

**RESOLUTION No. 17-100**

**A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR DORAL GLADES PARK, LOCATED AT 9775 NW 74 STREET, DORAL, FLORIDA 33178; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, On November 2, 2016, the City of Doral (the “City”) adopted Ordinance No. 2016-29 amending the City’s Land Development Code to establish procedures for the Mayor and City Council site plan review and approval process;

**WHEREAS**, the City, by and through the Parks and Recreation Department, has submitted an application for Mayor and Council site plan review and approval for Doral Glades Park, located east of the Doral Commons development, west of NW 97th Avenue, and south of an existing undeveloped site, as legally described in Exhibit “A” (“Glades Park”); and

**WHEREAS**, staff recommend approval of the proposed site plan provided in Exhibit “B” (the “Site Plan”); and

**WHEREAS**, the Site Plan is consistent with the previously approved conceptual site plan for Glades Park and all the requirements and standards set forth in Section 53-184 (3) of the Land Development Code.

**WHEREAS**, pursuant to law, notice has been given by publication in a paper of general circulation in the City, notifying the public of this proposed Resolution and of the public hearings; and

**WHEREAS**, the Mayor and City Council of the City of Doral finds that the adoption and implementation of this Resolution is in the best interest and welfare of the residents of the City.

**NOW THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL  
OF THE CITY OF DORAL, FLORIDA, THAT:**

**Section 1. Recital.** The above recitals are confirmed, adopted, and incorporated herein and made a part hereof by this reference.

**Section 2. Approval of Site Plan.** The Site Plan for Glades Park, which contains an existing 12.5 acre retention lake and 3.36 acre wetlands preserve, a multi-purpose field, two tennis courts, one beach sand volleyball court, playground area, two basketball courts, rental pavilions, and a 9,000 square feet nature center, is hereby approved. This Site Plan approval is subject to the City meeting all of the conditions set forth in the development approval, attached hereto as Exhibit "C", which is incorporated herein and made a part hereof by this reference.

**Section 3. Implementation.** The City Manager and the City Attorney are hereby authorized to take such further action as may be necessary to implement the purpose and provisions of this Resolution.

**Section 4. Effective Date.** This Resolution shall become effective upon its passage and adoption by the City Council and is binding on all successors and assigns.

The foregoing Resolution was offered by Councilmember Rodriguez who moved its adoption. The motion was seconded by Councilmember Mariaca and upon being put to a vote, the vote was as follows:

Mayor Juan Carlos Bermudez	Absent/Excused
Vice Mayor Pete Cabrera	Yes
Councilwoman Christi Fraga	Not Present at Time of the Vote
Councilwoman Claudia Mariaca	Yes
Councilwoman Ana Maria Rodriguez	Yes

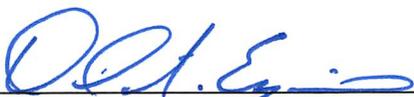
PASSED AND ADOPTED this 24 day of May, 2017.

  
\_\_\_\_\_  
JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:

  
\_\_\_\_\_  
CONNIE DIAZ, CMC  
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY  
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

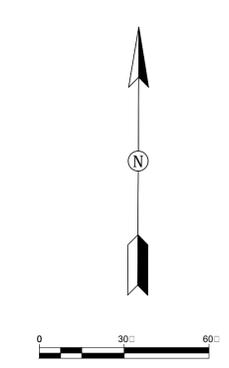
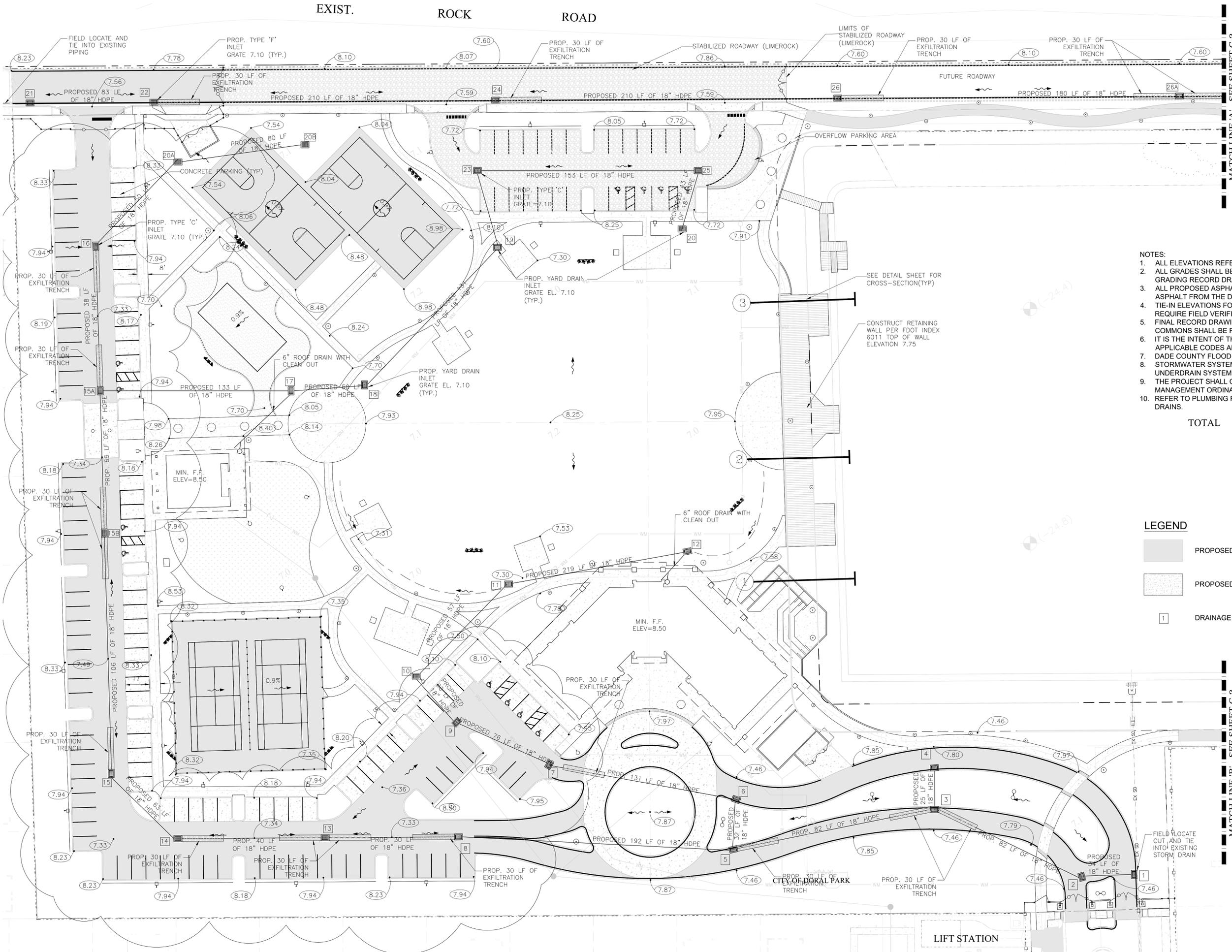
  
\_\_\_\_\_  
WEISS, SEROTA, HELFMAN, COLE & BIERMAN, P.L.  
CITY ATTORNEY

**LEGAL DESCRIPTION:**

08 53 40 14.834 AC M/L BEG 1080.49FTW OF SE COR OF SEC TH S 89 DEG W 100FT N 01 DEG W 610FT N 89 DEG W 714.15FT N 01 DEG W 610FT N 89 DEG E 1008.87FT S 01 DEG E 491.99FT S 89 DEG W 194.72FT S 01 DEG E 728.01FT TO LESS BEG 1080.49FTW OF SE COR OF SEC CONT S 89 DEG W 100FT N 01 DEG W 74.34FT SELY AD.

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EXIST. ROCK ROAD



NO.	REVISION	DATE
5	DESIGN DEV. DOCS	5-31-16
11	50% CD'S	11-11-16
12	ZONING SUBMITTAL	12-1-16
12	RAI RESPONSE	12-23-16
2	ZONING COMMENTS	3-3-17
2	100% CD PROGRESS SET	2-14-17
3	ZONING COMM	3-1-17
3	ZONING COMMENTS #2	3-29-17

CONSULTANT:  
GIANGRANDE ENGINEERING AND PLANNING  
73 SW FLORIAN AVENUE  
STUART, FL 34994



**Doral North Park Nature Center**  
Section 8, Township 53 South, Range 40 East  
City of Doral, Miami, FL.

- NOTES:
1. ALL ELEVATIONS REFERENCE NGVD29.
  2. ALL GRADES SHALL BE VERIFIED WITH DORAL COMMONS FINAL GRADING RECORD DRAWINGS.
  3. ALL PROPOSED ASPHALT SHALL MATCH THE EXISTING ASPHALT FROM THE DORAL COMMONS PROJECT. TIE-IN ELEVATIONS FOR UTILITIES AND ASPHALT TIE-INS WILL REQUIRE FIELD VERIFICATION.
  4. FINAL RECORD DRAWING GRADING PLANS FOR DORAL COMMONS SHALL BE REVIEWED PRIOR TO CONSTRUCTION.
  5. IT IS THE INTENT OF THESE PLANS TO COMPLY WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.
  6. DADE COUNTY FLOOD CRITERIA 7.10 NGVD.
  7. STORMWATER SYSTEM WILL BE A COMBINATION OF UNDERDRAIN SYSTEM AND SURFACE SYSTEM.
  8. THE PROJECT SHALL COMPLY WITH THE CITY FLOODPLAIN MANAGEMENT ORDINANCE.
  9. REFER TO PLUMBING PLANS FOR CONNECTIONS TO ROOF DRAINS.

TOTAL



Know what's below.  
Call before you dig.

LEGEND

- PROPOSED ASPHALT
- PROPOSED CONCRETE DRIVEWAY
- DRAINAGE STORM STRUCTURE

**CPZ ARCHITECTS, INC.**  
4316 WEST BROWARD BOULEVARD  
PLANTATION, FLORIDA 33317  
PHONE: (954) 792-8252 FAX: (954) 337-0359  
FL 12060665 WWW.CPZARCHITECTS.COM



DRAWING TITLE:  
PAVING,  
GRADING, AND  
DRAINAGE  
PLAN

DRAWN \_\_\_\_\_  
CHECKED CPZ  
DATE 1.29.16  
SCALE AS NOTED  
PROJECT NO. 1514  
SHEET:

**LEO P. GIANGRANDE, P.E.**  
LICENSE NO. 66387  
STATE OF FLORIDA

NO. REVISION	DATE
DESIGN DEV. DOCS	5-31-16
50% CD'S	11-11-16
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 73 SW FLAGLER AVENUE  
 STUART, FL 34994



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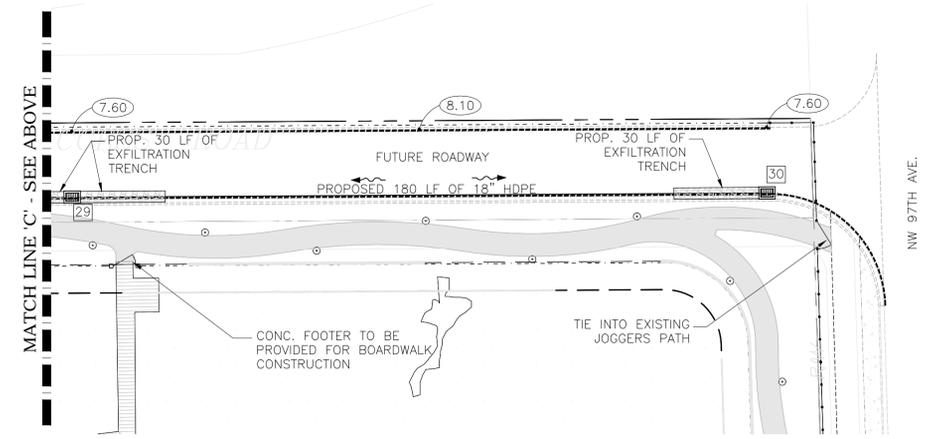
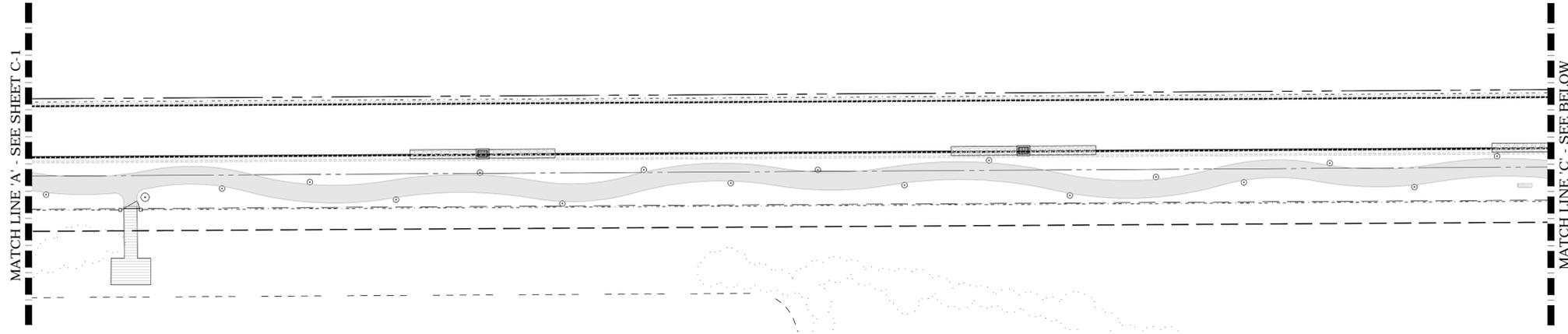
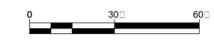
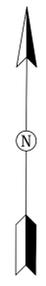
**CPZ ARCHITECTS, INC.**  
 4516 WEST BROWARD BOULEVARD  
 PLANTATION, FLORIDA 33317 (954) 317-0599  
 AV #2060065 WWW.CPZARCHITECTS.COM



DRAWING TITLE:  
 PAVING,  
 GRADING, AND  
 DRAINAGE  
 PLAN

DRAWN \_\_\_\_\_  
 CHECKED CPZ  
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SHEET:  
 C-2



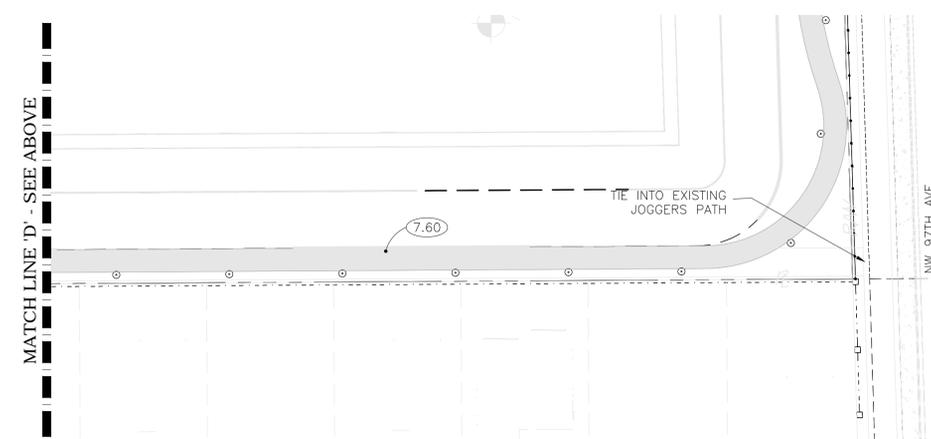
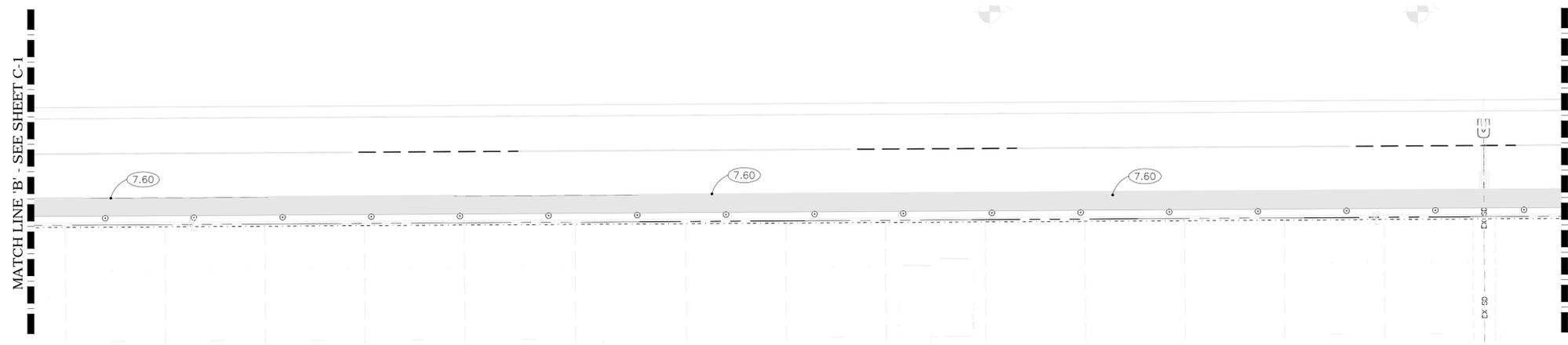
**LEGEND**

- PROPOSED ASPHALT
- PROPOSED CONCRETE DRIVEWAY
- DRAINAGE STORM STRUCTURE

**NOTES:**

1. ALL ELEVATIONS REFERENCE NGVD29.
2. ALL GRADES SHALL BE VERIFIED WITH DORAL COMMONS FINAL GRADING RECORD DRAWINGS.
3. ALL PROPOSED ASPHALT SHALL MATCH THE EXISTING ASPHALT FROM THE DORAL COMMONS PROJECT.
4. TIE-IN ELEVATIONS FOR UTILITIES AND ASPHALT TIE-INS WILL REQUIRE FIELD VERIFICATION.
5. FINAL RECORD DRAWING GRADING PLANS FOR DORAL COMMONS SHALL BE REVIEWED PRIOR TO CONSTRUCTION.
6. IT IS THE INTENT OF THESE PLANS TO COMPLY WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.
7. DADE COUNTY FLOOD CRITERIA 7.10 NGVD.
8. STORMWATER SYSTEM WILL BE A COMBINATION OF UNDERDRAIN SYSTEM AND SURFACE SYSTEM.

Structure No.	Structure Type	Grate / Rim Elevation		Invert (North)		Invert (South)		Invert (East)		Invert (West)	
		Proposed	As-Built	Proposed	As-Built	Proposed	As-Built	Proposed	As-Built		
1	FDOT - Type 9 CI	7.10								3.80	
2	FDOT - Type F DBI	7.10						3.80		3.80	
3	FDOT - Type 9 CI	7.10		3.80				3.80		3.80	
4	FDOT - Type 9 CI	7.10				3.80					
5	FDOT - Type 9 CI	7.10		3.80				3.80		3.80	
6	FDOT - Type 9 CI	7.10				3.80				3.80	
7	FDOT - Type F DBI	7.10						3.80		3.80	
8	FDOT - Type F DBI	7.10						3.80		3.80	
9	FDOT - Type F DBI	7.10						3.80		3.80	
10	Yard Drain (See Detail)	7.10				3.80		3.80			
11	Yard Drain (See Detail)	7.10				3.80		3.80			
12	Yard Drain (See Detail)	7.10				3.80		3.80			
13	FDOT - Type F DBI	7.10						3.80		3.80	
14	FDOT - Type F DBI	7.10						3.80		3.80	
15	FDOT - Type F DBI	7.10		3.80		3.80					
15A	FDOT - Type F DBI	7.10		3.80		3.80					
15B	FDOT - Type F DBI	7.10		3.80		3.80		3.80			
16	FDOT - Type F DBI	7.10		3.80		3.80					
17	Yard Drain (See Detail)	7.10						3.80		3.80	
18	Yard Drain (See Detail)	7.10						3.80		3.80	
19	Yard Drain (See Detail)	7.10		3.80		3.80					
20	Yard Drain (See Detail)	7.10		3.80							
20A	Yard Drain (See Detail)	7.10		3.80				3.80			
20B	Yard Drain (See Detail)	7.10								3.80	
21	FDOT - Type 9 CI	7.10				3.80		3.80			
22	FDOT - Type 9 CI	7.10				3.80		3.80		3.80	
23	FDOT - Type 9 CI	7.10						3.80		3.80	
24	FDOT - Type 9 CI	7.10						3.80		3.80	
25	FDOT - Type 9 CI	7.10						3.80		3.80	
26	FDOT - Type 9 CI	7.10						3.80		3.80	
26A	FDOT - Type 9 CI	7.10						3.80		3.80	
27	FDOT - Type 9 CI	7.10						3.80		3.80	
28	FDOT - Type 9 CI	7.10						3.80		3.80	
29	FDOT - Type 9 CI	7.10						3.80		3.80	
30	FDOT - Type 9 CI	7.10						3.80		3.80	



**LEO P. GIANGRANDE, P.E.**  
 LICENSE NO. 66387  
 STATE OF FLORIDA

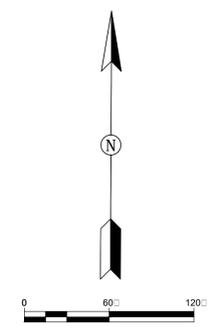
DATE: \_\_\_\_\_

NO. REVISION	DATE
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ZONING COMMENTS	2-3-17
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ZONING COMMENTS #2	3-29-17

CONSULTANT:  
GIANGRANDE ENGINEERING AND PLANNING  
73 SW FLAGLER AVENUE  
STUART, FL 34984



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Section 8, Township 53 South, Range 40 East  
City of Doral, Miami, FL.



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  9. SANITARY CONNECTION TO EXISTING DORAL COMMONS MANHOLE SHALL MODIFY MANHOLE FOR SANITARY ELEVATION DROP PER MIAMI DADE COUNTY UTILITIES STANDARDS.

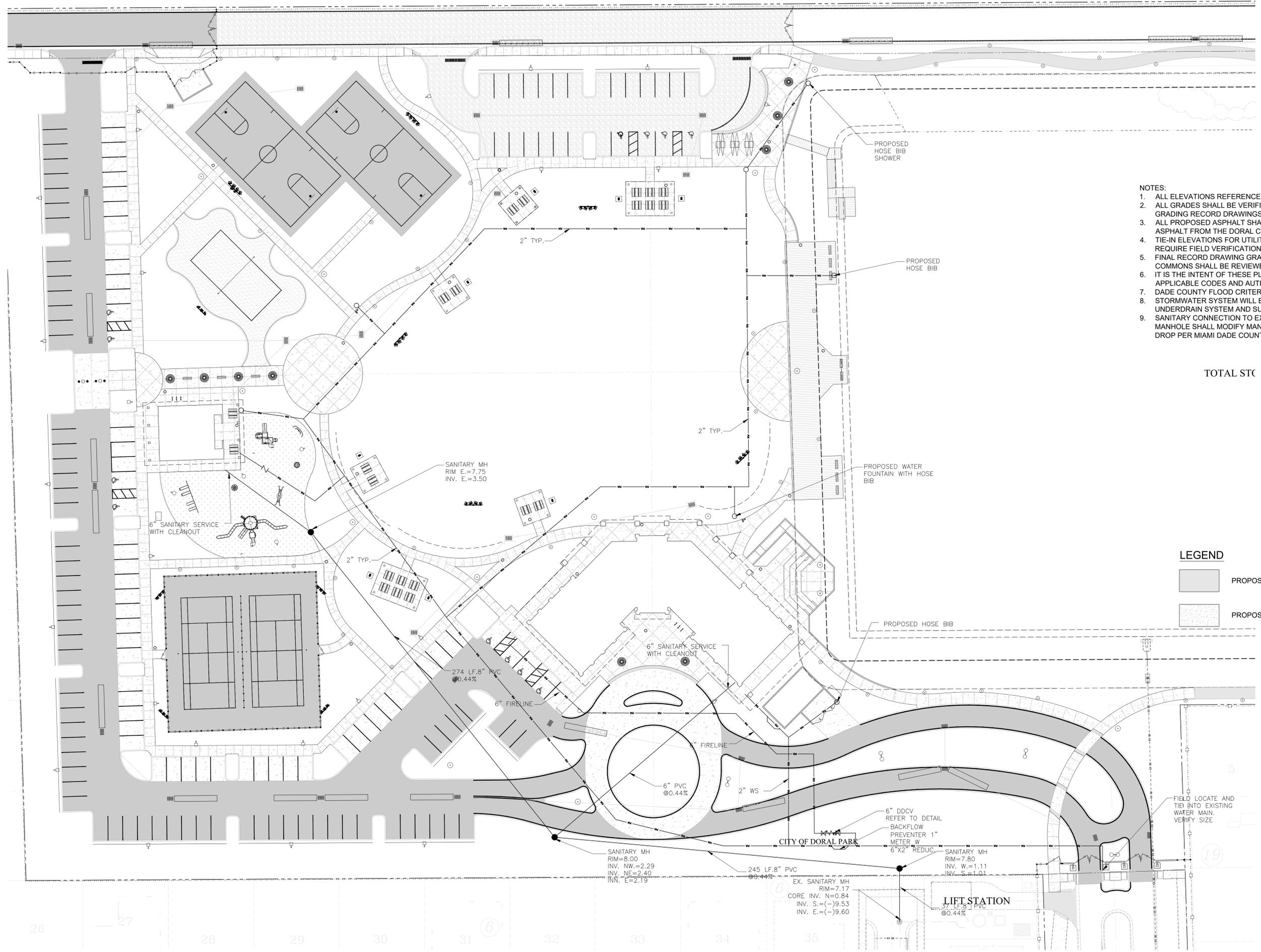
TOTAL STC



Know what's below.  
Call before you dig.

**LEGEND**

- PROPOSED ASPHALT
- PROPOSED BRICK OR CONCRETE DRIVEWAY



**CPZ ARCHITECTS, INC.**  
4514 WEST BROWARD BOULEVARD  
PLANTATION, FLORIDA 3317  
PHONE: (954) 792-8225 FAX: (954) 337-0359  
AA #26000685 WWW.CPZARCHITECTS.COM



DRAWING TITLE:

**WATER / WASTEWATER PLAN**

DRAWN	
CHECKED	CPZ
DATE	1.29.16
SCALE	AS NOTED
PROJECT NO.	1514
SHEET:	

**LEO P. GIANGRANDE, P.E.**  
LICENSE NO. 66387  
STATE OF FLORIDA

WW-1

DATE:

26 27 28 29 30 31 32 33 34 35

**DEWATERING**

CONSTRUCTION DEWATERING MAY REQUIRE A SHORT OR LONG - TERM DEWATERING PERMIT FROM THE SFWMD. IF DEWATERING IS TO TAKE PLACE THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DEWATERING PERMIT FOR HIS WORK.

**RECORD DRAWINGS**

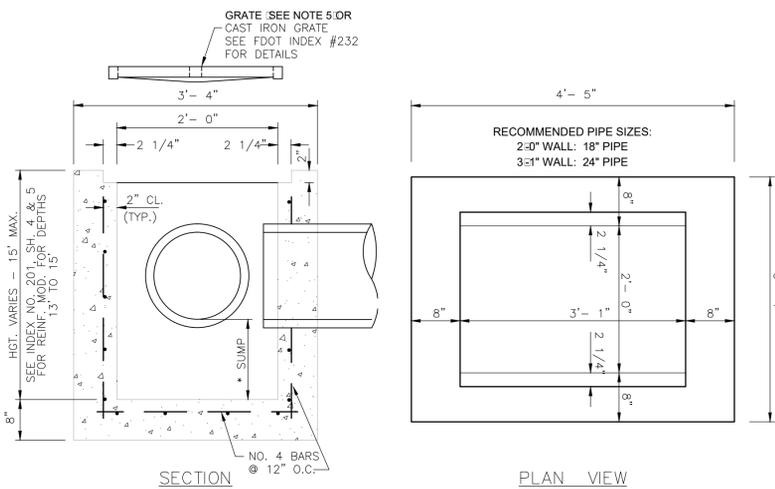
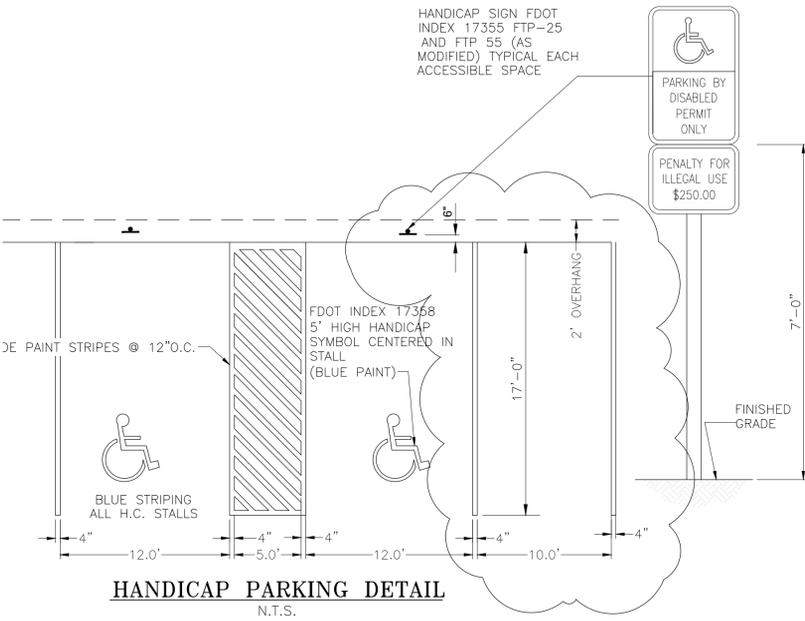
AFTER COMPLETION OF THE CONTRACT WORK, BUT PRIOR TO SUBMITTAL OF THE REQUEST FOR FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE FINAL RECORD DRAWINGS TO THE OWNER OF THE IMPROVEMENTS. THE RECORD DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF STUART, AND SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

THE FINAL LOCATION, BY REFERENCE TO AT LEAST TWO COMPLETED VISIBLE IMPROVEMENTS OR OTHER PERMANENT POINTS, OF ALL ROAD AND DRAINAGE ELEMENTS, AND SHALL INCLUDE ELEVATIONS OF PERTINENT POINTS IN THE PAVEMENT AND DRAINAGE IMPROVEMENTS, ALL REVISIONS TO THE ORIGINAL PLANS, VERIFICATION OF ALL DESIGN DIMENSIONS AND ELEVATIONS, LOCATION AND ELEVATIONS AND ALL OTHER INFORMATION NECESSARY TO HORIZONTALLY AND VERTICALLY LOCATE AND OPERATE THE IMPROVEMENTS CONSTRUCTED UNDER THIS CONTRACT.

DRAWINGS SHALL INCLUDE:

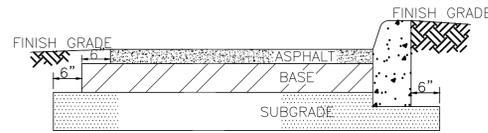
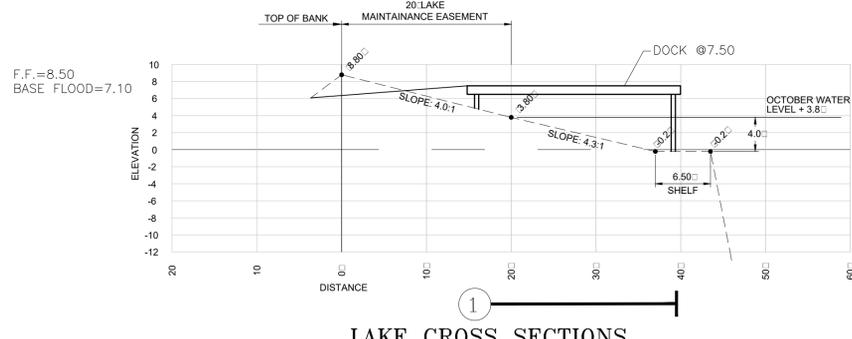
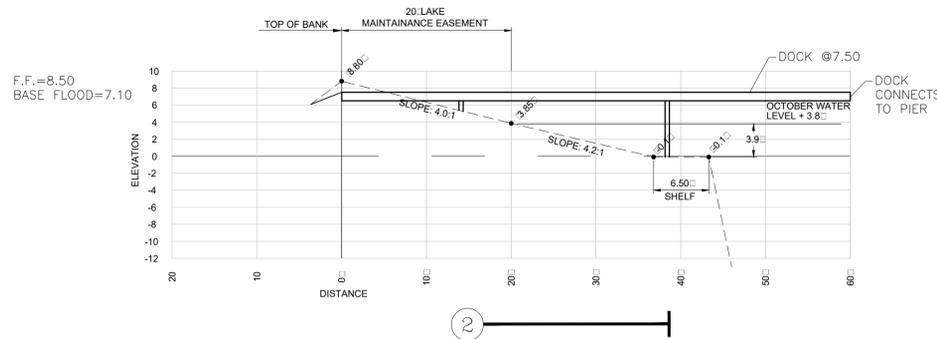
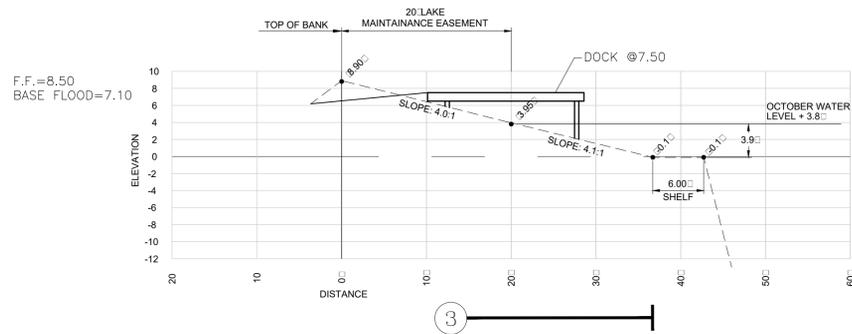
- A. ANY CHANGES OR VERIFICATIONS GET MARKED.
- B. MARK OUT ALL "PROPOSED" OR "CONSTRUCTS"
- C. DRAW IN A DETAIL BOX OF ANY SUBSTANTIAL CHANGES

THE CONTRACTOR SHALL PROVIDE FIVE SETS OF RECORD DRAWING PRINTS, ONE ELECTRONIC SET ON CD (PDF OR DWG) AND ONE COPY OF CERTIFIED FIELD NOTES TO THE OWNER THAT ARE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. PAYMENT FOR THE RECORD DRAWINGS SHALL BE ON A LUMP SUM BASIS.

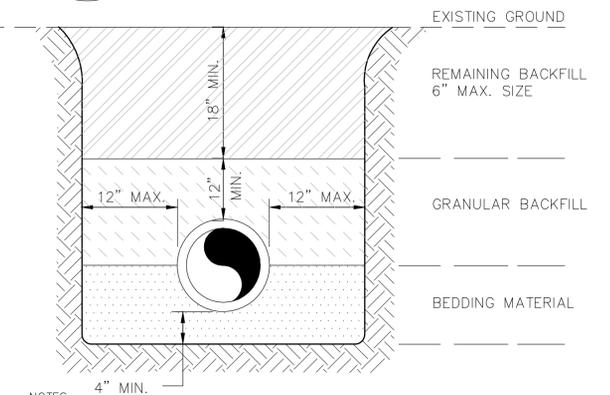
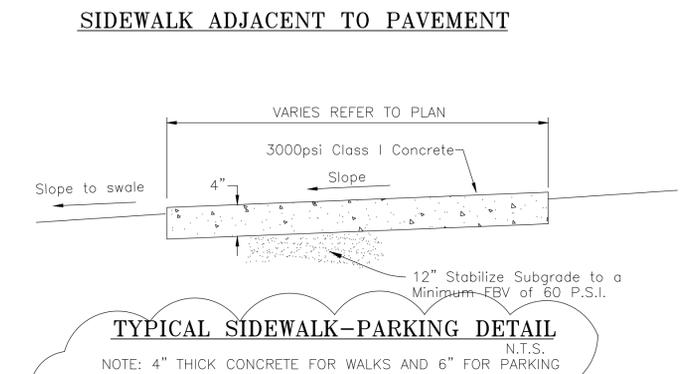
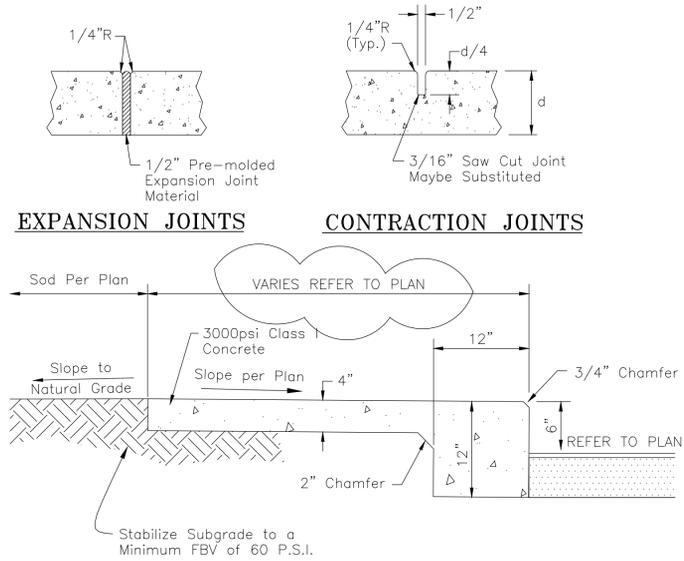
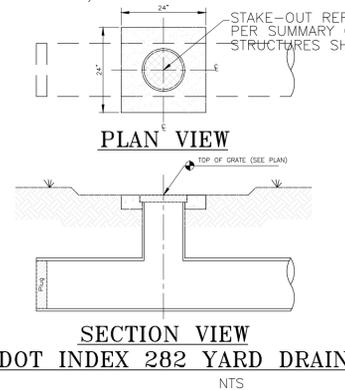
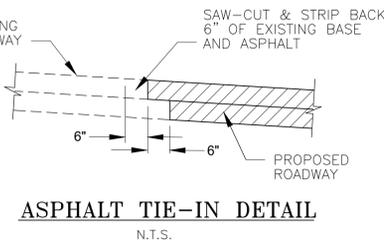
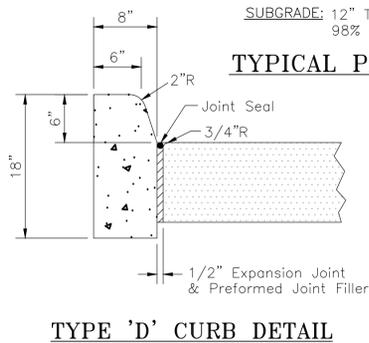


**INLET NOTES:**

1. REFER TO FDOT STANDARD INDEX NO. 200, 201 AND 232 FOR ADDITIONAL AND SUPPLEMENTARY DETAILS.
2. STRUCTURES MAY BE CAST IN PLACE OR PRE CAST WITH CLASS 1 (MIN 3000 PSI) CONCRETE PER FDOT SECTION 425. CONCRETE AS SPECIFIED BY ASTM C-478 (MIN 4000 PSI) MAY BE USED IN PRE CAST ITEMS MANUFACTURED IN PLANTS AS SPECIFIED IN FDOT STANDARD INDEX NO. 201.
3. R.C.P. SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO F.D.O.T. SEC. 941.
4. PLACE SOD 4" ON ALL SIDES OF INLET IN GREEN AREAS UNLESS OTHERWISE NOTED.
5. USE USF GRATE #6212 AND FRAME #4160 FOR PAVED AREAS. USE USF GRATE #6210 FOR GRASSED AREAS.
6. ALL INLET GRATES SHALL BE COVERED WITH FILTER FABRIC DURING CONSTRUCTION.
- AT INLETS INDICATED WITH SUMP, SEE PLANS.



ASPHALT CONCRETE PAVEMENT: 1 1/2" FDOT TYPE SP-9.5 (SURFACE) (NOT PROVIDED ON STABILIZED SECTIONS)  
BASE: 6" COMPACTED LIMEROCK OR COQUINA BASE (LBR-100) SAME DENSITY AS SUBGRADE  
SUBGRADE: 12" THICK COMPACTED SUBGRADE (LBR-40) DENSITY SHALL BE 98% OF MAXIMUM AS DETERMINED BY AASHTO T-180 METHOD



1. BEDDING MATERIAL SHALL BE HAND PLACED IN 6" LIFTS AND SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8"-7/8" SIZING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCK SHALL BE REMOVED.
2. THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
3. THE PIPE SHALL BE PLACED IN A DRY TRENCH.
4. BACKFILL SHALL BE DONE WITH APPROVED MATERIAL, CLEAN AND FREE OF ROCKS, MUCK AND OTHER DELETERIOUS MATTER, AND COMPACTED BENEATH THE HAUNCHES OF THE PIPE USING MECHANICAL TAMPERS TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
5. BACKFILL TO BE COMPACTED ALONG THE SIDES OF THE PIPE AND TO A POINT ONE FOOT ABOVE THE TOP OF THE PIPE TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
6. A.) WHERE PAVEMENT IS TO BE CONSTRUCTED OVER THE PIPE, THE REMAINING BACKFILL SHALL BE COMPACTED IN 6 INCH LAYERS TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.  
B.) WHERE NO PAVEMENT IS TO BE CONSTRUCTED OVER THE PIPE, THE REMAINING BACKFILL SHALL BE COMPACTED IN 6 INCH LAYERS TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
7. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL TRENCH SAFETY REGULATIONS

**LEO P. GIAGRANDE, P.E.**  
LICENSE NO. 66387  
STATE OF FLORIDA

DATE:

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ZONING COMMENTS	2-3-17
100% CD PROGRESS SET	2-14-17
ZONING COMM	3-1-17
ZONING COMMENTS #2	3-28-17

CONSULTANT:  
GANBRIDGE ENGINEERING AND PLANNING  
73 SW FLAGLER AVENUE  
STUART, FL 34994



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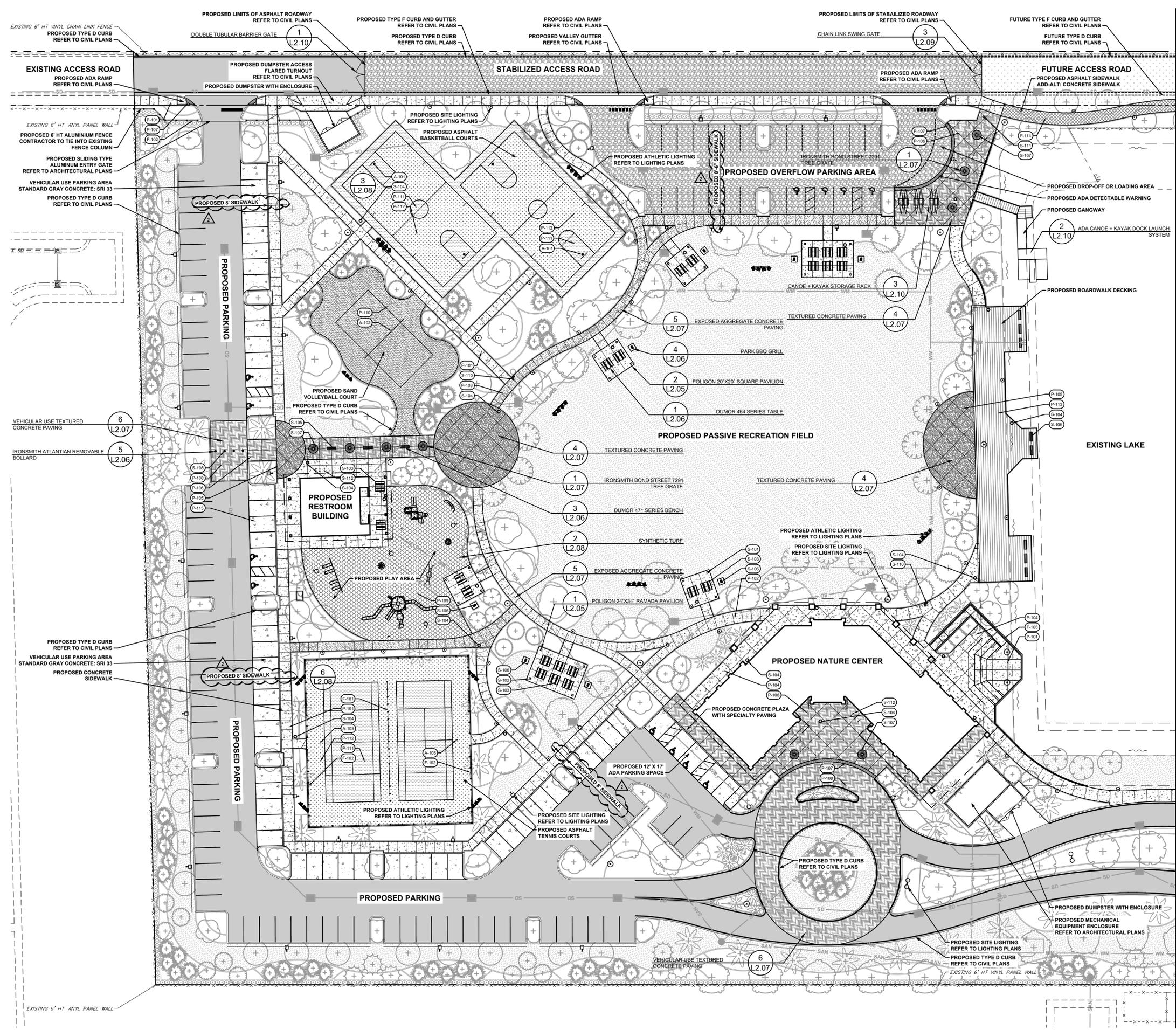
DRAWING TITLE:

DETAILS

DRAWN	
CHECKED	CPZ
DATE	1.29.16
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SHEET:	

D-1

Plot Date: 3/30/2017 11:56:44 PM Username: Sboriak Layout Name: L2.01  
 Folder Path: C:\Projects\15-430.010 - Doral Glades Park\Design\CAD - Zoning\Plans  
 Filename: 15-430.010\_L2-Hardscape-Plan.dwg



### HARDSCAPE LEGEND

CODE	SYMBOL	DESCRIPTION
F-101	[Symbol]	Chain Link Fence 6' Height, Black Vinyl Coated
F-102	[Symbol]	Aluminum Fence with Decorative Columns 6' Height, Pro-Fit Ledgestone "Autumn" Veneer Wrapped Columns
F-103	[Symbol]	Deck Railing IPE Lumber Construction Aluminum Picket, Black Powder Coated
S-101	[Symbol]	Poligon Shelter 20' Square, Tongue and Groove IPE Ceiling Add-Alternate: Pro-Fit Ledgestone "Autumn" Veneer Column
S-102	[Symbol]	Poligon Shelter 24' x 34', Tongue and Groove IPE Ceiling Add-Alternate: Pro-Fit Ledgestone "Autumn" Veneer Column
S-103	[Symbol]	DuMor Table Set 464
S-104	[Symbol]	DuMor Litter Receptacle 474
S-105	[Symbol]	DuMor Bench 471
S-106	[Symbol]	DuMor Grill 15' x 20' Galvanized Steel In-Ground Post Mount, 360° Rotation
S-107	[Symbol]	Ironsmith Bond Street Aluminum Tree Grate 72" round in quarter sections, 1/2" maximum slot openings, two openings for uplights, and steel angle frame with cross supports
S-108	[Symbol]	Ironsmith Atlantian Removable Bollard 36" x 6" schedule 40 pipe with Cast aluminum cap.
S-109	[Symbol]	MDF 440 Series Drinking Fountain Pedestal mounted drinking fountain with ADA arm and pet fountain
S-110	[Symbol]	MDF 500 Series Shower Pedestal mounted shower with foot wash and hose bib
S-111	[Symbol]	DuMor Bike Rack 293 Two-Bike capacity bicycle rack, embedded mount, spaced 36" minimum in groups of three
CODE	SYMBOL	PAVING DESCRIPTION
P-101	[Symbol]	Concrete Sidewalk
P-102	[Symbol]	Exposed Aggregate Concrete
P-103	[Symbol]	Shellrock Aggregate Concrete
P-104	[Symbol]	Glass Aggregate Concrete Sidewalk
P-105	[Symbol]	Integrally Colored + Textured Concrete Plaza
P-106	[Symbol]	Integrally Colored + Textured Concrete Arrival Plaza
P-107	[Symbol]	Integrally Colored ADA Detectable Concrete
P-108	[Symbol]	Integrally Colored + Textured Vehicular Use Concrete
P-109	[Symbol]	Artificial Turfgrass Play Surface, 12" Fall Height
P-110	[Symbol]	Sand Volleyball Court Play Surface
P-111	[Symbol]	Asphalt Play Surface Colorcoat Overlay
P-112	[Symbol]	Asphalt Play Surface Colorcoat Overlay
P-113	[Symbol]	Deck Boardwalk IPE Lumber Construction
P-114	[Symbol]	Asphalt Sidewalk (Add-Alternate: Concrete Sidewalk)
P-115	[Symbol]	Vehicular Use Concrete SRI 33
CODE	SYMBOL	WAYFINDING DESCRIPTION
W-101	[Symbol]	Directional Sign 7' height x 10" width x 10" depth
W-102	[Symbol]	Informational Sign 7' height x 4" width x 10" depth
W-103	[Symbol]	Identification Sign 4' height x 2" width x 10" depth
CODE	SYMBOL	ATHLETIC EQUIPMENT DESCRIPTION
A-101	[Symbol]	Basketball Goal
A-102	[Symbol]	Volleyball
A-103	[Symbol]	Tennis

MATCHLINE SEE DRAWING NO. L2.02

NO.	REVISION	DATE
1	Zoning Comments #1	3/1/2017
2	Zoning Comments #2	3/29/2017
3		
4		
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9		
10		

**CHEN-MOORE & ASSOCIATES**  
 500 West Cypress Creek Road  
 Ft. Lauderdale, FL 33309  
 954.730.0707  
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**CERTIFICATES OF AUTHORIZATION**  
 EB4593 LC26000425

Doral Glades Park  
 Section 8, Township 53 South, Range 40 East  
 City of Doral, Miami, Florida

**CPZ ARCHITECTS, INC.**  
 4316 WEST BROWARD BOULEVARD  
 PLANTATION, FLORIDA 33317  
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DRAWING TITLE:  
 HARDSCAPE PLANS

DRAWN: MSB  
 CHECKED: CAB  
 DATE: 03-01-2017  
 SCALE: AS SHOWN  
 PROJECT NO: 1514  
 SHEET:

CRISTOBAL A. BETANCOURT, RLA  
 REGISTRATION NO. 6666941

DATE: 03-01-2017

L2.01

# LANDSCAPE SPECIFICATIONS

1. **GENERAL**
  - 1.1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
    - 1.1.1. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
    - 1.1.2. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
  - 1.2. SOURCE OF BASE INFORMATION IS ASSUMED TO BE CORRECT. IF SITE DISCREPANCIES ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY. IF CONTRACTOR CONTINUES WORK WITHOUT THE PROPER NOTIFICATION, CONTRACTOR DOES SO AT HIS OWN RISK.
  - 1.3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.
  - 1.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.
  - 1.5. CONTRACTOR SHALL VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
  - 1.6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC.:" AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
  - 1.7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE OWNER.
  - 1.8. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES.
  - 1.9. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
  - 1.10. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.
    - 1.11. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.
    - 1.12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.
2. **PRE-CONSTRUCTION RESPONSIBILITY**
  - 2.1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERTINENT PARTIES AND HIMSELF.
  - 2.2. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES ONSITE. LOCATION TO BE DETERMINED BY THE OWNER. JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.
  - 2.3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
  - 2.4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
  - 2.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY TREES PROPOSED FOR RELOCATION. THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
  - 2.6. CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.
3. **PLANTING SOIL**
  - 3.1. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
  - 3.2. ALL SHRUBS SHALL BE PLANTED WITH A MINIMUM OF 6" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
  - 3.3. MINIMUM TOPSOIL SHALL BE 2" FOR SODDED GRASS AREAS.
  - 3.4. PLANTING SOIL MIX SHALL BE A WEED FREE MIX AS FOLLOWS:
    - 3.4.1. DICOT TREES & SHRUBS: 50% SAND, 40% MUCK & 10% PEAT
    - 3.4.2. MONOCOT PALMS: 70% SAND & 30% MUCK
    - 3.4.3. TURF: 80% SILICA SAND, 10% PEAT & 10% MUCK
4. **LANDSCAPE PLANTING**
  - 4.1. THIS PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.
  - 4.2. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
  - 4.3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
  - 4.4. ALL PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.
  - 4.5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZES (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. CONTAINER SIZE IS FOR REFERENCE PURPOSES ONLY. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION, AS SPECIFIED IN THE PLANT LIST.
  - 4.6. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.
  - 4.7. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.
  - 4.8. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND/OR GOVERNING MUNICIPALITY.
  - 4.9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.
  - 4.10. AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAKED TO A DEPTH OF 6". ALL ROCK AND FOREIGN INORGANIC MATERIALS SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
  - 4.11. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT EXISTING TREES, DAMAGE UTILITIES OR OTHER IMPROVEMENTS.
  - 4.12. ALL PLANTING BEDS IN OPEN AREAS AND AROUND BUILDING FOUNDATIONS SHALL BE EXCAVATED TO A DEPTH OF TWENTY-FOUR INCHES (24") AND BACK FILLED WITH SOIL MIX AS SPECIFIED IN SECTION 3.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEOUS MATERIAL.
  - 4.13. ALL PLANTING BEDS IN MEDIANS, HARDCAPE AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS MATERIAL SHALL BE EXCAVATED TO A DEPTH OF THIRTY-SIX INCHES (36") OR UNTIL NATIVE SOILS ENCOUNTERED TO ENSURE DRAINAGE. BACK FILL WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEOUS MATERIAL.
  - 4.14. EXCAVATE PLANTING PITS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER LATERAL ROOT(S) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER. ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.
  - 4.15. BURLAP, SYNTHETIC STRING, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM THE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE COMPLETELY REMOVED AND THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.
  - 4.16. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED.
  - 4.17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.

- 4.18. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
- 4.19. ALL TREES SPECIFIED AS FIELD GROWN OR B&B TREES SHALL BE ROOT-PRUNED AT THE NURSERY A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.
- 4.20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
- 4.21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.
- 4.22. GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.
- 4.23. TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE 8' IN ALL PEDESTRIAN AREAS.
- 4.24. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.
- 4.25. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO STAKING.
- 4.26. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT/WARRANTY PERIOD.
- 4.27. TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUY'S SHALL BE REJECTED.
5. **TURF GRASSES**
  - 5.1. ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.
6. **MULCH & FERTILIZER**
  - 6.1. ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF PINE STRAW MULCH, UNLESS OTHERWISE SPECIFIED.
  - 6.2. INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3" DIAMETER MULCH RING.
  - 6.3. MULCH SHALL NOT BE INSTALLED WITHIN 3" OF TREE TUNKS.
  - 6.4. FERTILIZER MIX AS FOLLOWS:
    - 6.4.1. DICOT TREES & SHRUBS: NPK 18-4-2, SLOW RELEASE W/ MICRONUTRIENTS
    - 6.4.2. MONOCOT PALMS: NPK 8-2-12, SLOW RELEASE W/ MICRONUTRIENTS
    - 6.4.3. TURF: NPK 16-4-8, SLOW RELEASE W/ MICRONUTRIENTS
7. **WATERING**
  - 7.1. ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE SHALL BE INSTALLED TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.
  - 7.2. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.
8. **PROJECT CLOSEOUT**
  - 8.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
  - 8.2. THE CONTRACTOR SHALL RESTORE, REPLACE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR, HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTOR'S EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
  - 8.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.
  - 8.4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.
  - 8.5. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INCLUDING PRODUCT/EQUIPMENT AS SPECIFIED OR REVISED DURING THE SHOP DRAWING SUBMITTAL PROCESS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
9. **GUARANTEE**
  - 9.1. ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED IN KIND BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION.
  - 9.2. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.
  - 9.3. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 74 MPH AS DETERMINED BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

# LANDSCAPE LEGEND

ZONING DISTRICT: GOVERNMENTAL - INTERIM		NET LOT AREA:	9.00 AC	391,971 SF
		REQUIRED	PROVIDED	
<b>OPEN SPACE</b>				
A.	SQUARE FEET OF OPEN SPACE REQUIRED BY CHAPTER 33	40%	156,788 SF	239,844 SF
B.	SQUARE FEET OF PARKING LOT OPEN SPACE REQUIRED BY CHAPTER 18A	160 SPACES	1,600 SF	4,070 SF
C.	TOTAL SF OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33		158,388 SF	239,844 SF
<b>LAWN AREA CALCULATION</b>				
A.	TOTAL SF OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33	158,388 SF	158,388 SF	239,844 SF
B.	MAXIMUM LAWN AREA (SOD) PERMITTED (LESS 55,565 SF OPEN PLAY)	60%	143,906 SF	123,187 SF
<b>TREES</b>				
A.	NO. TREES REQUIRED PER NET LOT ACRE LESS EXISTING NUMBER OF TREES MEETING MINIMUM REQUIREMENTS	28 TREES PER ACRE	252 TREES	253 TREES
B.	% PALMS ALLOWED: NO. TREES PROVIDED X 30%	30%	76 PALMS	57 PALMS
	% PALMS PERMITTED TO COUNT AS STREET TREES ON 1:1 BASIS X 30%	30%	20 PALMS	0 PALMS
C.	% NATIVES REQUIRED: NO. TREES PROVIDED X 30%	30%	76 TREES	232 TREES
D.	STREET TREES (MAXIMUM AVERAGE SPACING OF 35' O.C.): LINEAR FEET ALONG STREET / 35	2,296 LF	66 TREES	66 TREES
E.	STREET TREES LOCATED DIRECTLY BENEATH POWER LINES (MAXIMUM AVERAGE SPACING OF 25' O.C.): LINEAR FEET ALONG STREET / 25	0 LF	N/A	N/A
<b>SHRUBS</b>				
A.	NO. TREES REQUIRED X 10 = NO. OF SHRUBS REQUIRED	10 SHRUBS PER TREE	2,520 SHRUBS	6,085 SHRUBS
B.	NO. SHRUBS REQUIRED X 30% = NO. OF NATIVE SHRUBS REQUIRED	30%	756 SHRUBS	4,186 SHRUBS

# PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	SIZE	NATIVE	
	AR	18 *	Red Maple / <i>Acer rubrum</i>	B & B	12' HT, 6' SPR, 3" CAL	Yes	
	AG	6	Pond Apple / <i>Annona glabra</i>	B & B	8' HT, 4' SPRD	Yes	
	CD	30	Pigeon Plum / <i>Coccoloba diversifolia</i>	B & B	8' HT, 4' SPRD	Yes	
	CS	26 *	Orange Geiger Tree / <i>Cordia sebestena</i>	B & B	10' OAH, 5' SPR, 2-1/2" CAL	Yes	
	IC	10	Dahoon Holly / <i>Ilex cassine</i>	B & B	8' HT, 4' SPRD	Yes	
	LI	21 *	Crape Myrtle / <i>Lagerstroemia indica</i>	B & B	10' HT, 5' SPRD, 2-1/2" CAL	No	
	PE	25 *	Slash Pine / <i>Pinus elliotti</i>	B & B	12' - 14' HT, 4' SPRD, 3" CAL	Yes	
	QV	92 *	Live Oak / <i>Quercus virginiana</i>	B & B	14 HT, 6' SPRD, 3" CAL	Yes	
PALM TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	SIZE	NATIVE	
	BN	19 *	Silver Bismark Palm / <i>Bismarckia nobilis</i> 'Silver' full, dense crown/ heavy caliper	B & B	8' CT	Yes	
	RE	38 *	Florida Royal Palm / <i>Roystonea elata</i>	B & B	10' GW	Yes	
	SP	126	Cabbage Palmetto / <i>Sabal palmetto</i> Staggered Heights, Curved Trunk	B & B	10' - 12' CT	Yes	
	TR	26	Florida Thatch Palm / <i>Thrinax radiata</i>	B & B	8'-10' O.A.H.	Yes	
SPECIMEN TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	SIZE	NATIVE	
	BS	5 *	Gumbo Limbo / <i>Bursera simaruba</i>	B & B	18' HT., 7' SPRD, 6" CAL.	Yes	
	CE	28 *	Green Buttonwood / <i>Conocarpus erectus</i>	B & B	16' OAH, 4" CAL	Yes	
	FS	6 *	Strangler Fig / <i>Ficus aurea</i>	B & B	22' - 24' OAH, 12' SPRD	Yes	
	QC	17 *	Cathedral Live Oak / <i>Quercus virginiana</i> 'Cathedral'	B & B	16' OAH, 8' SPRD, 4" CAL	Yes	
	SM	7 *	West Indian Mahogany / <i>Swietenia mahagoni</i>	B & B	16' OAH, 6'-6" SPRD, 4" CAL	Yes	
	TD	17 *	Bald Cypress / <i>Taxodium distichum</i>	B & B	18' OAH, 7' SPRD	Yes	
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
	CR	87 *	Red Tip Cocoplum / <i>Chrysobalanus icaco</i> 'Red Tip'	5 gal	24" HT, 24" SPRD	Yes	36" o.c.
	CLG	459 *	Small-Leaf Clusia / <i>Clusia guiffiera</i>	7 gal	24" HT, 24" SPRD	Yes	36" o.c.
	CAA	479 *	American Beautyberry / <i>Callicarpa americana</i>	3 gal	18" HT, FULL	Yes	24" o.c.
	CHI	812 *	Red Tip Cocoplum / <i>Chrysobalanus icaco</i> 'Red Tip'	3 gal	18" HT, 18" SPRD	Yes	30" o.c.
	CLS	96 *	Small-Leaf Clusia / <i>Clusia guiffiera</i>	3 gal	24" HT, FULL	Yes	30" o.c.
	COV	449	Curlyboy Croton / <i>Codiaeum variegatum</i> 'Curlyboy'	3 gal	14" HT, FULL	Yes	24" o.c.
	CES	523 *	Silver Button Wood / <i>Conocarpus erectus sericeus</i>	3 gal	18" HT, 18" SPRD	Yes	30" o.c.
	CRA	1,376	Seven Sisters / <i>Crinum americanum</i>	1 gal	14" HT, FULL	Yes	18" o.c.
	DIV	1,665	Flax Lily / <i>Dianella tasmanica</i> 'Variegata'	1 gal	14" HT, FULL	No	18" o.c.
	DUE	1,899 *	Gold Mound Duranta / <i>Duranta erecta</i> 'Gold Mound'	3 gal	18" HT, FULL	No	24" o.c.
	HAP	672 *	Fire Bush / <i>Hamelia patens</i>	3 gal	18" HT, 18" SPRD	Yes	30" o.c.
	MUC	1,313	Pink Muhly / <i>Muhlenbergia capillaris</i>	3 gal	18" HT, FULL	Yes	30" o.c.
	MYF	536 *	Simpson's Stopper / <i>Myrcianthes fragrans</i>	3 gal	18" HT, 18" SPRD	Yes	30" o.c.
	NEE	1,440	Boston Fern / <i>Nephrolepis exaltata</i>	1 gal	12" HT, FULL	Yes	18" o.c.
	PSN	522 *	Wild Coffee / <i>Psychotria nervosa</i>	3 gal	18" HT, 18" SPRD	Yes	24" o.c.
	SER	700	Saw Palmetto / <i>Serenoa repens</i>	7 gal	14" HT, FULL	Yes	36" o.c.
	SPB	1,427	Sand Cord Grass / <i>Spartina bakeri</i>	3 gal	18" HT, FULL	Yes	30" o.c.
	TRD	1,395	Fakahatchee Grass / <i>Tripsacum dactyloides</i>	3 gal	24" HT, FULL	Yes	30" o.c.
	TRF	1,249	Florida Gamagrass / <i>Tripsacum floridanum</i>	3 gal	24" HT, FULL	Yes	30" o.c.
	ZAF	2,620	Coontie Palm / <i>Zamia floridana</i>	3 gal	14" HT, FULL	Yes	24" o.c.
TURF AREAS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	SIZE	NATIVE	
	SOD-2	55,110 sf	Bahia Grass / <i>Paspalum notatum</i> 'Argentine'	SOD	FULL	No	
	SOD-1	123,642 sf	St. Augustine Grass / <i>Stenotaphrum secundatum</i> 'Floritam'	SOD	FULL	No	

\* PLANT QUANTITIES INDICATED ABOVE ARE PROVIDED TO MEET THE CODE LANDSCAPE REQUIREMENTS. THESE QUANTITIES ARE REPRESENTED IN THE LANDSCAPE LEGEND.

NO.	REVISION	DATE
1	Zoning Comments #1	3/1/2017
2	Zoning Comments #2	3/29/2017
3		
4		
5		
6		
7		
8		
9		
10		

CONSULTANT:



500 West Cypress Creek Road  
 Ft. Lauderdale, FL 33309  
 954.730.0707  
 www.chenmoore.com

CERTIFICATES OF AUTHORIZATION  
 EB4593 LC26000425

Doral Glades Park  
 Section 8, Township 53 South, Range 40 East  
 City of Doral, Miami, Florida

CPZ ARCHITECTS, INC.  
 4316 WEST BROWARD BOULEVARD  
 PLANTATION, FLORIDA 33317  
 PHONE: (954) 792-8525 FAX: (954) 337-0359  
 AA 12600065 WWW.CPZARCHITECTS.COM



DRAWING TITLE:  
 LANDSCAPE  
 SCHEDULES AND  
 SPECIFICATIONS

DRAWN: MSB  
 CHECKED: CAB  
 DATE: 03-01-2017  
 SCALE: AS SHOWN  
 PROJECT NO. 1514  
 SHEET:

L3.04

CRISTOBAL A. BETANCOURT, RLA  
 REGISTRATION NO. 6666941

DATE: 03-01-2017





May 17, 2017

Planning and Zoning  
Department

Chris Zimmerman  
CPZ Architects, Inc  
4316 West Broward Boulevard  
Plantation, FL 33317

**Re:** Doral Glades Park

**Project:** Doral Glades Park Site Plan (2016120008) (129)

**Location:** 9775 NW 74<sup>th</sup> Street, Doral, FL

**Folio#:** 35-3008-000-0045/0050

**Plans:** Plans entitled "Doral Glades Park" prepared by CPZ Architects, Inc. – Architect, P.A. dated stamped received April 5, 2017, consisting of 116 sheets

**Requests:** Site plan review for a park consisting of a nature center with approximately 9,678.34 square feet, one beach volleyball court, two basketball courts, and two tennis courts, a 12.5 acre retention lake, a 3.36 acre wetlands preserve, and rental pavilions. The entire site consists of 21.48 acres.

Dear Mr. Zimmerman,

The Staff of Planning and Zoning and Public Works Departments have reviewed the submitted site plan as a required condition of approval and have granted approval subject to the following conditions.

1. Applicant must submit separate plans for Entrance Feature.
2. The proposed project shall be built in substantial conformance with the plans entitled "Doral Glades Park" prepared by CPZ Architects, Inc. – Architect, P.A. consisting of 116 sheets, dated stamped received April 5, 2017, as amended.
3. The Property shall be landscaped in accordance with the landscape plan, prepared by Chen-Moore & Associates., dated stamp received April 5, 2017, as amended, and included with the site plan submittal.
4. Trip Generation and/or Traffic Study approval is required.
5. The proposed drainage within the park should not be interconnected with the proposed drainage on NW 77 Terrace. Drainage areas should also be kept independent.
6. Approval from Division of Environmental Resources Management (DERM) is required prior to site plan approval. If DERMs' requirements result in a modification to the approved administrative site plan, which may include but is not limited to, the layout of proposed parking field, the Applicant will be fully responsible to meet those requirements prior to building permit approval.
7. Approval from Miami Dade County Fire Department is required at time of building permit.



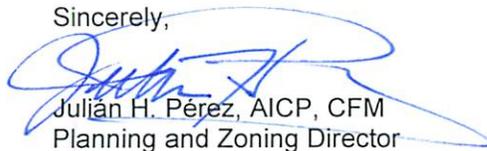
8. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
9. The project should make every effort to incorporate the Low Impact Development (LID) practices in the project design consistent with Section 74-881 of the Land Development Code.
10. Project shall meet the City's Green Ordinance requirements in Chapter 63 of the Land Development Code.
11. Project shall meet the requirements of the City's Floodplain Management Ordinance. Project team should contact the City's Floodplain Administrator to review the requirements of the Floodplain Management Ordinance.
12. The Applicant shall provide a Construction Air Quality Management Plan to the Department prior to the start of construction.
13. A Stormwater Pollution Prevention Plan (SPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where top soil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
14. All stormwater shall be retained on site in accordance with applicable law.
15. All stormwater drainage systems shall be maintained in working conditions at all times in order to avoid localize flooding during and after a storm.
16. The Applicant shall preserve existing trees (including native trees) during the development of the project, wherever possible. If the trees must be removed, the Applicant shall be required to mitigate the impact in accordance with DRER requirements. If the relocated trees do not survive, the Applicant shall be required to replace the trees in compliance with DRER requirements.
17. All applicable local, state and federal permits must be obtained before commencement of the development.
18. The Applicant shall comply with applicable conditions and requirements provided by Miami-Dade County Public Works Department, Water and Sewer Department, Fire Rescue Department, and Regulatory and Economics Resources (DRER) prior to issuance of building permit.



19. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP) Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.
20. Parking shall be prohibited on top of any drainage inlet on drainage manhole.
21. The Applicant shall meet the requirements of the Miami-Dade County Water-Use Efficiency Standards Manual, effective January 2009, as may be amended from time to time.
22. The hours of operation during the construction shall adhere to as per Noise Ordinance No. 2011-01.
23. Noncompliance with the approved site plan and the terms of this approval shall be considered a violation of the City Code.

This letter serves as formal notification that the site plan is not approved until DERM approval is received. If you have any questions or concerns please feel free to contact this office at 305-593-6630.

Sincerely,



Julian H. Pérez, AICP, CFM  
Planning and Zoning Director

Cc: Jorge Gomez, P.E, Public Works Director  
Michael P. Ferrera, CFM, Development Review Coordinator