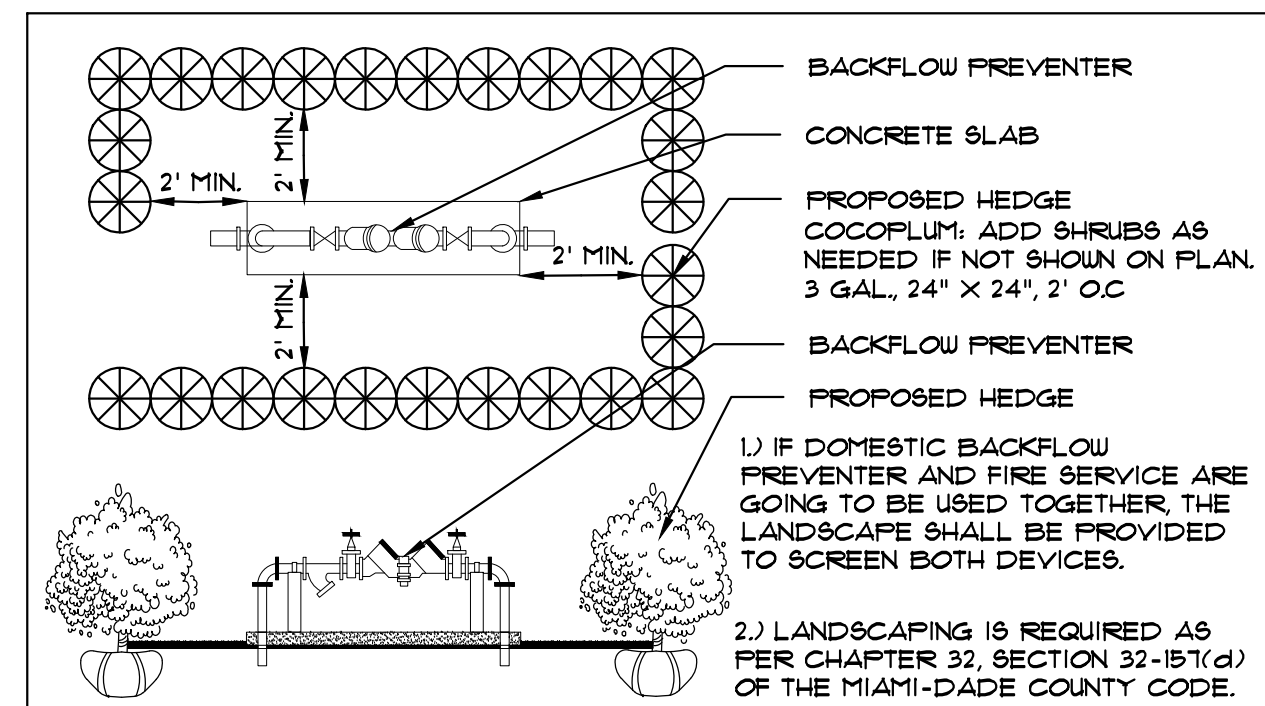
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SHEET TITLE:

DELIVERY DATE: 12.01.2020
DRAWN BY: J.B.

CHECKED BY: ALL
REF NUMBER:

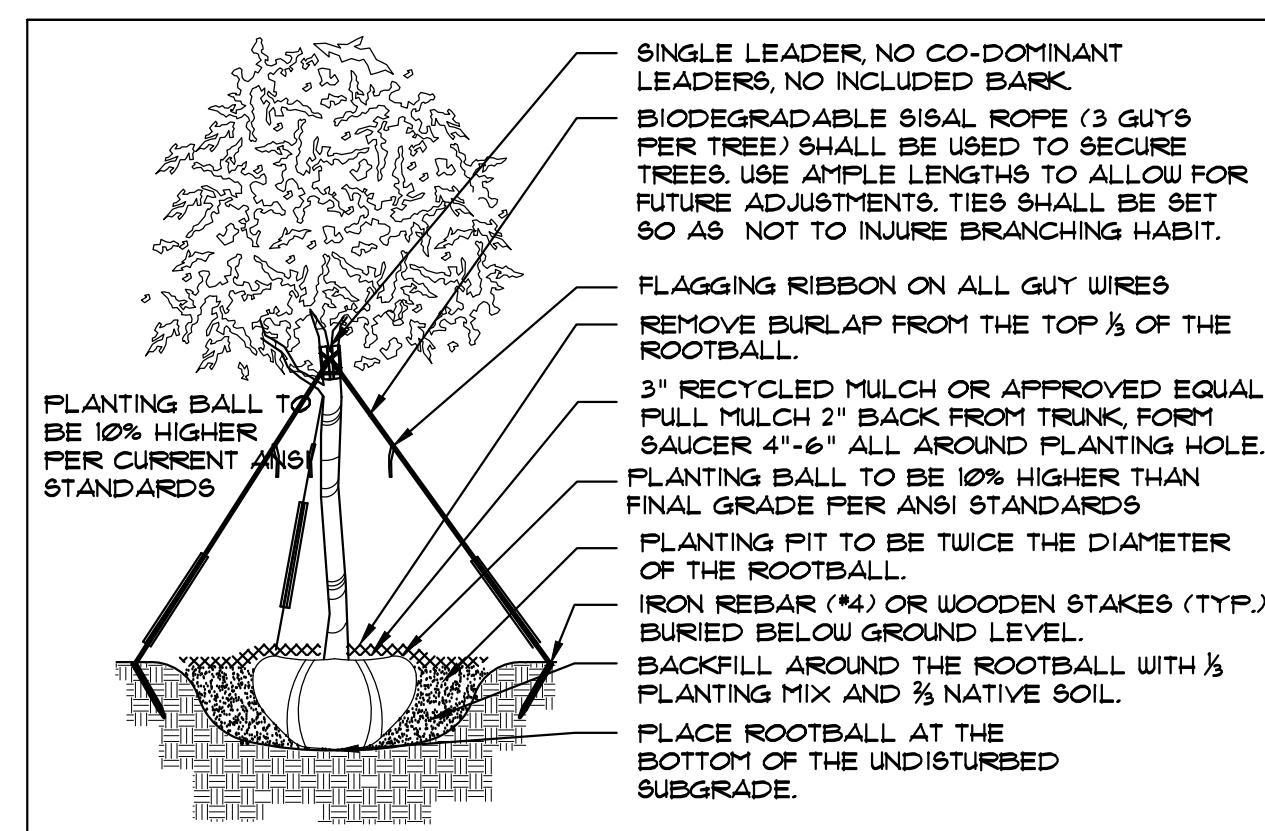
SHEET NO. L-2
OF

RECEIVED
By Stephanie Puglia at 2:04 pm, Jan 07, 2021



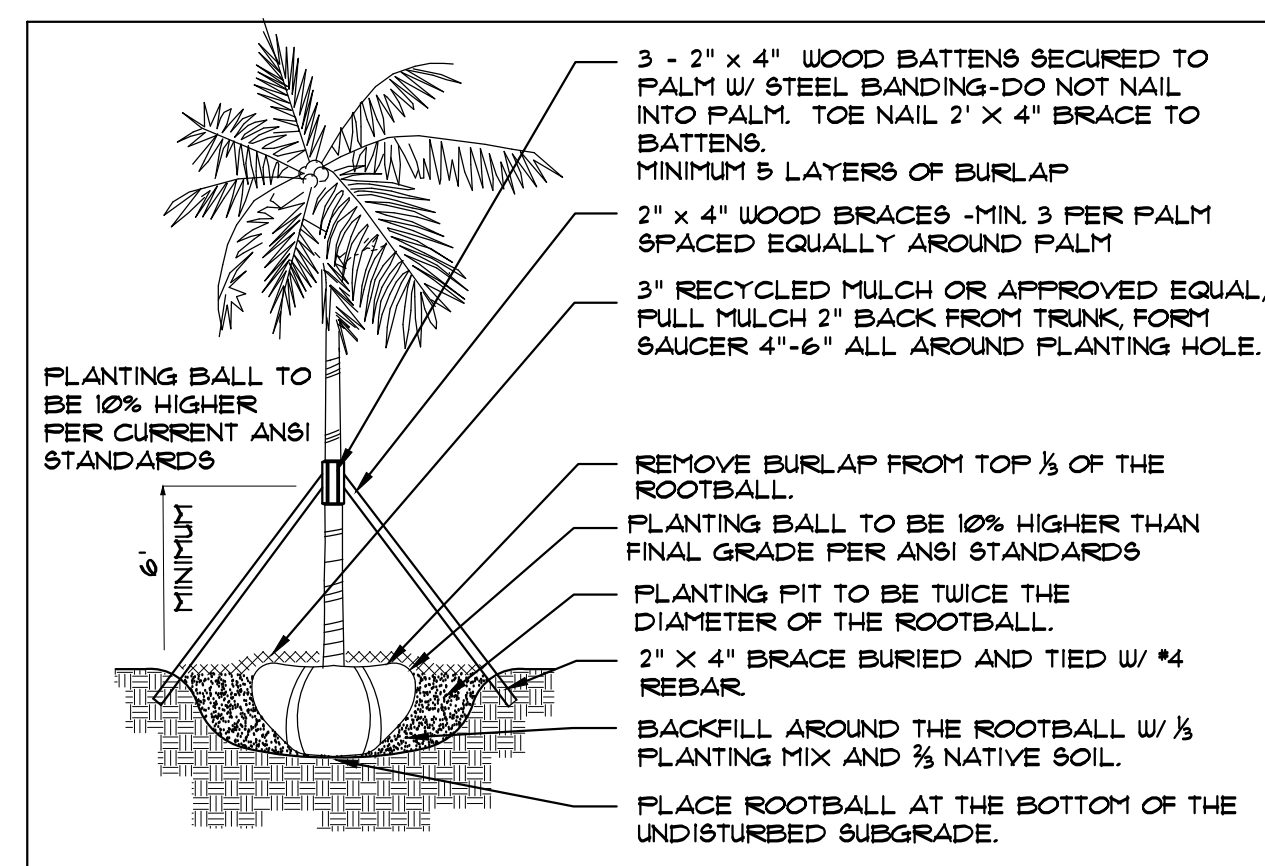
TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES

N.T.S.



TREE PLANTING DETAIL

N.T.S.



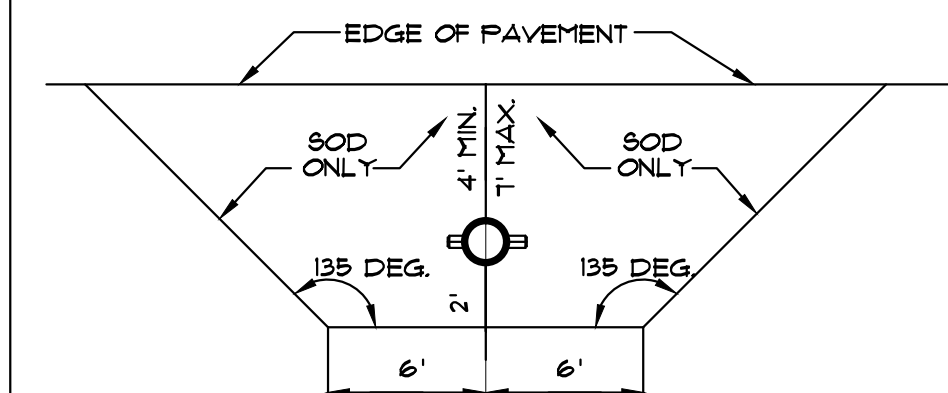
PALM PLANTING DETAIL

N.T.S.

FERTILIZATION:

ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER ATLANTIC-AFEC FERTILIZER 4 CHEMICAL (AFEC) OR AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.

FERTILIZATION SHALL BE AS FOLLOWS: TREES: 12-06-08 (AFEC # 5231) RATE: 15 LBS/ INCH OF DIA. • DEB PALMS: 12-04-12 (AFEC # 1716) RATE: 15 LBS/ INCH OF DIA. • DEB SHRUBS AND GROUNDCOVERS: (12-06-08 AFEC # 5231) RATE: 15 OZ/ FT. OF HEIGHT



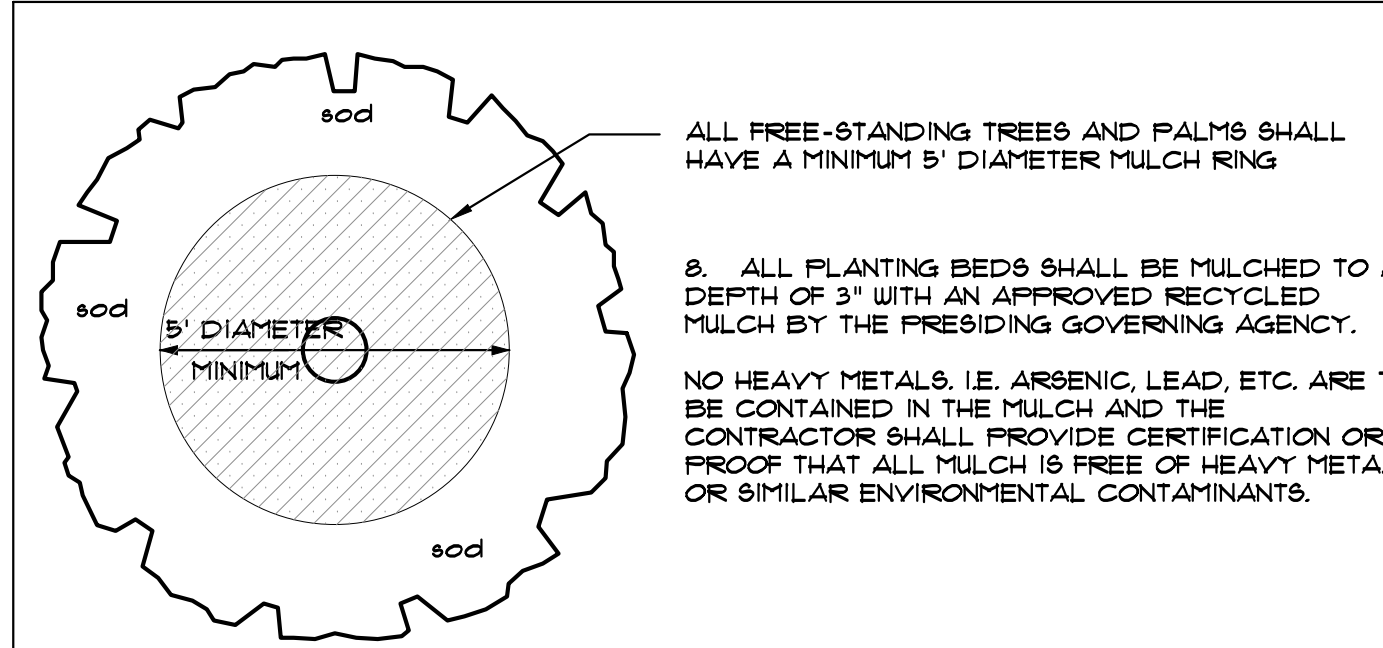
FIRE HYDRANT CLEAR ZONE

N.T.S.

REQUIREMENTS APPLY TO FIRE HYDRANTS, SIAMSE CONNECTIONS AND ANY OTHER FIRE EQUIPMENT FOR UTILIZING FIRE HOSE, ON PUBLIC OR PRIVATE PROPERTY.
BY THE AUTHORITY OF THE SOUTH FLORIDA FIRE PREVENTION CODE SECTION 52112
THIS DIAGRAM SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL.
THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT SOD), MAILBOXES, PARKING, LAMP-POSTS AND ALL OTHER OBJECTS.
EXCEPTIONS: OTHER FIRE FIGHTING EQUIPMENT OR TRAFFIC POSTS TO PREVENT FIRE FIGHTING EQUIPMENT.

FIRE HYDRANT CLEAR ZONE

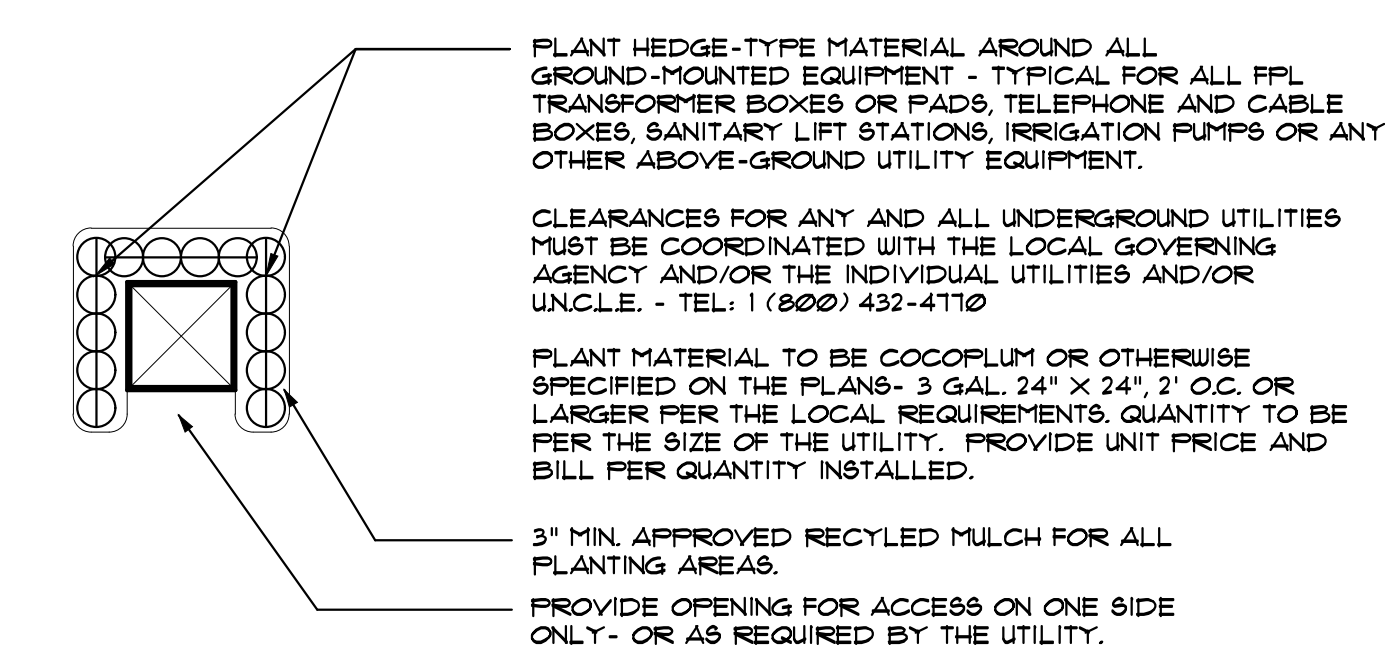
N.T.S.



TYPICAL MULCH RING FOR FREE-STANDING TREES AND PALMS

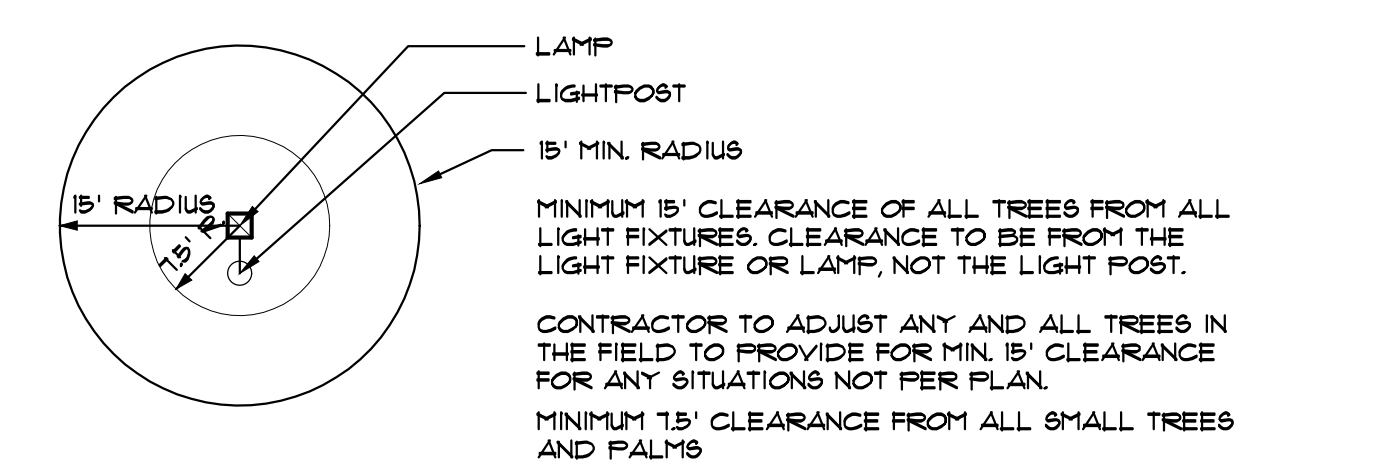
N.T.S.

ALL FREE-STANDING TREES AND PALMS SHALL HAVE A MINIMUM 5' DIAMETER MULCH RING
8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY.
NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.



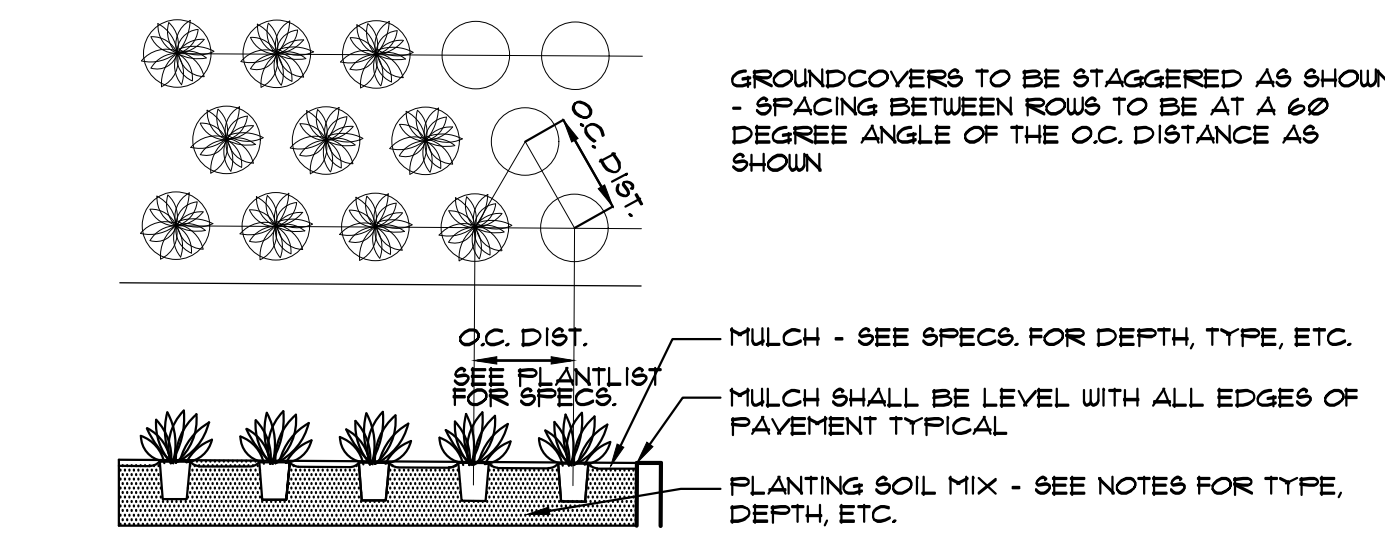
TYPICAL PLANTINGS FOR GROUND-MOUNTED EQUIPMENT

N.T.S.



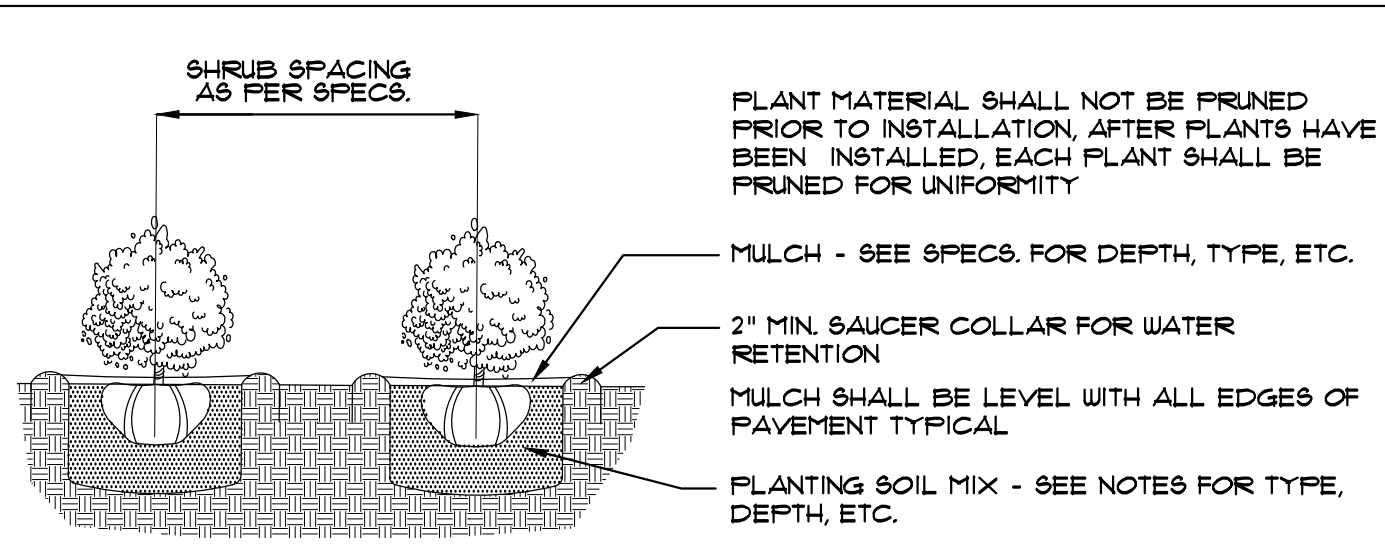
MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES

N.T.S.



GROUNDCOVER DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

LANDSCAPE DETAILS, SPECIFICATIONS, ETC.

PROFESSIONAL SEAL:



Alberto Llorente
AR-0012031

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