

**RESOLUTION No. 16-223**

**A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR FLIGHTWAY X, LOCATED BETWEEN NW 100 AVENUE AND NW 102 AVENUE ALONG NW 62 STREET, DORAL, FLORIDA; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, On November 18, 2015, the City Council for the City of Doral (the “City”) adopted Ordinance No. 2015-40 amending the City’s Land Development Code of Ordinance to establish procedures for site plan review and approval by the Mayor and City Council; and

**WHEREAS**, Flightway Ten, LLC. (the “Applicant”) has submitted an application for Mayor and Council site plan review and approval for two multi-tenant warehouse buildings to be located between NW 100<sup>th</sup> Avenue and NW 102<sup>nd</sup> Avenue along 62<sup>nd</sup> Street, as legally described in Exhibit “A”, which is incorporated herein and made a part hereof by this reference; and

**WHEREAS**, staff recommend approval of the proposed site plan provided in Exhibit “B” (the “Site Plan”), which is incorporated herein and made a part hereof by this reference; and

**WHEREAS**, pursuant to law, notice has been given by publication in a paper of general circulation in the City, notifying the public of this proposed Resolution and of the public hearings; and

**WHEREAS**, the Mayor and City Council find that the adoption and implementation of this Resolution is in the best interest and welfare of the residents of the City.

**NOW THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL  
OF THE CITY OF DORAL, FLORIDA, THAT:**

**Section 1. Recital.** The above recitals are true and correct and incorporated herein.

**Section 2. Approval of Site Plan.** The Site Plan, providing for the development of two (2) new warehouse buildings with 4,260 sq. ft. of office space, 9,040 sq. ft. of mezzanine, and 46,336 sq. ft. of warehouse space, for a total building area of 92,672 square feet, is hereby approved, subject to the following conditions, which are agreed to by the Applicant and City as part of the site plan development agreement approval.

1. Applicant must submit separate plans for Entrance Feature.
2. All applicable impact fees shall be paid by the Applicant prior to issuance of a building permit.
3. The proposed project shall be built in substantial conformance with the plans entitled Office/Warehouse Facility for Flightway Ten, prepared by Rodriguez Pereira Architects, Inc., dated stamped received March 8, 2016, consisting of 12 sheets, as amended.
4. The Property shall be landscaped in accordance with the landscape plan, prepared by JFS Design Inc., date received March 8, 2016, as amended, and included with the site plan submittal.
5. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
6. Approval from Division of Environmental Resources Management (DERM) is required at time of building permit. If DERMs' requirements result in a modification to the approved administrative site plan, which may include but is not limited to, the layout of proposed parking field, the Applicant will be fully responsible to meet those requirements prior to building permit approval.

7. Approval from Miami Dade County Fire Department is required at time of building permit.
8. The applicant shall comply with Ordinance No. 2015-09 "Public Arts Program"
9. All applicable local, state and federal permits must be obtained before commencement of the development.
10. The project shall comply with the requirements set forth in Sections in Ordinance No. 2016-03, if applicable.
11. The project should make every effort to incorporate the Low Impact Development (LID) practices in the project design consistent with Section 74-881 of the Land Development Code.
12. Provide compliance with the Floodplain Management regulation (Sec. 53-344). Project team should contact the City's Floodplain Administrator to review the requirements of the Floodplain Management Ordinance.
13. Applicant shall indicate how the project will meet the requirement of the LDC Sec. 77-195 solar reflective index (SRI) of 28 or greater.
14. Project shall meet the City's Green Ordinance requirements in Chapter 63 of the Land Development Code.
15. The Applicant shall comply with applicable conditions and requirements provided by Miami-Dade County Public Works Department, Water and Sewer Department, Fire Rescue Department, and Regulatory and Economics Resources (DRER) prior to issuance of building permit.
16. The hours of operation during the construction shall adhere to as per Noise Ordinance No. 2011-01.
17. The Applicant shall submit a construction staging plan for review and approval prior to commencement of construction. The staging area shall be kept clean at all times, adequately screened and located away from view of existing homes located adjacent to the construction site.
18. Access points for construction vehicles shall be identified as part of the construction plan submitted to the City. Construction vehicles with access to the site shall adhere to existing "no thru truck" areas.
19. The Applicant shall provide a Construction Air Quality Management Plan to the Department prior to the start of construction.
20. A Stormwater Pollution Prevention Plan (SPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where top soil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and

permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.

21. The Applicant shall preserve existing trees (including native trees) during the development of the project, wherever possible. If the trees must be removed, the Applicant shall be required to mitigate the impact in accordance with DRER requirements. If the relocated trees do not survive, the Applicant shall be required to replace the trees in compliance with DRER requirements.
22. The Applicant shall meet the requirements of the Miami-Dade County Water-Use Efficiency Standards Manual, effective January 2009, as may be amended from time to time.
23. All stormwater shall be retained on site in accordance with applicable law.
24. All stormwater drainage systems shall be maintained in working conditions at all times in order to avoid localize flooding during and after a storm.
25. Parking shall be prohibited on top of any drainage inlet or drainage manhole.
26. Developer shall be responsible for providing the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
27. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP) Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.
28. Provide tree removal/relocation approval from (DERM), including an approved tree disposition plan at time of building permit.
29. The Applicant shall dedicate to the City and improve 35 feet along NW 102 Avenue and 30 feet along NW 62 Street as shown in the approved siteplan.
30. Noncompliance with the approved site plan and the terms of this approval shall be considered a violation of the City Code.



**Section 3. Implementation.** The City Manager and the City Attorney are hereby authorized to take such further action as may be necessary to implement the purpose and provisions of this Resolution.

**Section 4. Effective Date.** This Resolution shall become effective upon its passage and adoption by the City Council and is binding on all successors and assigns.

The foregoing Resolution was offered by Councilmember Cabrera who moved its adoption. The motion was seconded by Councilmember Ruiz and upon being put to a vote, the vote was as follows:

Mayor Luigi Boria	Yes
Vice Mayor Christi Fraga	Yes
Councilman Pete Cabrera	Yes
Councilwoman Ana Maria Rodriguez	Yes
Councilwoman Sandra Ruiz	Yes


PASSED AND ADOPTED this 26 day of October, 2016.

  
\_\_\_\_\_  
LUIGI BORIA, MAYOR

ATTEST:

  
\_\_\_\_\_  
CONNIE DIAZ, CMC  
CITY CLERK

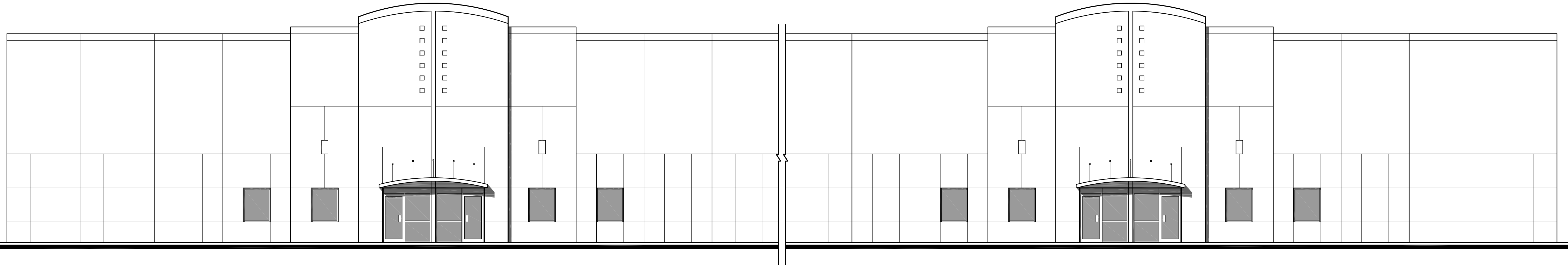
APPROVED AS TO FORM AND LEGAL SUFFICIENCY  
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

  
\_\_\_\_\_  
WEISS, SEROTA, HELFMAN, COLE & BIERMAN, P.L.  
CITY ATTORNEY

# EXHIBITS

## **FLIGHTWAY 10 LEGAL DESCRIPTION**

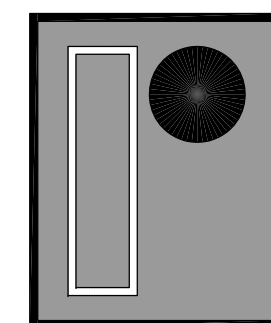
The West ½ of Tract 60, of “Florida Fruit Lands Company’s Subdivision No. 1”, according to the Plat thereof as recorded in Plat Book 2, at Page 17, of the Public Records of Miami-Dade County, Florida; said property situated in Section 17, Township 53 South, Range 40 East, Miami-Dade County, Florida.



OFFICE / WAREHOUSE FACILITY FOR:

# FLIGHTWAY X

NW 102nd Avenue & NW 62nd Street  
 CITY OF DORAL  
 MIAMI-DADE COUNTY, FLORIDA



**Rodriguez Pereira  
 Architects, Inc.**

8000 NW 7th Street - Suite 103 - Miami, FL 33126  
 Phone: (305) 592-8045 FAX: (305) 592-5756  
 WWW.RODRIGUEZPEREIRA.COM

Architecture  
 Planning &  
 Urban Design  
 Space Planning  
 Interior Design  
 Corp. Lic. # AA-C001984



**JFS Design Inc.**

LANDSCAPE ARCHITECTURE LC 000393

12060 Miramar Pkwy.  
 Miramar, FL 33025  
 TEL: (954) 441-1852  
 FAX: (954) 442-8225

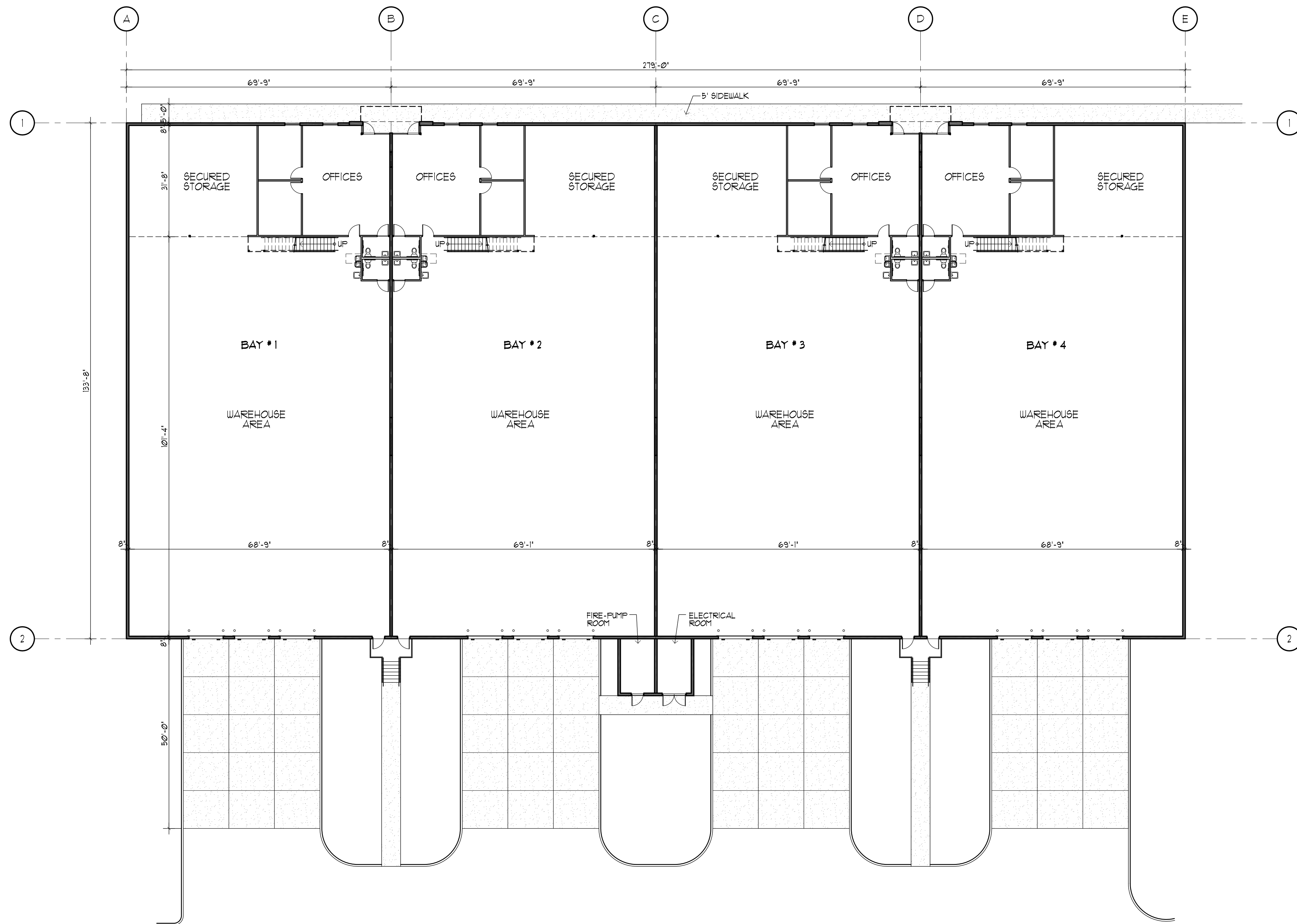
Landscape Design  
 Irrigation Design  
 jimmy@jfsdesignfl.com

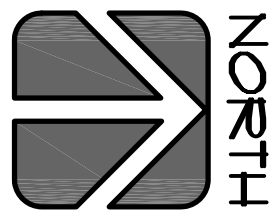


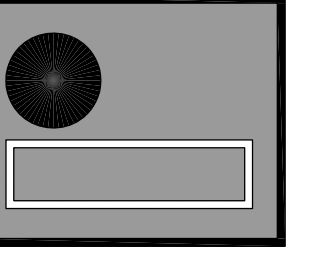








Building #1 Floor Plan 1/16" 



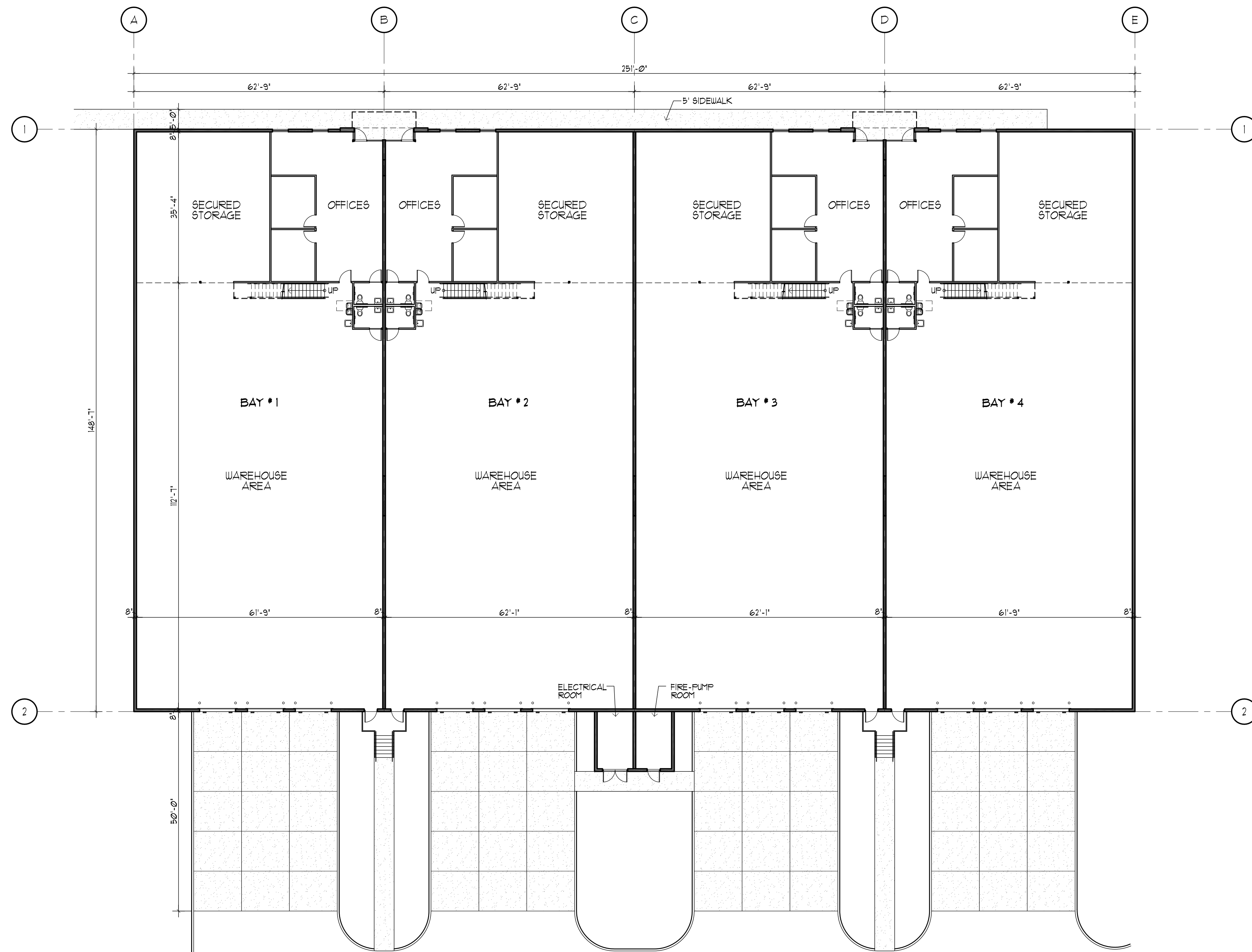
OFFICE / WAREHOUSE FACILITY FOR:  
**FLIGHTWAY X**  
NW 102nd Avenue & NW 62nd Street  
CITY OF DORAL  
MIAMI-DADE COUNTY, FLORIDA

Submittal for:  
City of Doral's  
Administrative  
Site Plan  
Review

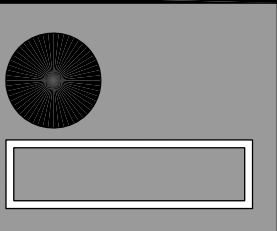
REVISIONS	BY

NOT VALID FOR CONSTRUCTION  
UNLESS SIGNED & SEALED IN THIS BOX BY  
ALL BUILDING DEPARTMENT APPROVALS  
ARE OBTAINED AND COMMENTS  
INCORPORATED INTO THESE DWGS.

Date 12-17-15  
Scale  
Drawn  
Job 15-005  
Sheet



Building #2 Floor Plan 1/16" NORTH



OFFICE / WAREHOUSE FACILITY FOR:  
**FLIGHTWAY X**  
NW 102nd Avenue & NW 62nd Street  
CITY OF DORAL  
MIAMI-DADE COUNTY, FLORIDA

Submittal for:  
City of Doral's  
Administrative  
Site Plan  
Review

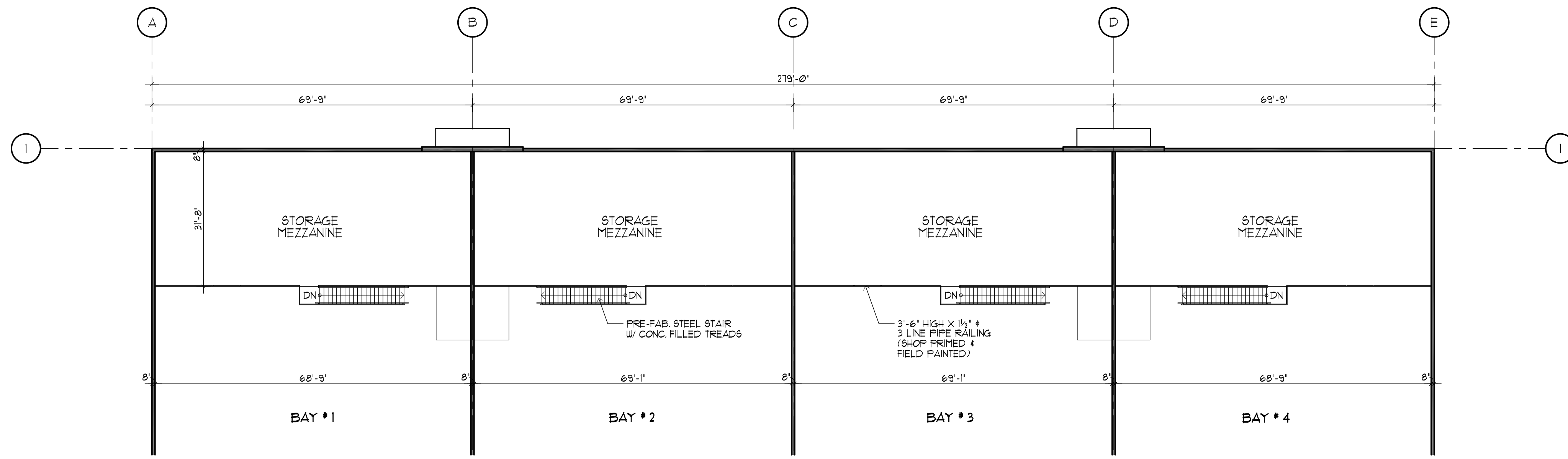
REVISIONS	BY

NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEALED IN THIS BOX. ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

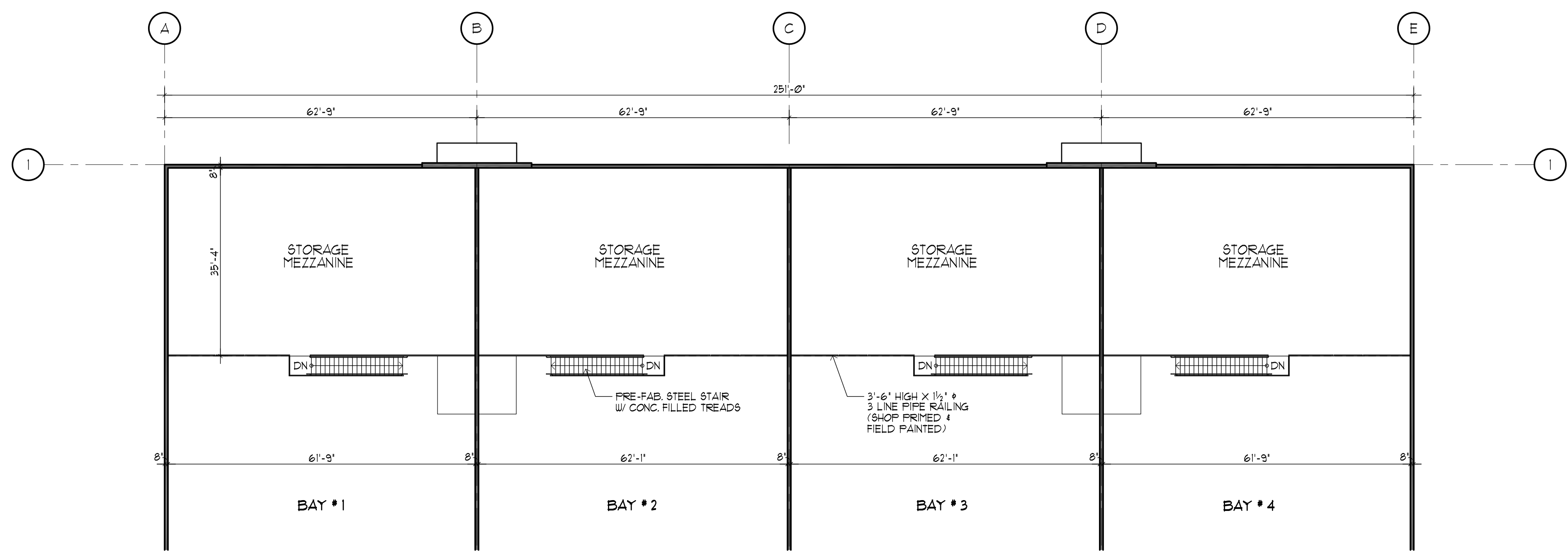
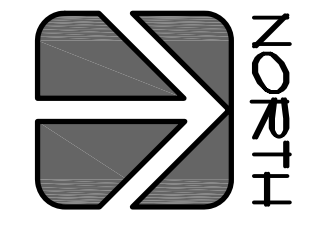
Date 12-17-15  
Scale  
Drawn  
Job 15-005  
Sheet

**A-2.1**  
Of Sheets

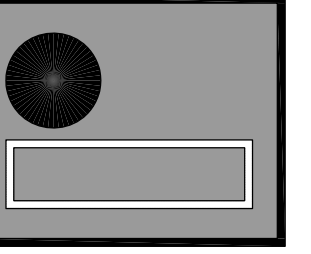
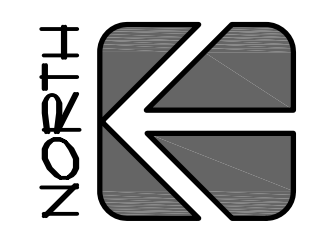




Building #1 Mezzanine Floor Plan 1/16"



Building #2 Mezzanine Floor Plan 1/16"



OFFICE / WAREHOUSE FACILITY FOR:  
**FLIGHTWAY X**  
NW 102nd Avenue & NW 62nd Street  
CITY OF DORAL  
MIAMI-DADE COUNTY, FLORIDA

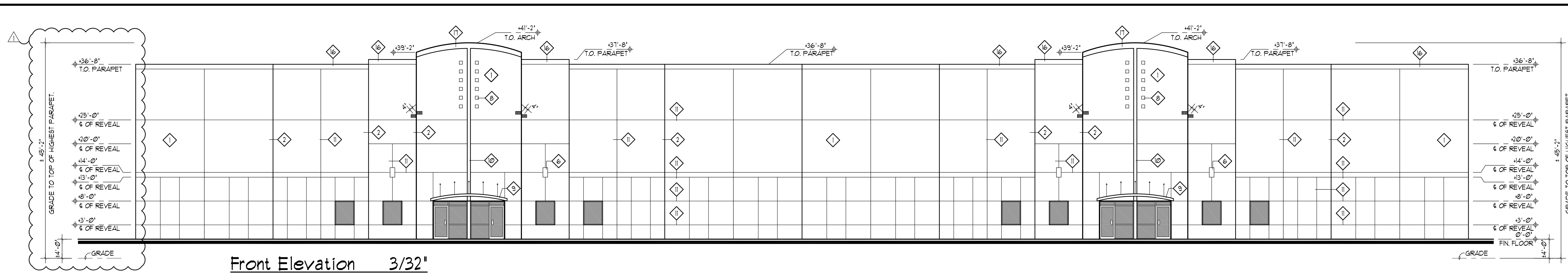
Submittal for:  
City of Doral's  
Administrative  
Site Plan  
Review

REVISIONS	BY

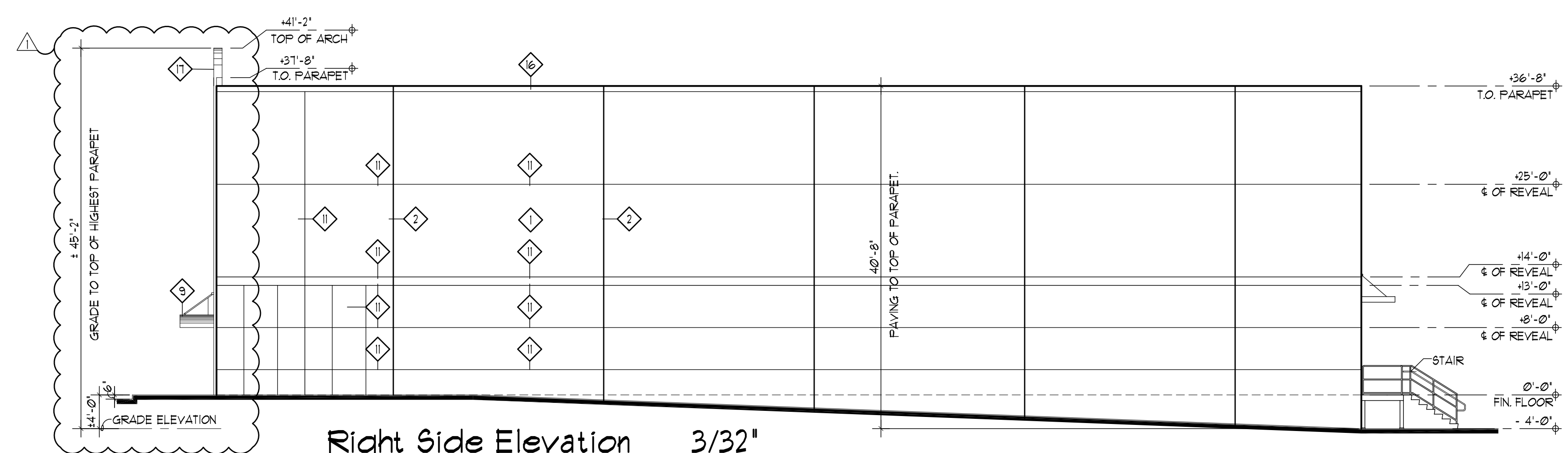
NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEALED IN THIS BOX. ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS.

Date 12-17-15  
Scale  
Drawn  
Job 15-005  
Sheet

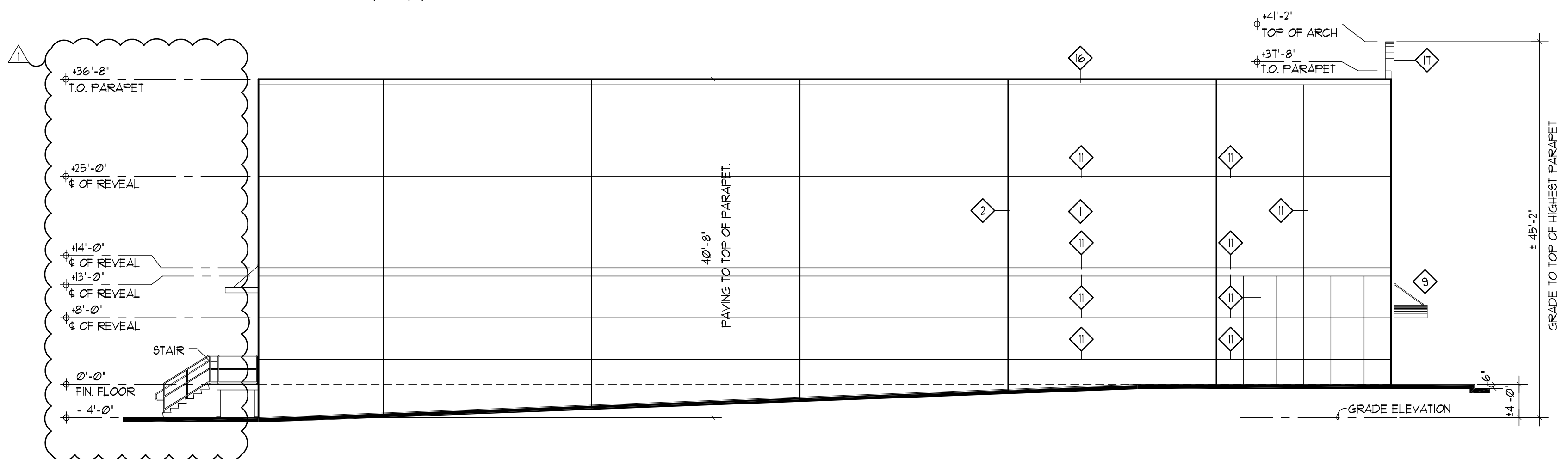
**A-2.2**  
Of Sheets



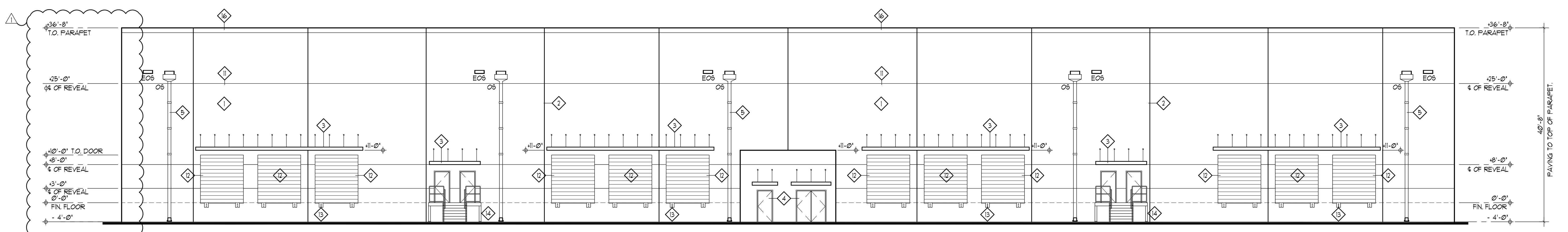
Front Elevation 3/32'  
BUILDING #1



Right Side Elevation 3/32'  
BUILDING #1

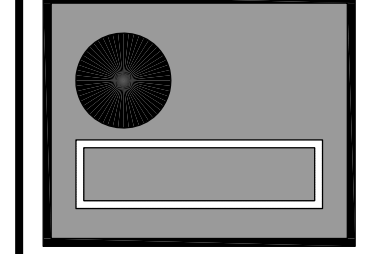


Left Side Elevation 3/32'  
BUILDING #1



Rear Elevation 3/32'  
BUILDING #1

- KEYED CONSTRUCTION NOTES**
- 1 TEX-COTE XL-10 FINISH OVER CONCRETE TILT-UP PANELS TO RECEIVE TWO COATS OF PAINT (SEE NOTE THIS SHEET).
  - 2 1/4" PANEL JOINT.
  - 3 PRE-ENGINEERED METAL CANOPY
  - 4 METAL DOOR ON METAL FRAME COLOR TO MATCH BLDG
  - 5 GALVANIZED METAL DOWNSPOUT
  - 6 1'-0" X 2'-0" DECORATIVE RECESSED PANEL.
  - 7 ROOF ACCESS LADDER
  - 8 8' X 8' DECORATIVE RECESSED PANEL.
  - 9 CANVAS CANOPIES ON TUBULAR FRAME.
  - 10 3/4" RECESSED PANEL
  - 11 1/2" PANEL REVEAL
  - 12 9'-0" X 10'-0" VERTICAL LIFT TRUCK DOOR. COLOR TO MATCH BLDG.
  - 13 LOADING DOCK BUMPERS.
  - 14 PRE-FAB METAL STAIRS. SUBMIT SHOP DRGS
  - 15 6" X STEEL PIPE BOLLARD PAINTED TRAFFIC YELLOW CONCRETE FILLED.
  - 16 12" PANEL REVEAL
  - 17 18" PANEL REVEAL



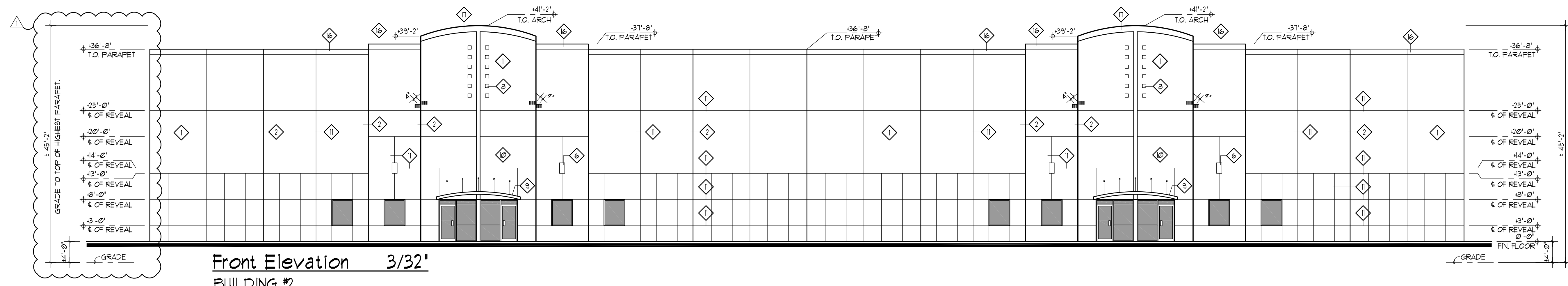
OFFICE / WAREHOUSE FACILITY FOR:  
**FLIGHTWAY X**  
NW 102nd Avenue & NW 62nd Street  
CITY OF DORAL  
MIAMI-DADE COUNTY, FLORIDA

Submit for:  
City of Doral's  
Administrative  
Site Plan  
Review

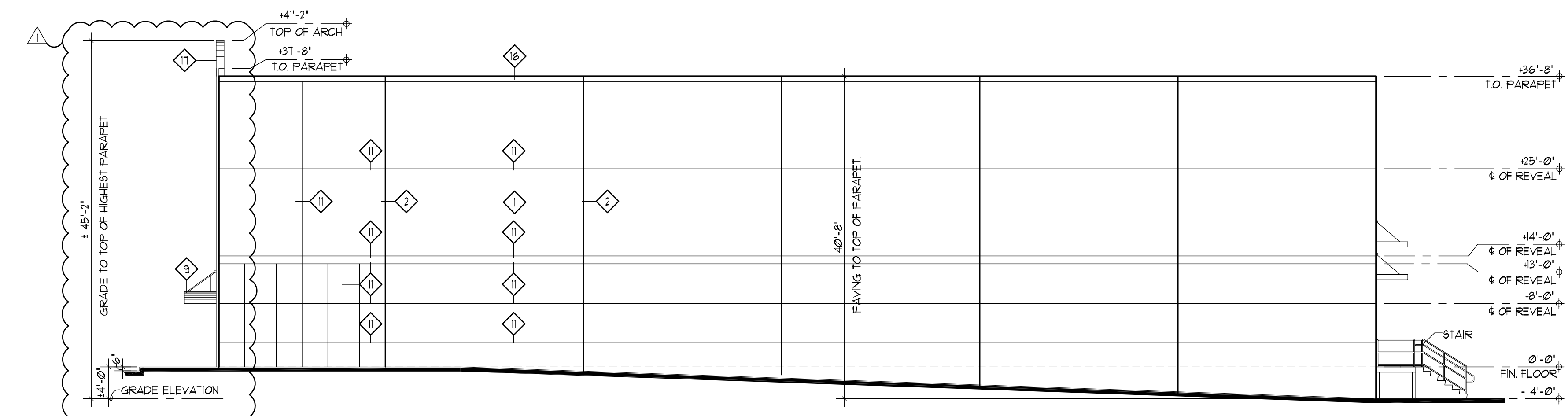
REVISIONS	BY
△ 3-1-16	

NOT VALID FOR CONSTRUCTION  
UNLESS SIGNED & SEALED IN THIS BOX BY  
ALL BUILDING DEPARTMENT APPROVALS  
ARE OBTAINED AND COMMENTS  
INCORPORATED INTO THESE DWGS.

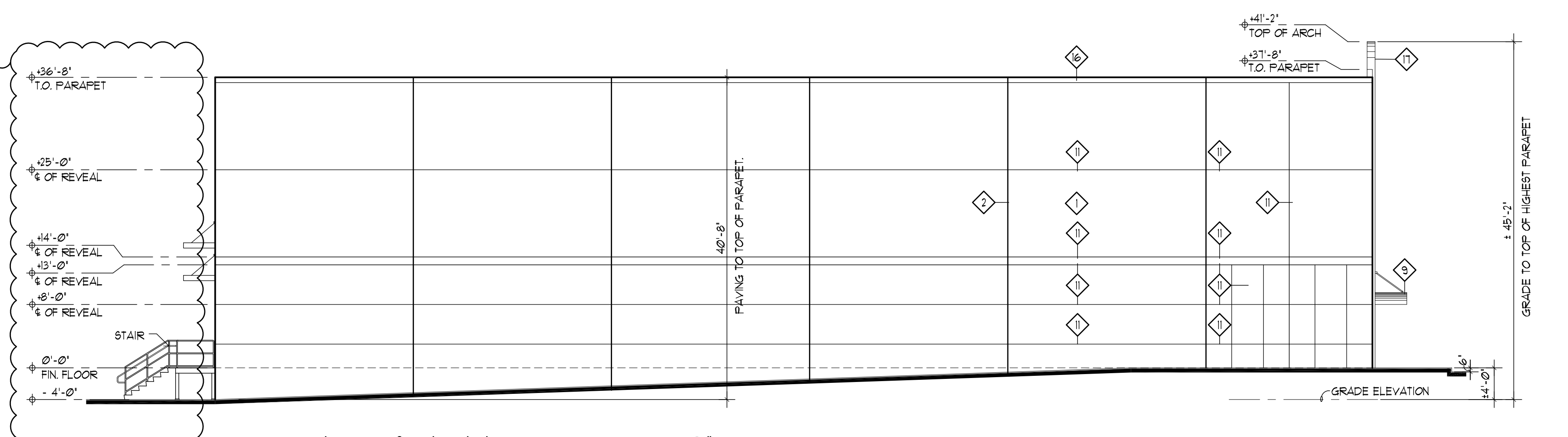
Date 12-10-15  
Scale  
Drawn  
Job 15-005  
Sheet



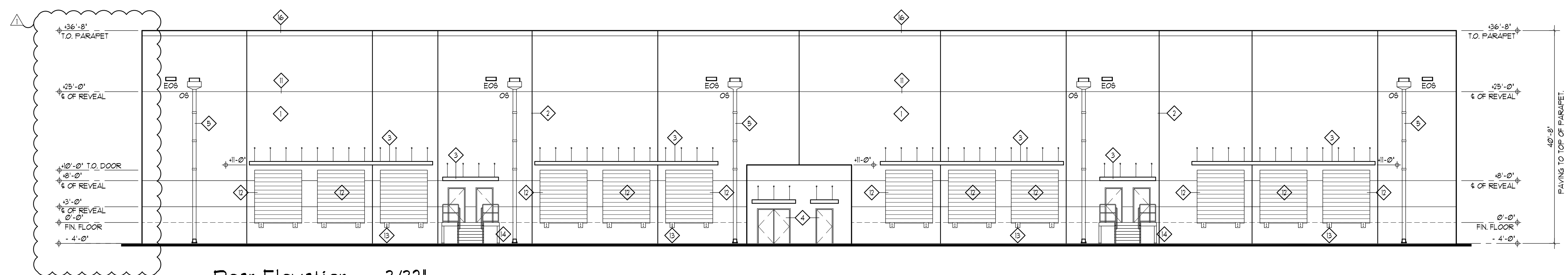
Front Elevation 3/32"  
BUILDING #2



Right Side Elevation 3/32"  
BUILDING #2

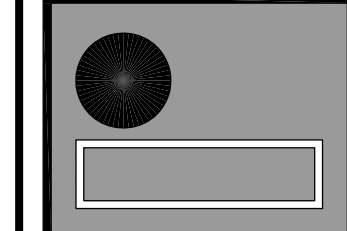


Left Side Elevation 3/32"  
BUILDING #2



Rear Elevation 3/32"  
BUILDING #2

- KEYED CONSTRUCTION NOTES**
- 1 TEX-COTE XL-10 FINISH OVER CONCRETE TILT-UP PANELS TO RECEIVE TWO COATS OF PAINT (SEE NOTE THIS SHEET).
  - 2 1/4" PANEL JOINT.
  - 3 PRE-ENGINEERED METAL CANOPY
  - 4 METAL DOOR ON METAL FRAME COLOR TO MATCH BLDG
  - 5 GALVANIZED METAL DOWNSPOUT
  - 6 1'-0" X 2'-0" DECORATIVE RECESSED PANEL.
  - 7 ROOF ACCESS LADDER
  - 8 8' X 8' DECORATIVE RECESSED PANEL.
  - 9 CANVAS CANOPIES ON TUBULAR FRAME.
  - 10 3/4" RECESSED PANEL
  - 11 1/2" PANEL REVEAL
  - 12 9'-0" X 10'-0" VERTICAL LIFT TRUCK DOOR. COLOR TO MATCH BLDG.
  - 13 LOADING DOCK BUMPERS.
  - 14 PRE-FAB METAL STAIRS. SUBMIT SHOP DRGS
  - 15 6" X 6" STEEL PIPE BOLLARD PAINTED TRAFFIC YELLOW CONCRETE FILLED.
  - 16 12" PANEL REVEAL
  - 17 18" PANEL REVEAL



OFFICE / WAREHOUSE FACILITY FOR:  
**FLIGHTWAY X**  
NW 102nd Avenue & NW 62nd Street  
CITY OF DORAL  
MIAMI-DADE COUNTY, FLORIDA

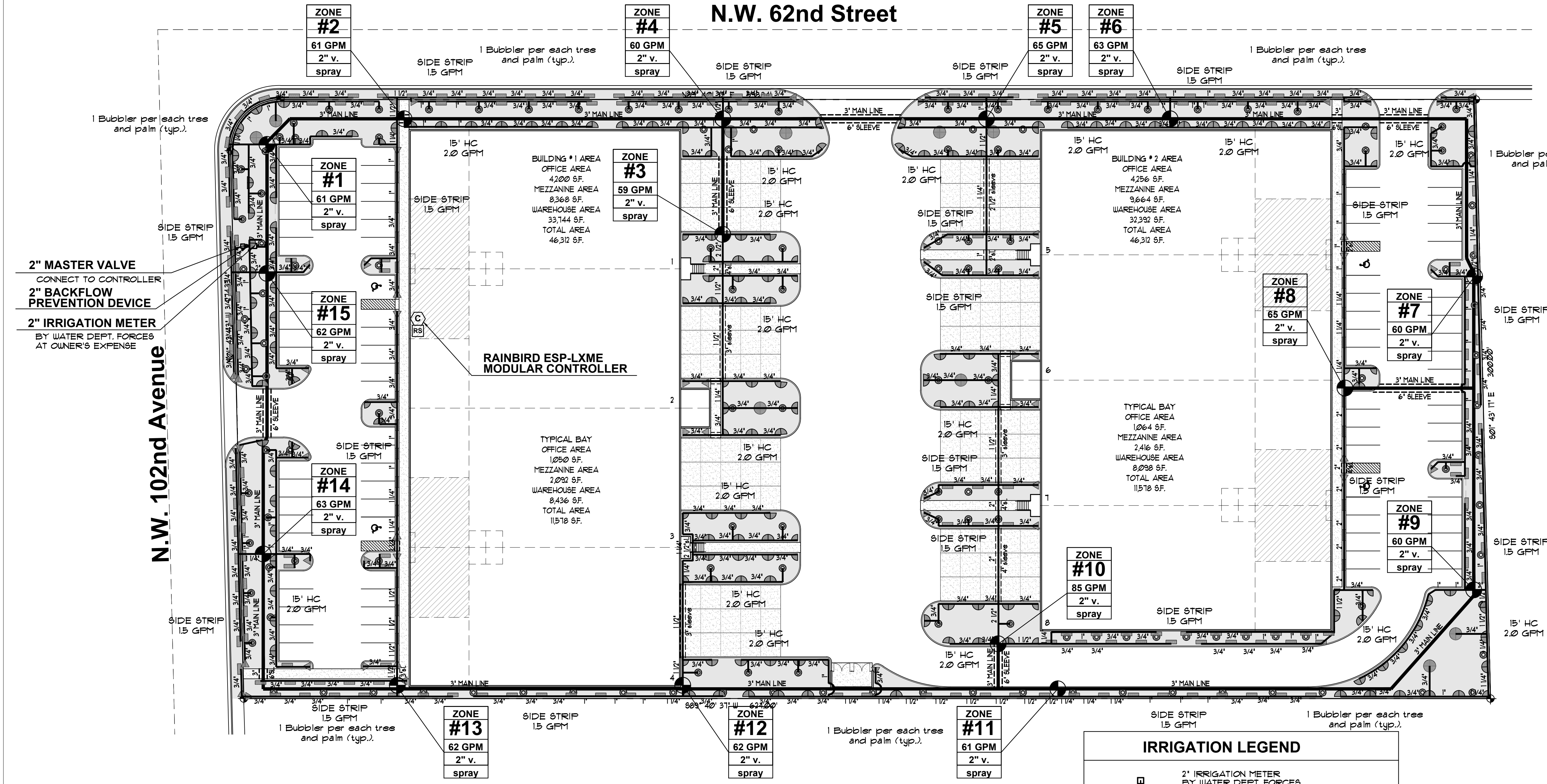
Submittal for:  
City of Doral's  
Administrative  
Site Plan  
Review

REVISIONS	BY
1	3-1-16

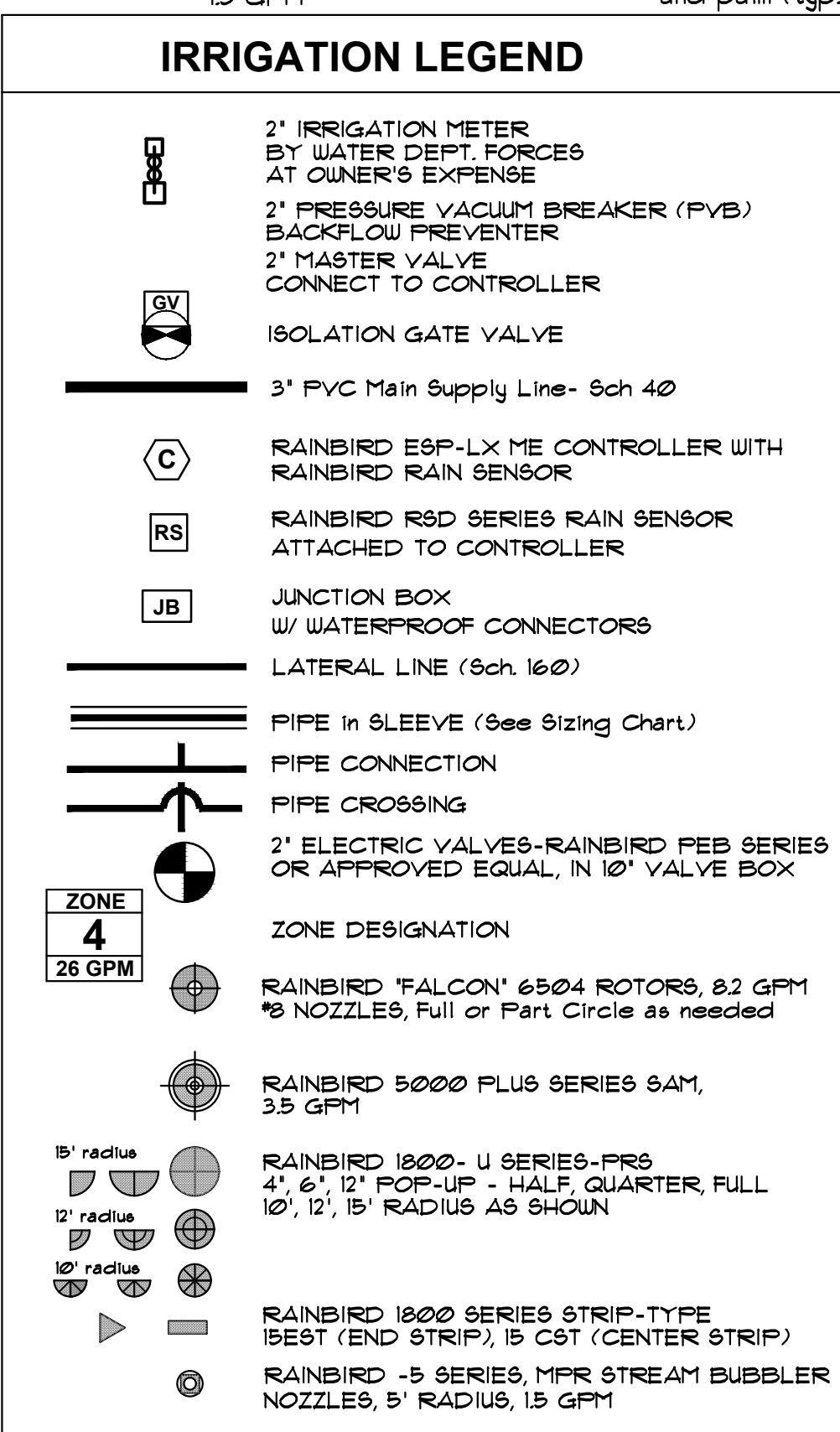
NOT VALID FOR CONSTRUCTION  
UNLESS SIGNED & SEALED IN THIS BOX  
ALL BUILDING DEPARTMENT APPROVALS  
ARE OBTAINED AND COMMENTS  
INCORPORATED INTO THESE DWGS.

Date	12-10-15
Scale	
Drawn	
Job	15-005
Sheet	
<b>A-3.1</b>	
Of Sheets	





- ### GENERAL IRRIGATION NOTES
- IRRIGATION CONTRACTOR SHALL PROVIDE, FURNISH AND INSTALL A FULLY AUTOMATIC IRRIGATION SYSTEM WHICH WILL COMPLY WITH ALL LOCAL CODE, STATE CODE & FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) REQUIREMENTS.
  - THE IRRIGATION CONTRACTOR SHALL SCHEDULE AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE OWNER & THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION OF THE IRRIGATION SYSTEM.
  - CONTRACTOR SHALL INSTALL A POP-UP TYPE HEADS. SPRAY TYPE SHALL BE ROTOR, IMPACT, SPRAY OR BUBBLER AND SHALL BE SO INSTALLED TO NOT CAUSE ANY OVERSPRAY ONTO ANY PAVED SURFACES, I.E. ROADS, SIDEWALKS, ETC. ALL FIXTURES SHALL BE "TORO," "RAINBIRD" OR AN APPROVED EQUAL. ALL WORK SHALL BE DONE IN A PROFESSIONAL MANNER AND AS PER THE MANUFACTURER'S SPECIFICATIONS. SPRAY HEADS SHALL BE 4" POP-UPS FOR SOODED AREAS, 6" FOR GROUNDCOVER PLANTINGS AND 12" POP-UPS FOR ALL PLANTING AND SHRUB BEDS. SPRAY HEADS ON RISERS SHALL ONLY BE PERMITTED PER THE LAND ARCH.
  - ALL MAIN SUPPLY LINE SHALL BE PVC SCHEDULE 40 PIPE. ALL PVC FITTINGS SHALL BE SCHEDULE 40. THE MAIN LINE IS SHOWN SCHEMATICALLY. LOCATE MAIN LINES IN LANDSCAPE AREAS WHERE POSSIBLE AND SLEEVE UNDER PAVEMENT WHERE NECESSARY. MAIN LINES SHALL BE IN THE SAME TRENCH WITH LATERAL LINES WHERE POSSIBLE.
  - CONTRACTOR SHALL CONSTRUCT CONCRETE THRUST BLOCKS, 12" X 12" X 12" AT ALL "T" INTERSECTIONS OR BENDS 45 DEGREES OR GREATER ON THE MAIN LINE.
  - MINIMUM PIPE SIZE SHALL BE 3/4" PIPE.
  - CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID & PROTECT ALL UTILITY LINES, DUCTS, BURIED CABLES AND OTHER UTILITIES IN THE AREA. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR, LIABILITY AND COSTS INCURRED IN THE DAMAGE OR DESTRUCTION OF SAID UTILITIES. CALL U.N.C.L.E. (800) 432-8770, 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK FOR PROPER UTILITY LOCATION AND CLEARANCES.
  - THE CONTRACTOR SHALL SECURE ALL WORK WITH THE PROJECT MANAGER, LANDSCAPE CONTRACTOR AND ALL OTHER CONTRACTORS TO INSURE PROPER INSTALLATION, SCHEDULING AND PROCEDURE.
  - THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT MANAGER TO PROVIDE ELECTRICAL SUPPLY TO THE CONTROLLER, PUMP, ETC. AS NEEDED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS AS MAY BE DEEMED NECESSARY TO PERFORM WORK. ENTIRE SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL AND STATE CODES. THE OWNER IS RESPONSIBLE FOR ALL PERMIT FEES.
  - ALL SLEEVES UNDER PAVEMENT SHALL BE BURED PER FL. BLDG CODE, APPENDIX "F". ALL LATERAL SLEEVES UNDER SIDEWALKS SHALL BE BURED BELOW WALKWAYS AND SHALL BE SCHEDULE 40 PVC. ALL SLEEVING SHALL BE SCHEDULE 40 PVC PIPE & SHALL BE 2 TIMES THE MAIN OR LATERAL PIPE SIZE.
  - THE CONTRACTOR SHALL CONNECT THE MASTER VALVE (WHEN APPLICABLE) & ALL ELECTRIC VALVES TO THE CONTROLLER & PROVIDE PROPER SYNCHRONIZATION.
  - ALL LOW-VOLTAGE ELECTRIC VALVES SHALL BE #14 DIRECT BURIAL. ALL WIRES UNDER ROADS TO BE PLACED IN A SEPARATE 1" SLEEVE. CONTRACTOR SHALL PROVIDE A MINIMUM OF 2 EXTRA WIRES FOR EMERGENCY POST-INSTALLATION WIRING.
  - ALL LINE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL ADJUST TRENCHING AND LOCATION OF SPRAY HEADS IN THE FIELD FOR EXISTING CONDITIONS, WALKS, UTILITIES, STRUCTURES & PLANTINGS TO PROVIDE AND INSURE 100% COVERAGE AND 100% OVERLAP.
  - CONTRACTOR SHALL PROVIDE A ONE-YEAR GUARANTEE ON ALL PARTS AND A 90-DAY GUARANTEE ON LABOR FROM THE DATE OF FINAL ACCEPTANCE.
  - THE IRRIGATION CONTRACTOR SHALL RECORD ALL CHANGES MADE TO THE IRRIGATION SYSTEM DURING INSTALLATION, & PROVIDE AN AS-BUILT DRAWING TO THE OWNERS REPRESENTATIVE UPON COMPLETION AND ACCEPTANCE OF THE WORK.
  - THE IRRIGATION CONTRACTOR SHALL INSTRUCT THE OWNER OR THE OWNERS REPRESENTATIVE IN THE COMPLETE OPERATION & MAINTENANCE OF THE SYSTEM. THE CONTRACTOR SHALL FURNISH TWO (2) COPIES OF AN IRRIGATION SYSTEM MANAGEMENT MANUAL PREPARED BY THE MANUFACTURER & THE SYSTEM INSTALLER.
  - THE IRRIGATION CONTRACTOR SHALL CHECK AND ADJUST THE SYSTEM AT THE END OF THE 90-DAY PERIOD, FROM THE DATE OF FINAL ACCEPTANCE.
  - ANY IRRIGATION PIPING WITHIN THE CONFINES OF ANY BUILDING SHALL BE CLEARLY MARKED "NON POTABLE WATER".



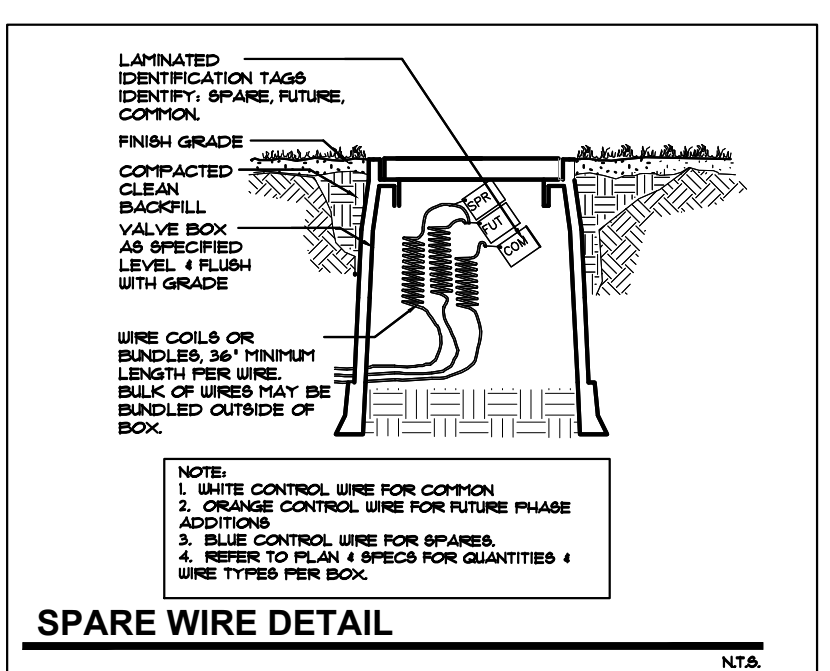
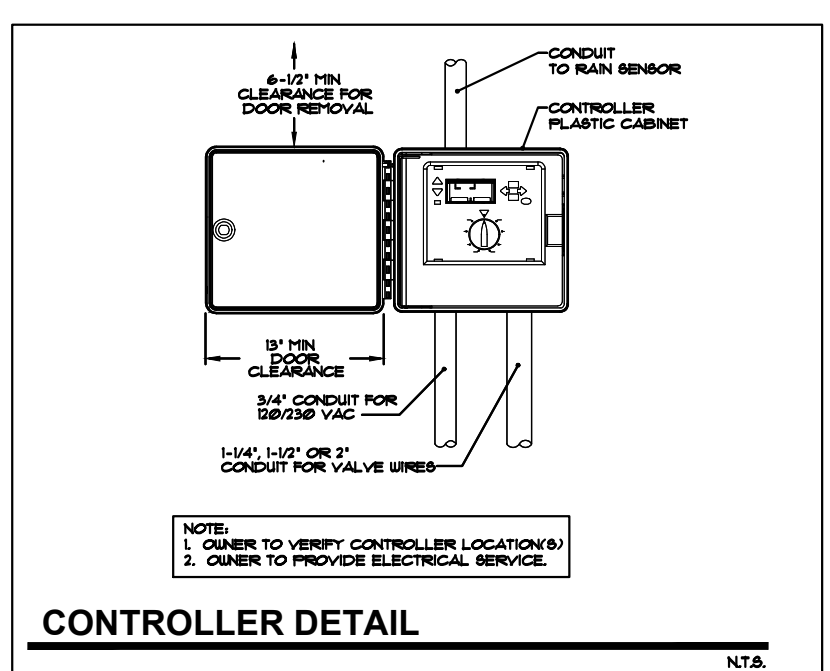
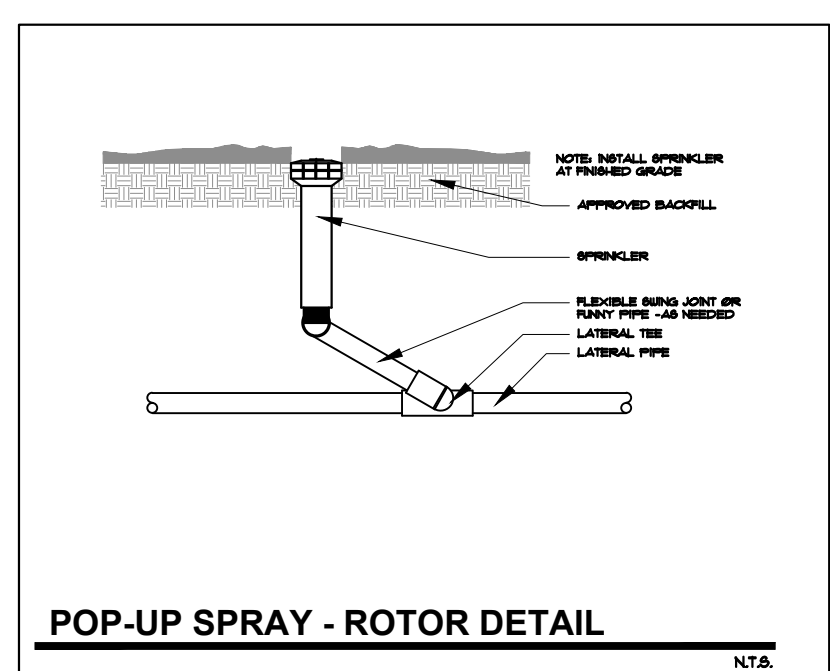
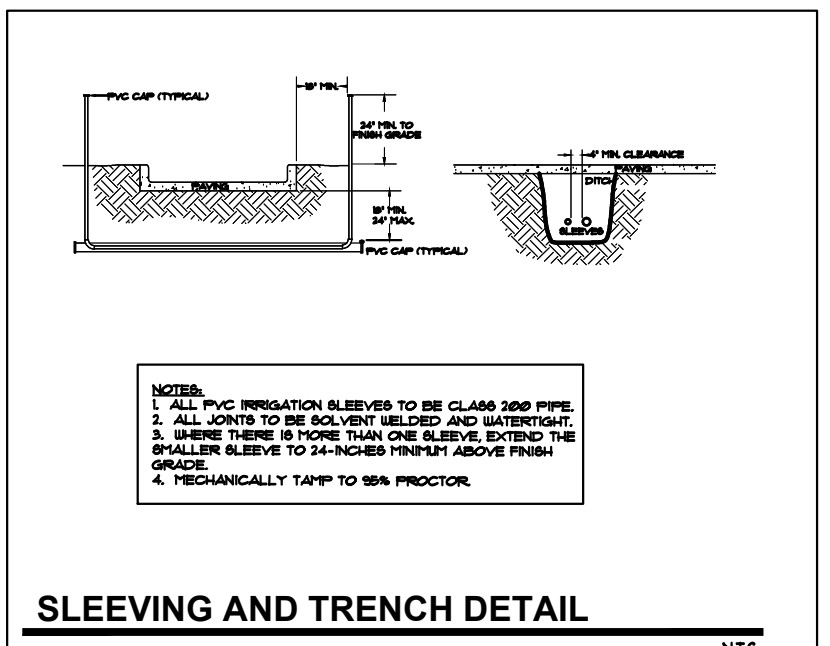
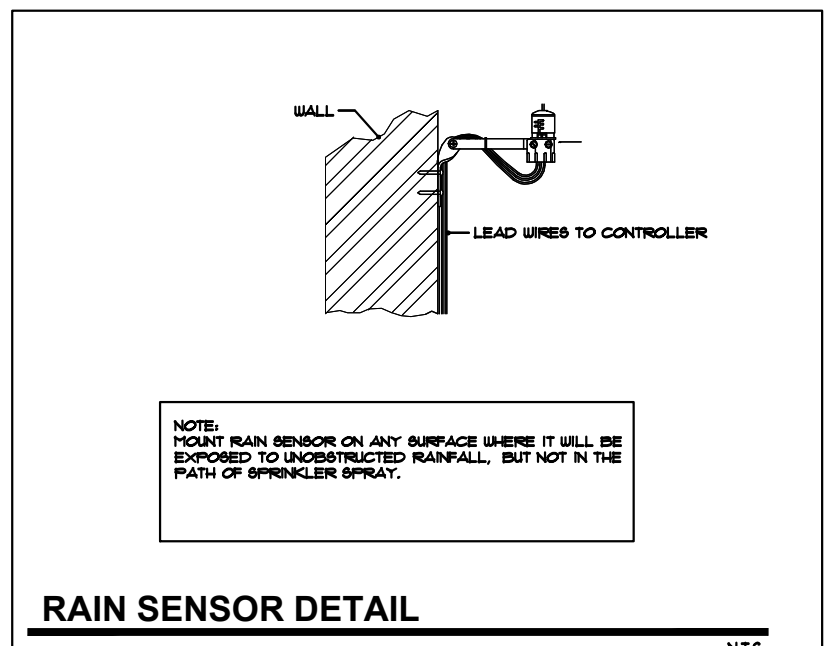
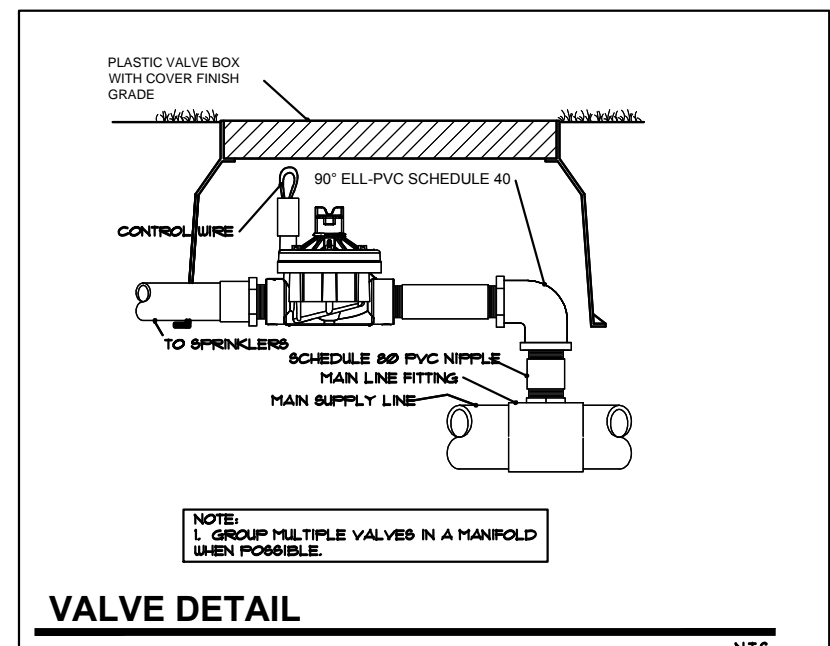
#### FLORIDA BUILDING CODE- APPENDIX F PART V- A-6

WATER PIPE SIZE	SLEEVE SIZE
3/4"	1 1/2"
1"	2"
1 1/4"	2 1/2"
1 1/2"	3"
2"	4"
3"	6"
4"	8"

SLEEVES TO EXTEND A MIN. 3" BEYOND ALL PAVED AREAS, BACKFILL AND COMPACTION PER APPENDIX F.

#### FLORIDA BUILDING CODE- APPENDIX F PIPE INSTALLATION-DEPTH OF COVER

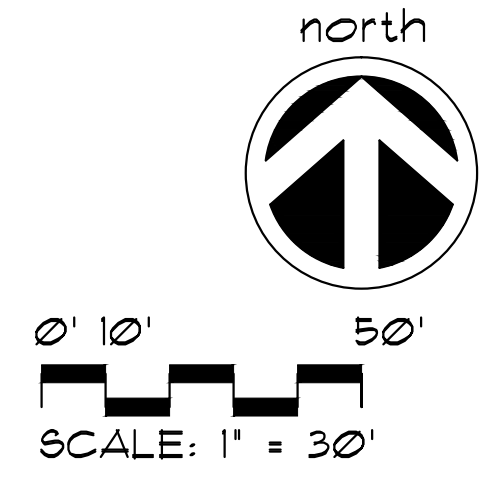
VEHICLE TRAFFIC AREAS	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 2 1/2"	18" TO 24"
3" TO 5"	24" TO 30"
6" OR GREATER	30" TO 36"
NON-TRAFFIC AND NON-CULTIVATED AREAS	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 1 1/4"	12"
1 1/2" TO 2"	18" TO 18"
2 1/2" TO 3"	18" TO 24"
4" OR LARGER	24" TO 36"



- ### SPECIAL NOTES:
- A ROUGH INSPECTION IS REQUIRED BY MIAMI-DADE COUNTY PRIOR TO TRENCH BACKFILLING AND A FINAL INSPECTION SHALL BE REQUIRED PRIOR TO COMPLETION OF THE IRRIGATION WORK.
  - SOUTH FLORIDA WATER MANAGEMENT WATER RESTRICTIONS, PHASE II ARE IN EFFECT. NEW LANDSCAPE SHALL BE EXEMPT PER SRMD FOR A PERIOD OF SIXTY DAYS AFTER INSTALLATION WITH CONTRACTOR AND/OR OWNER TO ASSUME RESPONSIBILITY AFTER THAT INITIAL PERIOD.

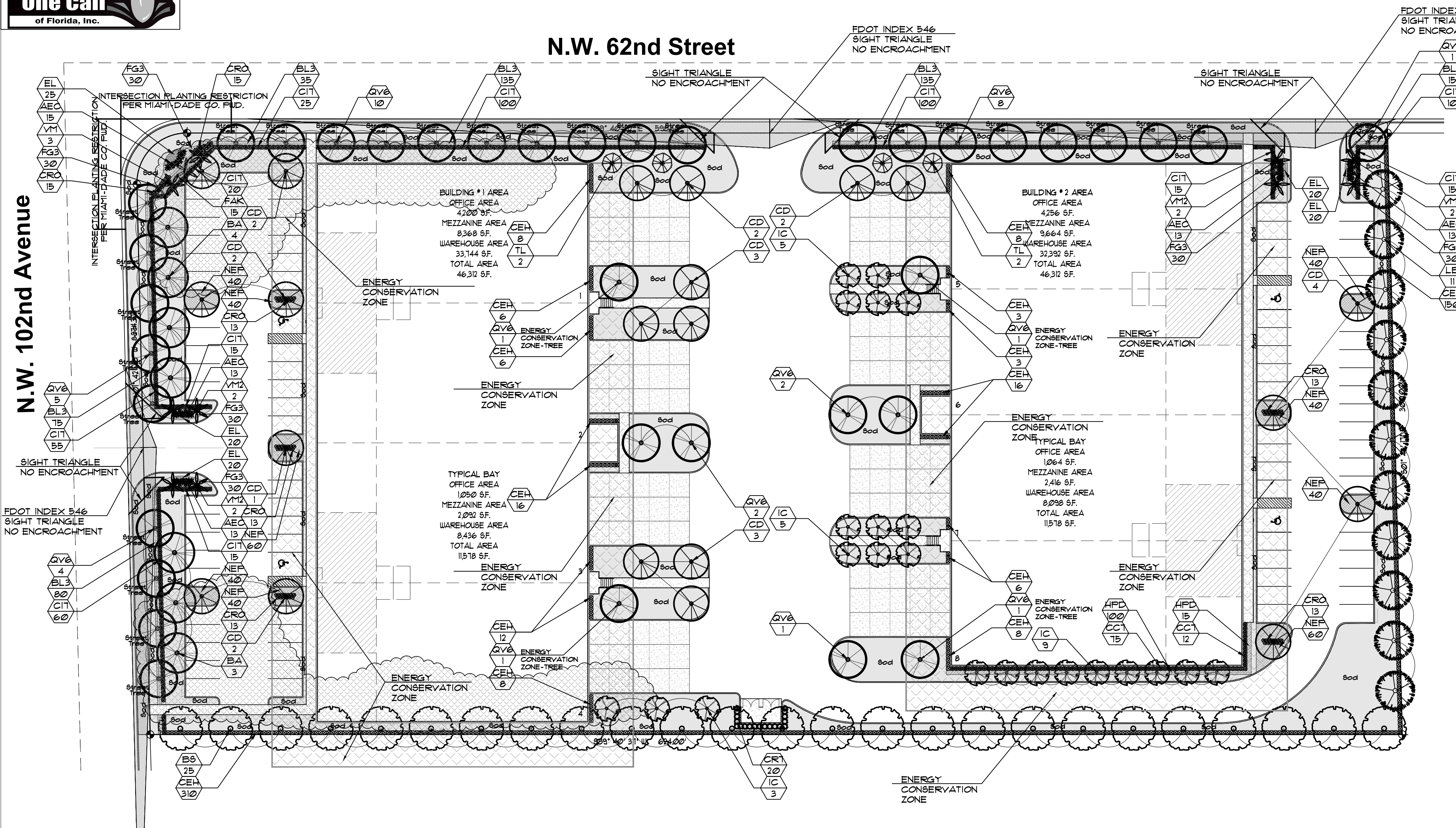
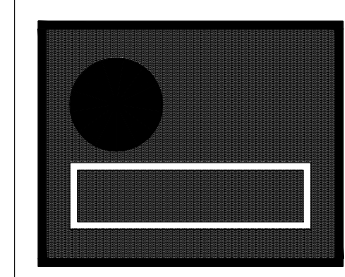
A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM MIAMI-DADE CO. DRER AND THE CITY OF DORAL PRIOR TO REMOVAL OF ANY TREE OR PALMS FROM THE SITE.

SEE LANDSCAPE PLANS FOR PROPOSED LANDSCAPE PLANTINGS, LANDSCAPE LEGEND, PLANTLIST, NOTES, DETAILS, SPECIFICATIONS, ETC.



REVISIONS	BY





**LANDSCAPE LEGEND  
CITY OF DORAL- CHAPTER 71**

NET LAND 4.29 ACRES 187,014 SF.		
ZONING DISTRICT: 'IC' INDUSTRIAL	REQUIRED	PROVIDED
<b>OPEN SPACE</b>		
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 187,014 s.f. x 20 %	37,402	39,671
B. Square feet of parking lot open space required by Chapter 18A, on site plan: 85 SURFACE SPACES x 10 SF/SPACE	850	850
C. Total s.f. of open space required by Chapter 33: A + B =	38,252	40,521
<b>LAWN AREA CALCULATION</b>		
40521 required by Chapter 33	38,252	40,521
B. Maximum lawn area (sod) permitted = required by Chapter 18A, on site plan: 2 x 40521 s.f. =	8,104	8,104
<b>TREES: 22 per Acre</b>		
A. No. trees required per net lot acre space Less existing no. of trees meeting min. required	95	95
B. % Palms Allowed: No. of trees provided 30 x 30% =	29	-
C. % Natives Required:	29	28
D. Street Trees (maximum average spacing of 25' o.c.) linear feet along street /35' No. of trees provided x 30% =	21	28
E. Street Trees located directly beneath power lines, Max. ave. spacing of 25' o.c.	-	-
<b>TOTAL NUMBER OF TREES REQUIRED</b>	122	123
<b>SHRUBS:</b>		
A. No. trees required x 10% No. of shrubs allowed	1220	1314
B. No. shrubs allowed x 30% = No. of Native shrubs required	366	1199 (91%)

**PLANTLIST**

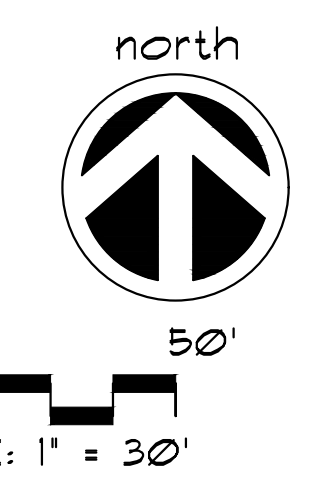
SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION
<b>PROPOSED TREES</b>				
BA	1	YELLOW VERAWOOD	Bursera arborea	12' x 6' spr., 2 1/2' cal.
BS	YES	GUMBO LIMBO	Bursera simaruba	12' x 6' spr., 2 1/2' cal.
CD	YES	PIGEON PLUM	Coccoloba diversifolia	12' x 6' spr., 2 1/2' cal.
IC	YES	DOVE TREE	Leucaena leucocephala	12' x 5' spr., 2 1/2' cal.
LB	YES	WILD TAMARIND	Lysiloma latifolia	12' x 6' spr., 2 1/2' cal.
QV6	YES	LIVE OAKS	Quercus virginiana	16' x 1' spr., 4' cal., 6' c.t.
<b>PALMS</b>				
VM1	3	MONTGOMERY PALMS	Veitchia montgomeryana	6GL. TK, FG, 14' o.a., full hd.
VM2	8	MONTGOMERY PALMS	Veitchia montgomeryana	DBL. TK, FG, 14' o.a., full hd.
<b>SHRUBS</b>				
CC1	YES	JAMAICA CAPER	Capparis cynophallophora	1 gal., 30" x 24", 24" o.c. full
CIT	YES	COCOPLUM	Cryobalanus icaco	1 GAL., 30" x 24" full, 24" o.c.
CR1	20	PITCH APPLE	Clusia rosea	1 GAL., 36" ht., 30" o.c., FTB.
CRO	95	CROTON 'PETRA'	Codiaeum variegatum	3 gal., 18" x 18", 18" o.c., full
CEH	YES	GREEN BUTTWOOD	Conocarpus erectus	3 gal., 24" x 24", 24" o.c., full
HPD	YES	DWARF FIREBUSH	Hamelia nodosa	3 gal., 18" x 18", 18" o.c.
FAK	YES	FAKAHATCHEE GRASS	Tripsacum dactyloides	3 gal., 24" x 24", 30" o.c., full

**PLANTLIST**

SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION
<b>ACCENT PLANTS AND GROUNDCOVERS</b>				
AEC	11	AECHMEA BROMELIADS	Aechmea blanchetiana 'Orange'	3 gal., 18" x 18", BULL16
BL3	475	BLUEBERRY FLAX LILY	Dianella tasmanica	3 gal., 12" x 18", 18" o.c., full
EL	YES	GOLDEN CREEPER	Ernodea littoralis	1 gal., 12" x 8", full, 12" o.c.
FG3	180	'GREEN ISLAND' FIGUS	Ficus 'Green Island'	3 gal., 18" x 18", 18" o.c., full
TL	4	TREE LIGUSTRUM	Ligustrum japonicum	FL, FANCY, 8' x 8' full crown
NEP	YES	BOSTON FERN	Nephrolepis exaltata	1 gal., 12" x 12" full, 15" o.c.
<b>SOD</b>				
FLO	33,000	s.f.	'FLORATAM' ST. AUGUSTINE	Stenotaphrum secundatum SOLID SOD, price per s.f.
<b>TOPSOIL:</b>				
		TOPSOIL:SAND MIX	50:50 TOPSOIL:SAND MIX	SPREAD IN PLACE
		60 C.Y.	TREES, PALMS, SHRUBS AND GROUNDCOVERS	
		200 C.Y.	AREA TO BE SODDED WITH A 2" DEPTH OF TOPSOIL	SPREAD IN PLACE
<b>MULCHING:</b>				
		105 C.Y./-	'PINE BARK' MULCH	3' DEPTH, SPREAD IN PLACE, ATLAS PEAT AND SOIL
		---	TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE	CONTRACTOR TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS UPON FINAL INSPECTION AND APPROVAL.

**STREET TREE TABULATIONS**

	REQUIRED	PROVIDED
<b>N.W. 62nd Street</b> 559 L.F., 1 TREE/ 35 L.F. = 16 TREES	18	19 19 QV6
<b>N.W. 102nd Avenue</b> 294 L.F., 1 TREE/ 35 L.F. = 9 TREES	9	9 9 QV6
<b>TOTALS</b>	<b>27</b>	<b>28</b>



A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM MIAMI-DADE CO. DRER AND THE CITY OF DORAL PRIOR TO REMOVAL OF ANY TREE OR PALMS FROM THE SITE.

SEE SHEET L-2, L-3 FOR LANDSCAPE LEGEND, PLANTLIST, NOTES, DETAILS, SPECIFICATIONS, ETC.

SEE IRRIGATION PLANS FOR IRRIGATION DESIGN, LAYOUT, DETAILS, NOTES, ETC.

**REVISIONS**

NO.	DESCRIPTION	BY
1.	Per City Staff Comments on 07-26-16.	1.

**DATE** 12-17-2015

Scale

Drawn

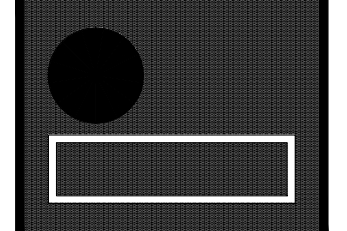
Job

Sheet

Of

**SITE LANDSCAPE PLAN L-1**





REVISIONS	BY

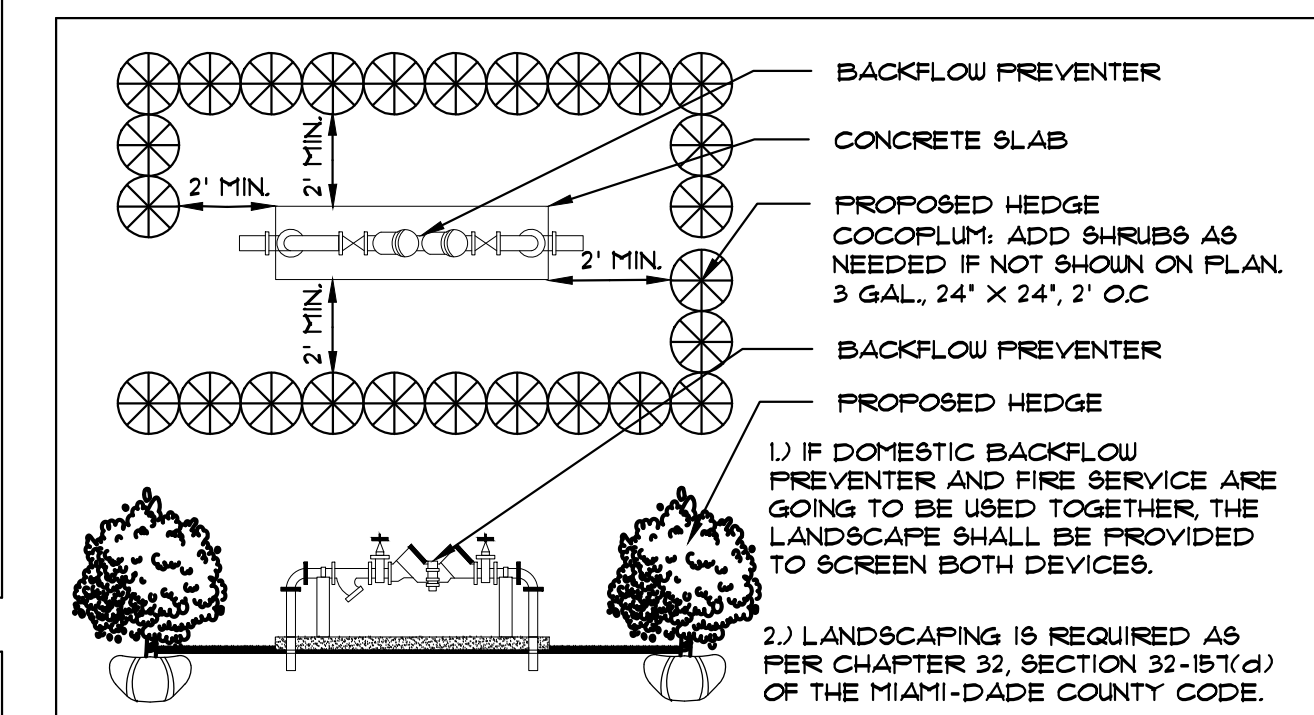
REVISIONS	BY

JAMES F. SOCCASH  
R.L.A. # 00001932  
NOT VALID FOR CONSTRUCTION  
UNLESS SIGNED & SEAL IN THIS BOX

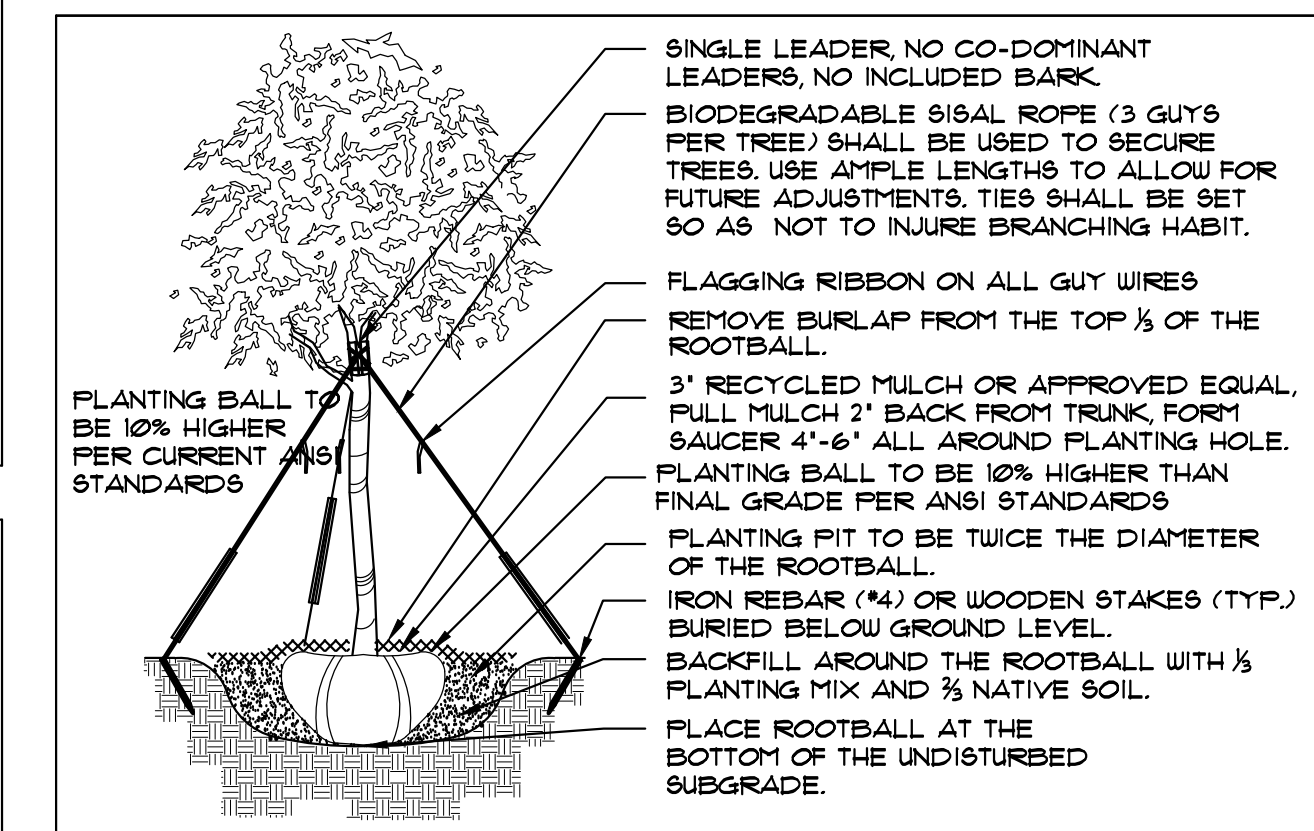
Date	12-17-2015
Scale	
Drawn	
Job	
Sheet	L-2
Of	

**LANDSCAPE NOTES**

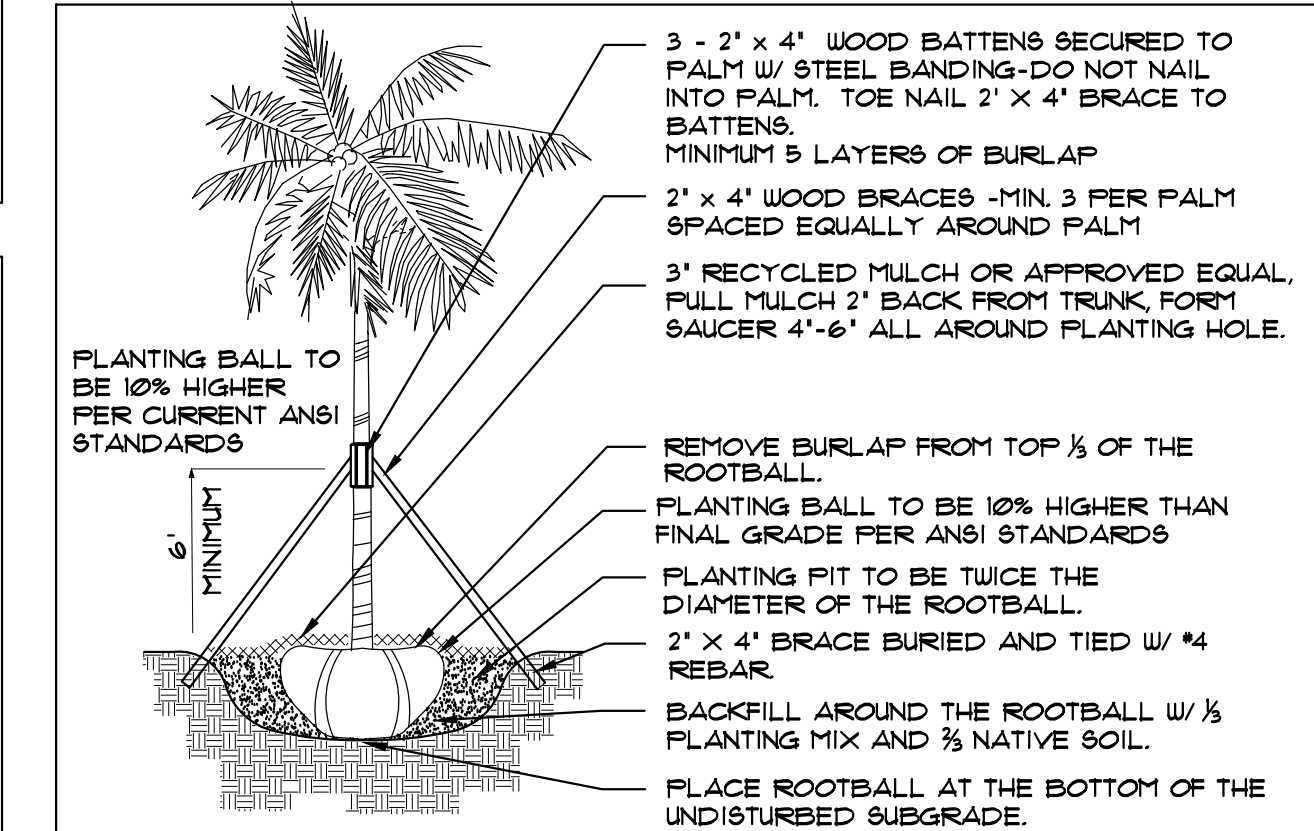
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERTHS AND OTHER LANDSCAPE AREAS.
  - 50:50 SODDED-LAWN AREAS
  - 2" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
  - GROUNDCOVER PLANTING BEDS:
  - 6" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
  - SHRUB AND HEDGE PLANTING AREAS:
  - 12" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
  - TREES, PALMS, SPECIMEN PLANT MATERIAL:
  - 24" DEPTH PLANTING SOIL SPREAD IN PLACE OR TO THE DEPTH OF THE ROOTBALL OR CONTAINER WHICHEVER IS GREATEST.
  - LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:
  - EXCAVATE AND REMOVE ALL LIMESTONE, ROCKS, DEBRIS, ETC. TO A DEPTH OF 12" AND BACKFILL W/ 50:50 TOPSOIL:SAND MIX.
  - BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
- THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT. OTHER PLANTING SOIL MIXES TO BE ADDED, IE. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 'NO CUTS' AS REQUIRED BY LAW.
- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.
- SOD SHALL BE ARGENTINE 'BAHIA' OR ST. AUGUSTINE 'FLORATAM' AS SHOWN ON THE PLANS. STRONGLY ROOTED, FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.
- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FOOT. SOD SHALL CARRY A 5-MONTH WARRANTY.
- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROVERS LANDSCAPE ASSOCIATION (FNGLA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
- IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP, AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.
- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.
- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING-IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS 'TENAX' PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRIVE LINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.
- EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.
- ALL EXISTING TREES AND PALMS SHALL BE 'LIFTED AND THINNED' TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.
- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN 'TREE REMOVAL PERMIT' FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.
- ALL PLANTINGS IN NON-IRRIGATED AREAS, IE. RIGHTS OF WAYS, SWALES, ETC. SHALL BE WATERED - IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.



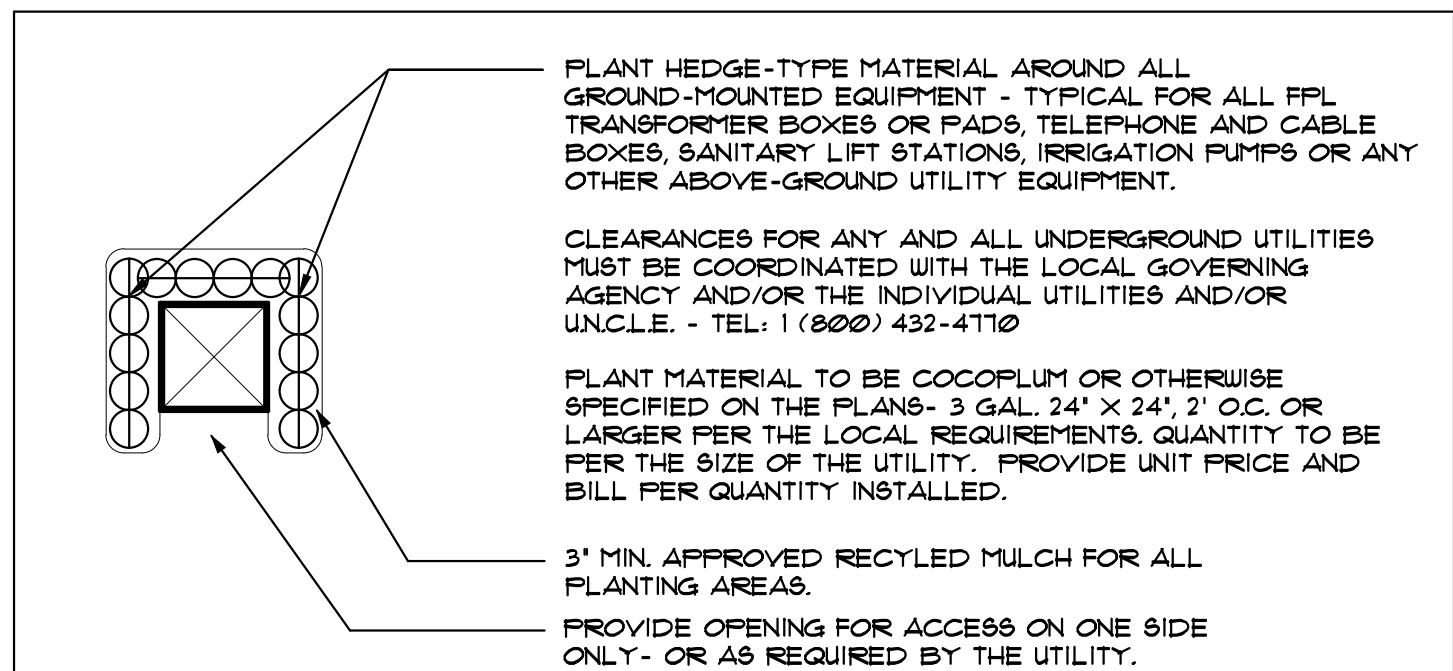
**TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES**  
N.T.S.



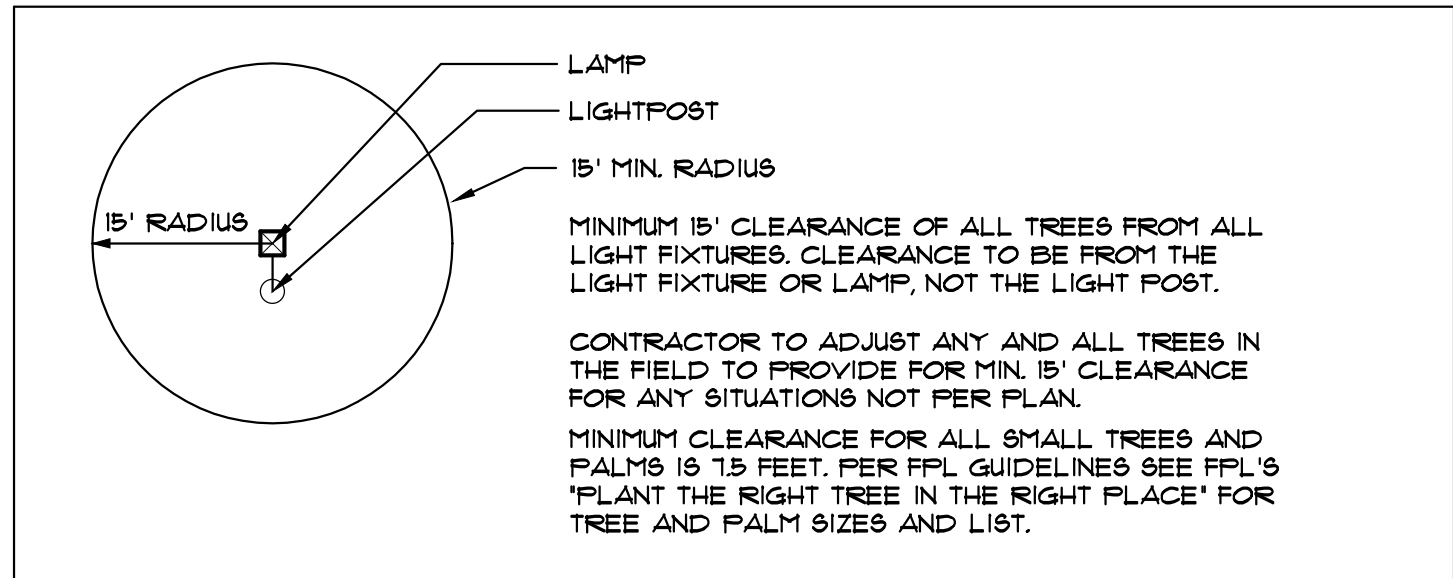
**TREE PLANTING DETAIL**  
N.T.S.



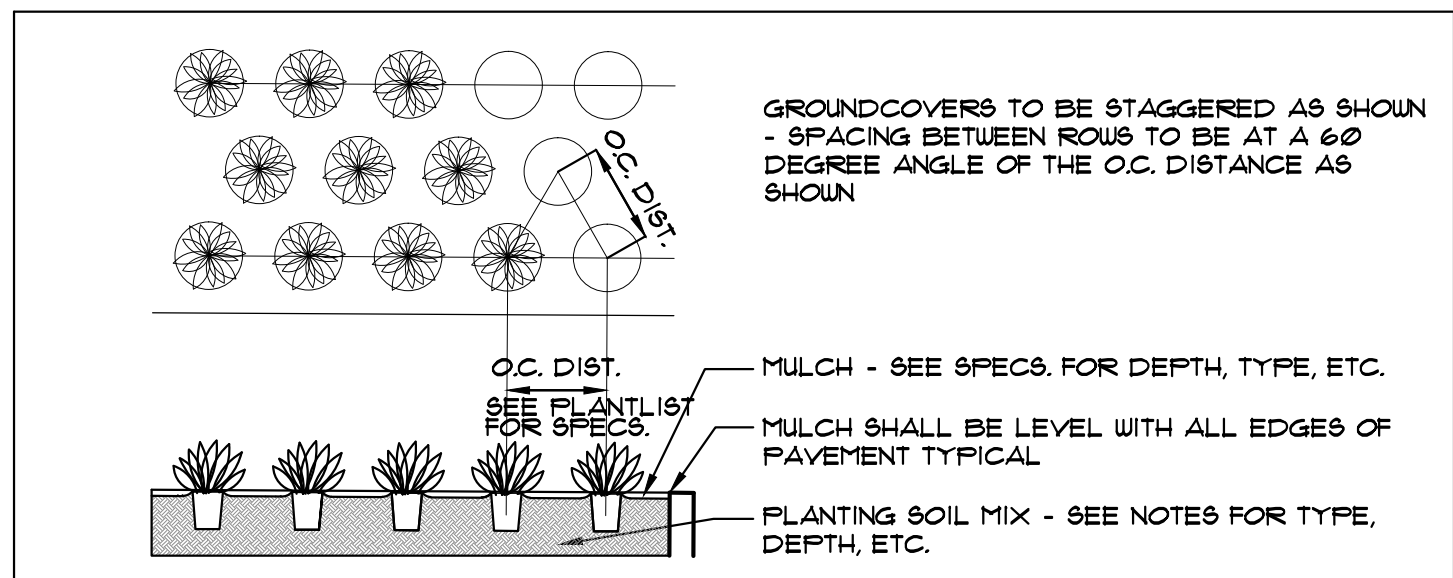
**PALM PLANTING DETAIL**  
N.T.S.



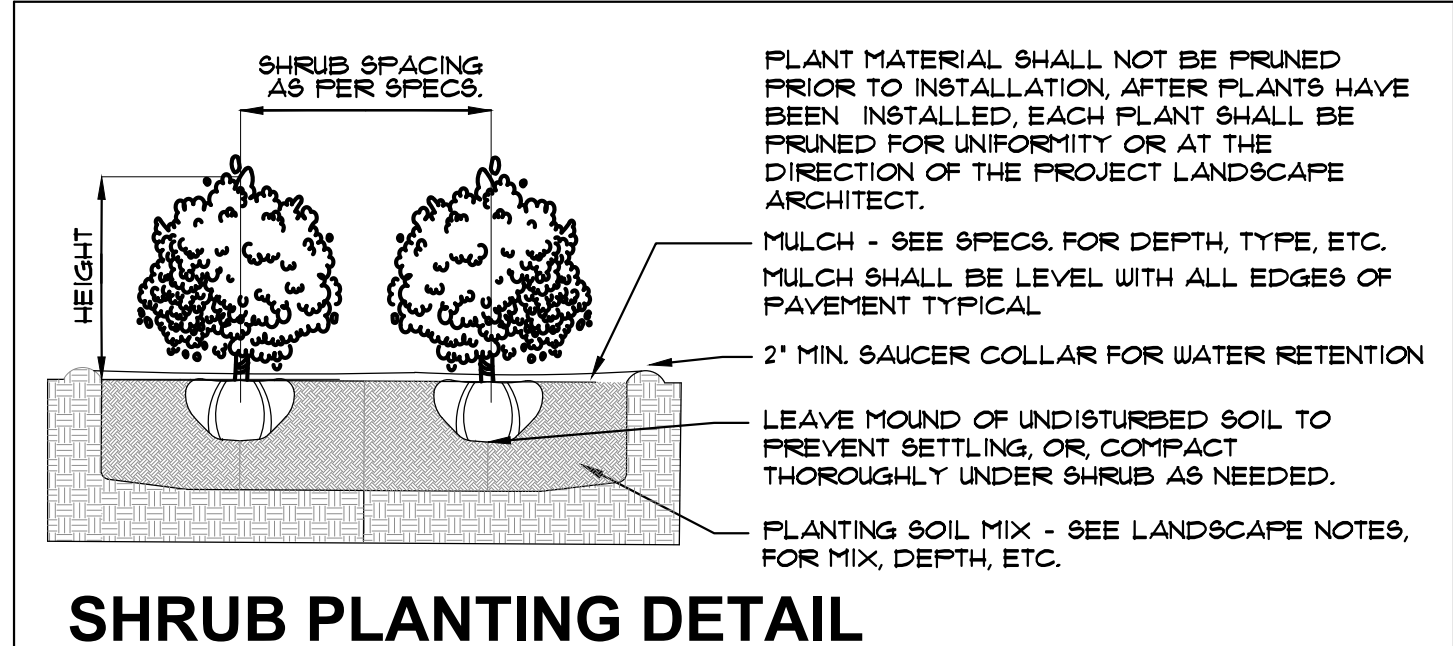
**TYPICAL PLANTING SCREEN FOR GROUND-MOUNTED EQUIPMENT**  
N.T.S.



**MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES**  
N.T.S.

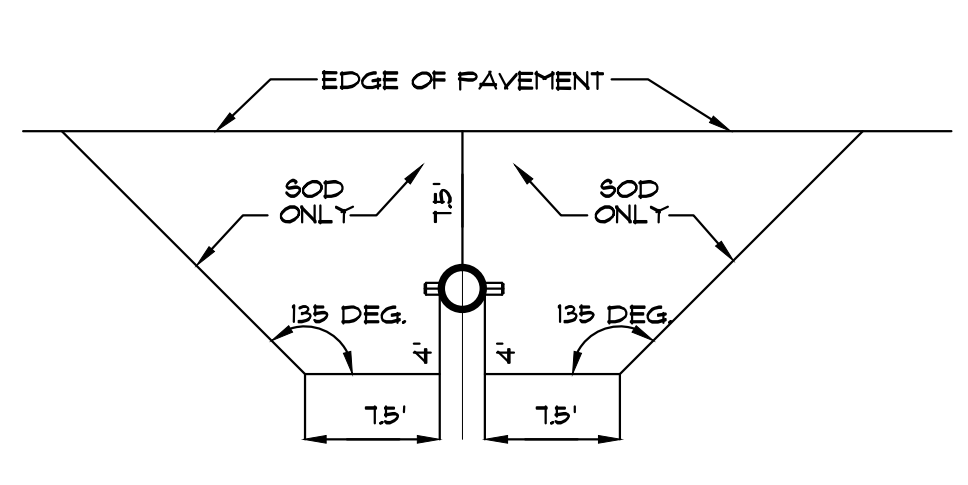


**GROUNDCOVER PLANTING DETAIL**  
N.T.S.

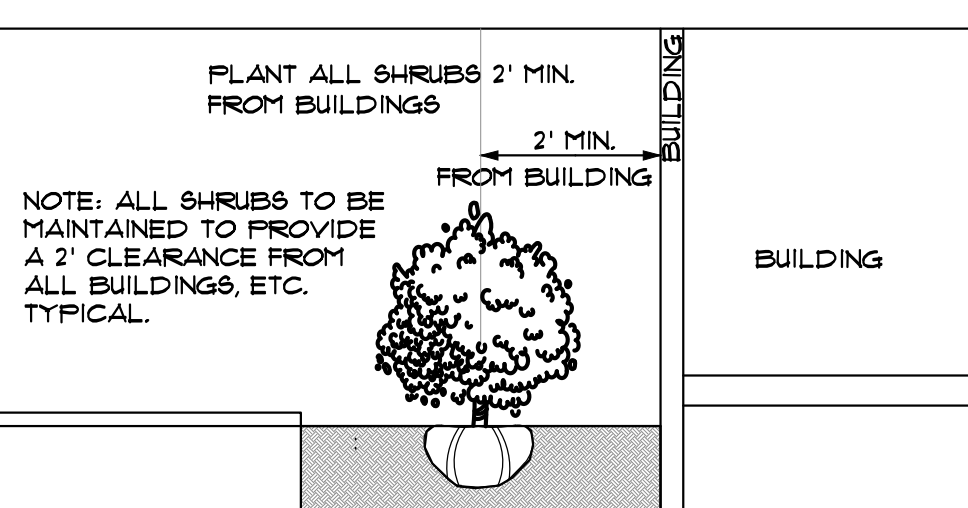


**SHRUB PLANTING DETAIL**  
N.T.S.

**FERTILIZATION:**  
ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER ATLANTIC -AFEC FERTILIZER 4 CHEMICAL (AFEC) OR AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.  
FERTILIZATION SHALL BE AS FOLLOWS: TREES: 12-06-08 (AFEC # 5231) RATE: 15 LBS/ INCH OF DIA. • DBH PALMS: 12-04-12 (AFEC # 1216) RATE: 15 LBS/ INCH OF DIA. • DBH SHRUBS AND GROUNDCOVERS: (12-06-08 AFEC # 5231) RATE: 15 OZ/ FT. OF HEIGHT



**FIRE HYDRANT CLEAR ZONE DETAIL**  
N.T.S.

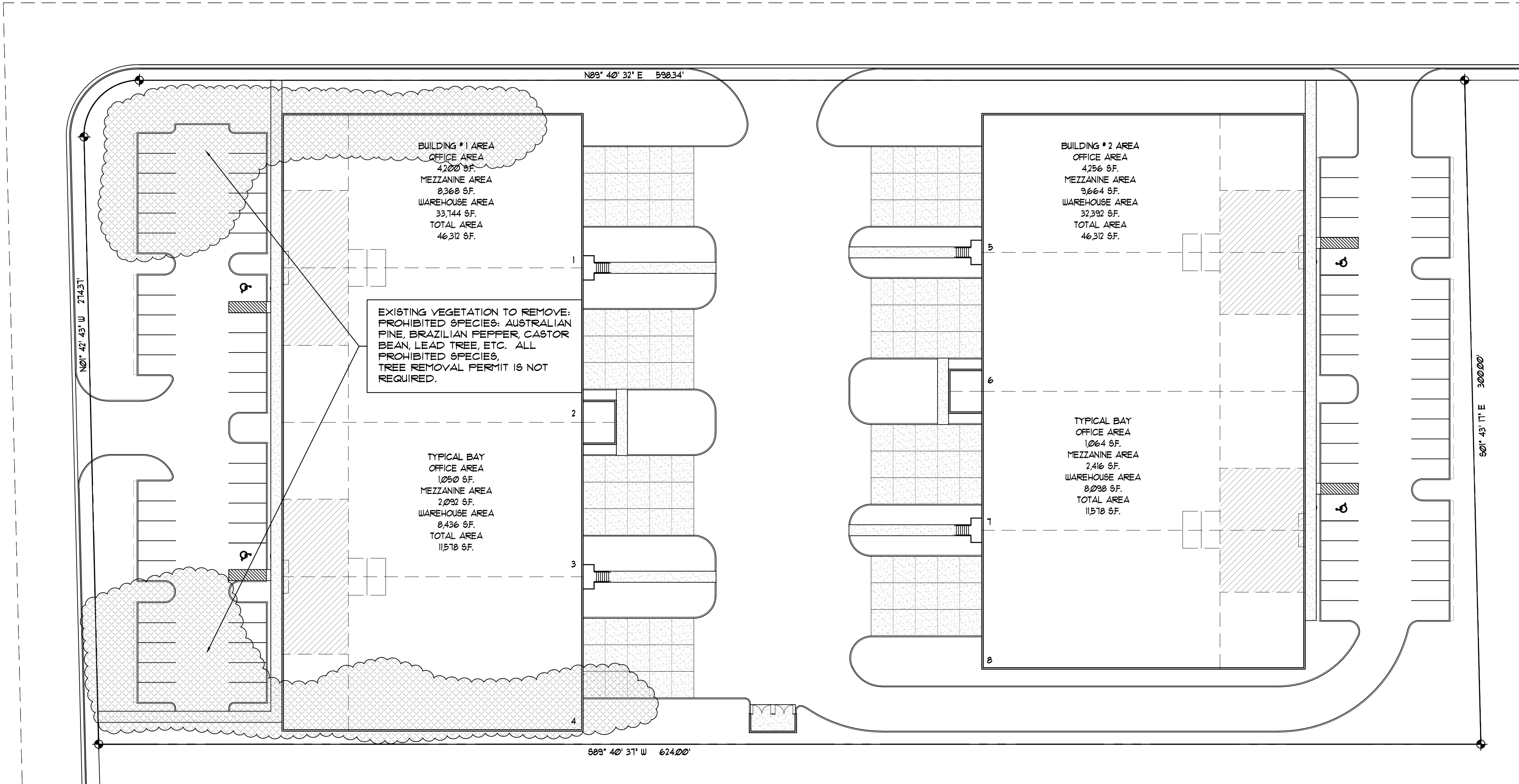


**SHRUB PLANTING ADJACENT TO BUILDINGS DETAIL**  
N.T.S.



N.W. 102nd Avenue

N.W. 62nd Street



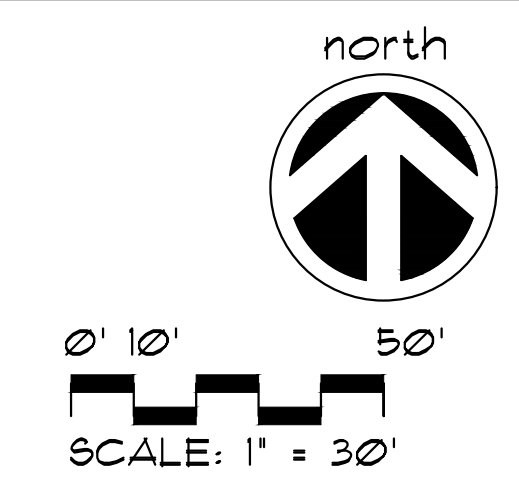
- NOTES:**
1. A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL OF ANY NON-EXEMPT TREES OR PALMS FROM THE SITE.
  2. SEE LANDSCAPE PLANS FOR PROPOSED LANDSCAPE PLANTINGS, LANDSCAPE LEGEND, PLANTLIST, SPECIFICATIONS, DETAILS, ETC.
  3. THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (MIAMI-DADE CO. DRER). TREE, PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
  4. LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE, EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
  5. ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY 1, ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.



AERIAL PHOTOGRAPH PER MIAMI-DADE COUNTY PROPERTY APPRAISER'S OFFICE

SITE INSPECTION CONDUCTED BY JFS DESIGN INC. ON JANUARY 28, 2016, WITH IN-FIELD OBSERVATIONS AND RECORDING OF THOSE TREES/PALMS AS SHOWN ON THE PLAN.

ALL TREES OBSERVED ON THE SITE ARE PROHIBITED SPECIES, WHICH ARE EXEMPT FROM PERMIT REQUIREMENTS AND MUST BE REMOVED.



A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM MIAMI-DADE CO. DRER AND THE CITY OF DORAL PRIOR TO REMOVAL OF ANY NON-EXEMPT TREE OR PALMS FROM THE SITE.

SEE SHEET L-2, L-3 FOR LANDSCAPE LEGEND, PLANTLIST, NOTES, DETAILS, SPECIFICATIONS, ETC.

SEE IRRIGATION PLANS FOR IRRIGATION DESIGN, LAYOUT, DETAILS, NOTES, ETC.

FOUR STORY OFFICE BUILDING FOR:  
**FLIGHTWAY X**  
NW 102nd Avenue & NW 62nd Street  
CITY OF DORAL  
MIAMI-DADE COUNTY, FLORIDA

REVISIONS	BY
Per City Staff Comments on 01-26-16	1.

JAMES F. SOGASH  
R.L.A. # 0001132  
NOT VALID FOR CONSTRUCTION UNLESS SIGNED & SEAL IN THIS BOX

Date	12-17-2015
Scale	
Drawn	
Job	
Sheet	TD-1
Of	

**TREE DISPOSITION PLAN**