

RESOLUTION No. 24-223

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR MIA 102 AVE HOSPITALITY, FOR THE PROPERTY LOCATED AT 10234 NW 19 STREET, DORAL, FLORIDA, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Chapter 53 "Administration", Article III. Development Procedures, Sec. 53-184(f) of the City's Land Development Code, establishes the site plan review and approval procedures for the Mayor and City Council to review and approve the site plan; and

WHEREAS, MIA 102nd Ave Hospitality (the "Applicant") is seeking site plan approval for the property located at 10234 NW 19 Street, further identified by the Miami-Dade County Property Appraiser by Folio No. 35-3032-034-0020 (the "Property"), as legally described in "Exhibit A" (the "Project"); and

WHEREAS, City staff finds that the proposed site plan, attached hereto as "Exhibit B," complies with the requirements and standards of the City's Land Development Code and Comprehensive Plan; and

WHEREAS, a zoning workshop was held on April 17, 2024, during which the public was afforded an opportunity to examine the Project and provide feedback; and

WHEREAS, the City Council reviewed the site plan application, the written and oral recommendations of the Planning and Zoning Department, including the recommended conditions, and hereby finds competent substantial evidence to find the site plan is in compliance with the City's Comprehensive Plan and Land Development Regulations, and that the site plan maintains the basic intent and purpose of the zoning, subdivision or other

land use regulations, which is to protect the general welfare of the public, and further finds that the site plan application should be granted.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

Section 1. Recitals. The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

Section 2. Findings and Conclusions. Based upon an analysis of the site plan application and standards for approval of a site plan under the City's Land Development Regulations, the City Council hereby finds and concludes that the Applicant's request for site plan, as more particularly set forth in "Exhibit B," is in compliance with the Comprehensive Plan and the Land Development Regulations of the City, and there is substantial competent evidence to support approval of the Application.

Section 3. Approval. The Mayor and City Council hereby approve the site plan for Hyatt House, for the property located at 10234 NW 19 Street, further identified by folio number 35-3032-034-0020, as legally described in "Exhibit A." The proposed site plan comprises of a 6-story hotel with 124 hotel rooms featuring amenities such as a pool, breakfast buffet, lounge, and fitness center, including retail space with a restaurant and a pub. A copy of the site plan is provided in "Exhibit B." The approval of the site plan is subject to the following conditions:

1. The Project shall be built in substantial compliance with the plans entitled "Hyatt House," prepared by RBA, dated stamped received February 21, 2024.

2. The Project shall be landscaped in accordance with the landscape plan, signed by Michael J. Phillips, LA, dated stamped received February 21, 2024, as amended, and included with the site plan submittal.
3. The Applicant shall comply with Ordinance No. 2015-09 "Public Arts Program," as amended, at the time of building permit (if applicable).
4. The Applicant shall comply with Chapter 63, "Green Building Incentives," of the City's Land Development Code at the time of building permit (if applicable).
5. The Applicant shall comply with the City's Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City's Code.
6. The Applicant shall provide the Building Department a certified drainage inspection report prior to the issuance of a certificate of occupancy.
7. The property owner shall maintain the landscaping within the public rights-of-way adjacent to the property. Maintenance includes trees, plants, sod, and other landscape material.
8. The Applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed, and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
9. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP), Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.
10. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."

11. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
12. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.
13. All applicable local, state and federal permits must be obtained before commencement of the development.
14. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

Section 4. Effective Date. This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Vice Mayor Puig-Corve who moved its adoption. The motion was seconded by Councilmember Pineyro and upon being put to a vote, the vote was as follows:

Mayor Christi Fraga	Yes
Vice Mayor Oscar Puig-Corve	Yes
Councilwoman Digna Cabral	Yes
Councilman Rafael Pineyro	Yes
Councilwoman Maureen Porras	Yes

PASSED AND ADOPTED this 11 day of September, 2024.



CHRISTI FRAGA, MAYOR

ATTEST:



CONNIE DIAZ, MMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



LORENZO COBIELLA
GASTESI, LOPEZ & MESTRE, PLLC
CITY ATTORNEY

EXHIBIT “A”

Legal Description – Proposed Hyatt House

TRACT 'B', "GREAT SPRINGS AT I.C.P.", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 158, PG. 94, OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA. SECTION 32, TOWNSHIP 53 SOUTH, RANGE 40 EAST, LESS THE WEST 267.34 FEET THEREOF.

EXHIBIT “B”

RECEIVED
By Stephanie Puglia at 9:55 am, Feb 21, 2024

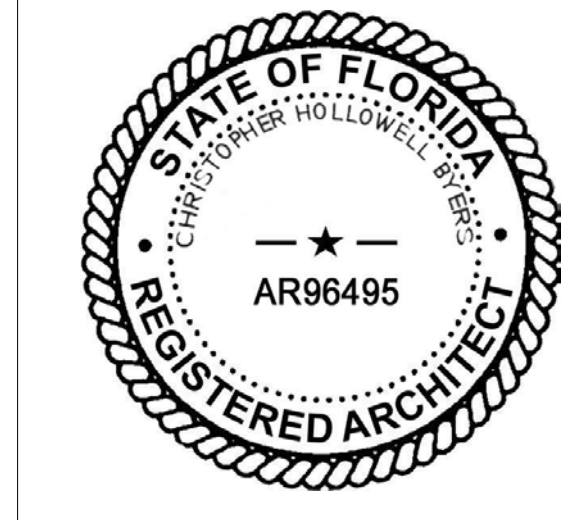
LEVEL	AREA
Level 01	14509.89 SF
Level 02	14949.14 SF
Level 03	14949.14 SF
Level 04	14949.14 SF
Level 05	14949.14 SF
Level 06	14949.14 SF
Grand total	89255.59 SF

GUESTROOM COUNT	
NAME	COUNT
Level 01	
ACC. KING ONE-BEDROOM ROLL IN (HI)	1
KING SHOTGUN STUDIO	1
KING ONE-BEDROOM (HI)	1
QUEEN/QUEEN SHOTGUN STUDIO B	1
QUEEN/QUEEN STUDIO	1
QUEEN/QUEEN ONE-BEDROOM	1
Level 01: 6	6
Level 02	
ACC. KING SHOTGUN STUDIO ROLL IN	1
KING ONE-BEDROOM	2
KING SHOTGUN STUDIO	6
KING STUDIO	2
KING STUDIO (HI)	1
ACC. QUEEN/QUEEN ONE BEDROOM TUB	1
QUEEN/QUEEN ONE-BEDROOM	1
QUEEN/QUEEN SHOTGUN STUDIO	2
QUEEN/QUEEN SHOTGUN STUDIO B	1
QUEEN/QUEEN STUDIO	5
QUEEN/QUEEN STUDIO TUB	1
Level 02: 24	24
Level 03	
QUEEN/QUEEN STUDIO	1
ACC. QUEEN/QUEEN SUITE	1
QUEEN/QUEEN ONE-BEDROOM (HI)	1
QUEEN/QUEEN ONE-BEDROOM TUB	1
QUEEN/QUEEN SHOTGUN STUDIO	2
QUEEN/QUEEN SHOTGUN STUDIO B	1
QUEEN/QUEEN STUDIO	4
QUEEN/QUEEN STUDIO TUB (HI)	1
Level 03: 23	23
Level 04	
QUEEN/QUEEN STUDIO	1
ACC. KING SUITE	1
KING ONE-BEDROOM	2
KING SHOTGUN STUDIO	4
KING SHOTGUN STUDIO (HI)	1
KING STUDIO	3
MOD. QUEEN/QUEEN SHOTGUN STUDIO TUB	1
QUEEN/QUEEN ONE-BEDROOM	1
QUEEN/QUEEN ONE-BEDROOM TUB	1
QUEEN/QUEEN SHOTGUN STUDIO	1
QUEEN/QUEEN SHOTGUN STUDIO (HI)	1
QUEEN/QUEEN SHOTGUN STUDIO (HI)	1
QUEEN/QUEEN SHOTGUN STUDIO B	1
QUEEN/QUEEN STUDIO	4
QUEEN/QUEEN STUDIO TUB	1
Level 04: 23	23

GUESTROOM COUNT	
NAME	COUNT
Level 05	
KING ONE-BEDROOM	1
KING ONE-BEDROOM (HI)	1
KING SHOTGUN STUDIO	6
KING STUDIO	3
ACC. QUEEN/QUEEN STUDIO TUB	1
MOD. QUEEN/QUEEN SHOTGUN STUDIO TUB (HI)	1
QUEEN/QUEEN ONE-BEDROOM	1
QUEEN/QUEEN ONE-BEDROOM TUB	1
QUEEN/QUEEN SHOTGUN STUDIO	2
QUEEN/QUEEN SHOTGUN STUDIO B	1
QUEEN/QUEEN STUDIO	5
QUEEN/QUEEN STUDIO TUB	1
Level 05: 24	24
Level 06	
ACC. KING STUDIO TUB	1
KING ONE-BEDROOM	1
KING ONE-BEDROOM (HI)	1
KING SHOTGUN STUDIO	6
KING STUDIO	3
MOD. QUEEN/QUEEN SHOTGUN STUDIO TUB	1
QUEEN/QUEEN ONE-BEDROOM	1
QUEEN/QUEEN ONE-BEDROOM (HI)	1
QUEEN/QUEEN SHOTGUN STUDIO	2
QUEEN/QUEEN SHOTGUN STUDIO B	1
QUEEN/QUEEN STUDIO	5
QUEEN/QUEEN STUDIO TUB	1
Level 06: 24	24
Grand total: 124	124

ADA GUESTROOMS	
ROOM #	ROOM NAME
Level 01	
124	ACC. KING ONE-BEDROOM ROLL IN (HI)
Level 02	
203	ACC. KING SHOTGUN STUDIO ROLL IN
224	ACC. QUEEN/QUEEN ONE BEDROOM TUB
Level 03	
303	ACC. QUEEN/QUEEN SHOTGUN STUDIO TUB
324	ACC. QUEEN/QUEEN SUITE
Level 04	
424	ACC. KING SUITE
Level 05	
524	ACC. QUEEN/QUEEN STUDIO TUB
Level 06	
624	ACC. KING STUDIO TUB
Grand total: 8	
HEARING IMPAIRED GUESTROOMS	
ROOM #	ROOM NAME
Level 01	
124	ACC. KING ONE-BEDROOM ROLL IN (HI)
125	KING STUDIO (HI)
Level 02	
223	QUEEN/QUEEN STUDIO (HI)
225	KING STUDIO (HI)
Level 03	
311	QUEEN/QUEEN STUDIO TUB (HI)
321	QUEEN/QUEEN ONE-BEDROOM (HI)
Level 04	
402	QUEEN/QUEEN SHOTGUN STUDIO (HI)
404	KING SHOTGUN STUDIO (HI)
Level 05	
503	MOD. QUEEN/QUEEN SHOTGUN STUDIO TUB (HI)
508	KING ONE-BEDROOM (HI)
Level 06	
608	KING ONE-BEDROOM (HI)
620	QUEEN/QUEEN ONE-BEDROOM (HI)
Grand total: 12	

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122-B W. BLAND ST.
CHARLOTTE, NC 28203
704.344.9098



HYATT HOUSE DORAL
DORAL, FL

BAYWOOD HOTELS
3785 NW 82 AVE
DORAL, FL 33166

DESIGN DEVELOPMENT

ISSUE DATE: 02/14/2024

CURRENT REVISION

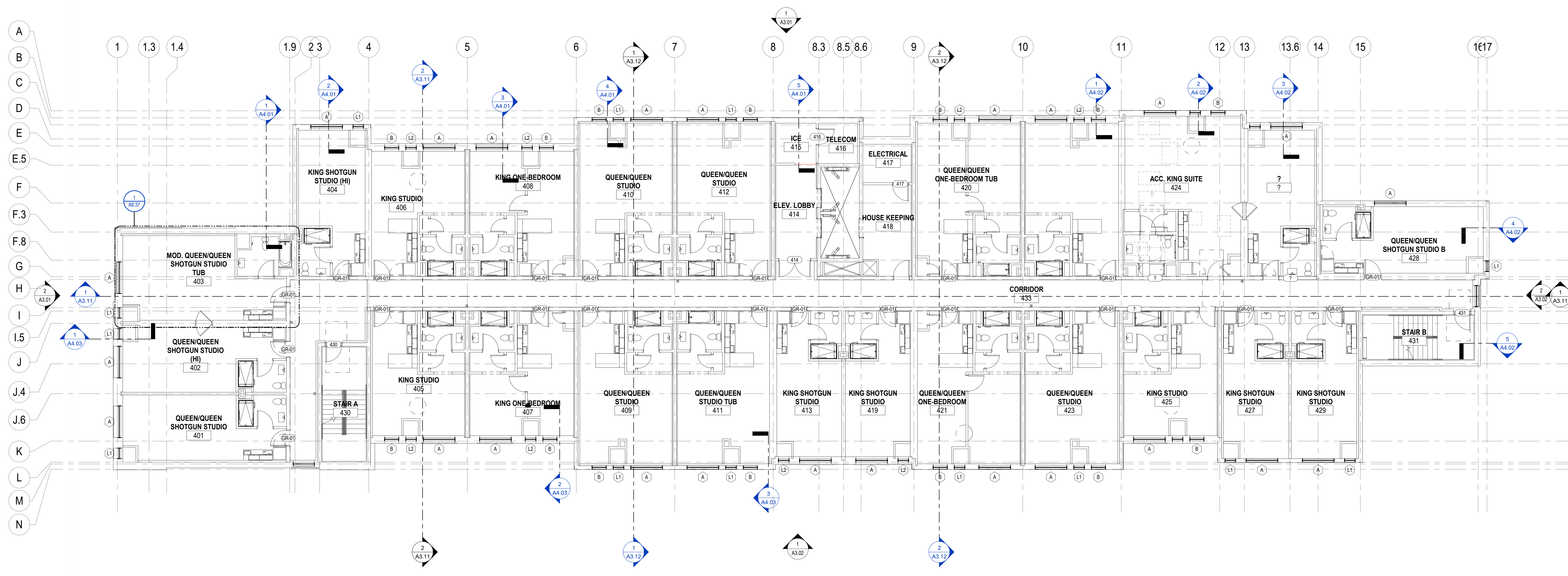
No.	Description	Date

PROJECT NUMBER: 23-2232

LEVEL 04 FLOOR PLAN

A2.04

2/15/2024 5:12:15 PM

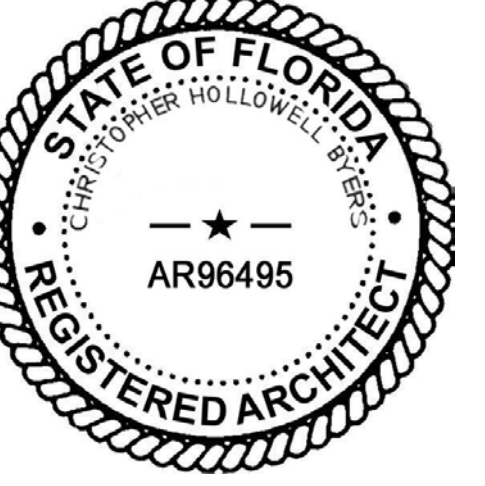


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1 LEVEL 04 FLOOR PLAN
A2.04 | 1/8" = 1'-0"

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No.	Description	Date

PROJECT NUMBER: 23-2232

BUILDING ELEVATIONS

A3.01

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ELEVATION NOTES

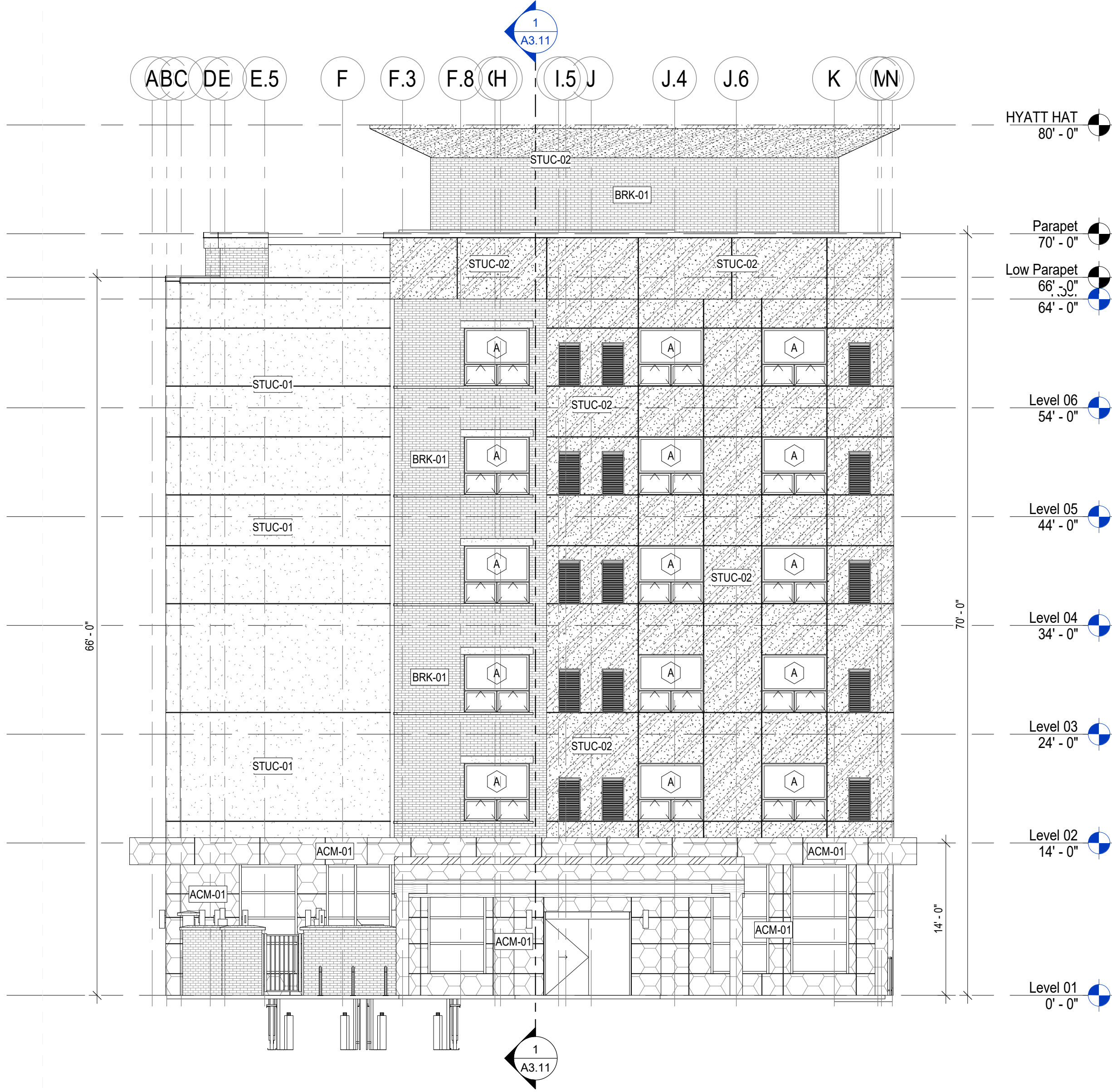
- CONTRACTOR TO COORDINATE LOCATION OF KNOX-BOX WITH FIRE MARSHAL FOR STREET LEVEL ENTRANCE & PER LOCAL CODES. KNOX-BOX TO BE FULLY RECESSED IF ALLOWED BY LOCAL CODES.
- ALL EXTERIOR HOSE BIBS ARE TO BE RECESSED. FROST PROOF TYPE WITH LOCKABLE ACCESS DOOR & NUT KEYED HANDLE. NICKEL BRONZE IN COLOR.
- ALL EXTERIOR OUTLETS TO BE GFI. RECESSED TYPE WITH APPROVED, WATERPROOF & LOCKABLE COVER PLATE.
- COORDINATE EXTERIOR LOUVERS WITH MECHANICAL DRAWINGS AND MANUFACTURER'S WRITTEN SPECIFICATIONS.
- LOUVERS ARE TO MATCH ADJACENT FINISH.
- STUCCO SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS, STANDARDS AND RECOMMENDATIONS. PROVIDE FULLY DRAINABLE SYSTEM.
- SEALANTS AT ALL GLAZING, DOORS & LOUVERS SHALL MATCH THE COLOR OF THE SYSTEM BEING USED AND APPROVED TO BE COMPATIBLE WITH ALL ADJACENT MATERIALS.
- ALL ALUMINUM COPING TO BE PRE-FINISHED AND INSTALLED WITH HIDDEN CLIPS OVER CONTINUOUS TPO MEMBRANE UNDERLAYMENT TO CAP SHEATHING FRAMING.
- ALL EXPOSED FOUNDATIONS TO BE COVERED WITH E.I.F.S FINISHED TOP-COAT. NO EXPOSED FOUNDATION SURFACES ALLOWED.
- CONTRACTOR TO COORDINATE BRICK VENEER SHELF ANGLE SUPPORTS OVER 30- FEET IN LENGTH AND SET CONTINUOUS WITH TYPICAL HEAD HEIGHT OF WINDOW WITHIN BRICK TO CREATE A CONSISTENT BRICK SEAM.
- ALL BRICK LINTELS ARE TO BE GALVANIZED, PRIMED ON ALL SIDES AND PAINTED TO MATCH COLOR OF ADJACENT BRICK OR HEADER.
- ALL COPING TO TURN DOWN FACE OF WALL/PARAPET 6" WITH CONTINUOUS ROLLED HEMMED DRY EDGES I.I.C.O.
- SUBMIT SHOP DRAWINGS FOR ALL WALL PANEL LAYOUTS INCLUDING COMPOSITE METAL PANELS, FIBER CEMENT PANELS, ETC. AS APPLICABLE.

EXTERIOR MATERIALS

- BRK-01 BELDEN BRICK, BEAVER BLEND COLOR, SEMI-SMOOTH
- STUC-01 STUCCO, LIMESTONE TEXTURE WITH 10308 PEARL 86 COATING
- STUC-02 STUCCO, LIMESTONE TEXTURE WITH HAMMERED METALIC COATING
- ACM-01 COMPOSITE METAL PANEL
- STN-01 ACCENT BAND CAST STONE

FACADE SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY.
- MAXIMUM 3/4" THICK EXTERIOR GRADE PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATION. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120 V. 1714 REQUIREMENTS.
- RACEWAYS WIREWAYS ARE NOT ALLOWED.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL PENETRATION. LAYOUT MUST BE OBTAINED FROM THE SIGN COMPANY.



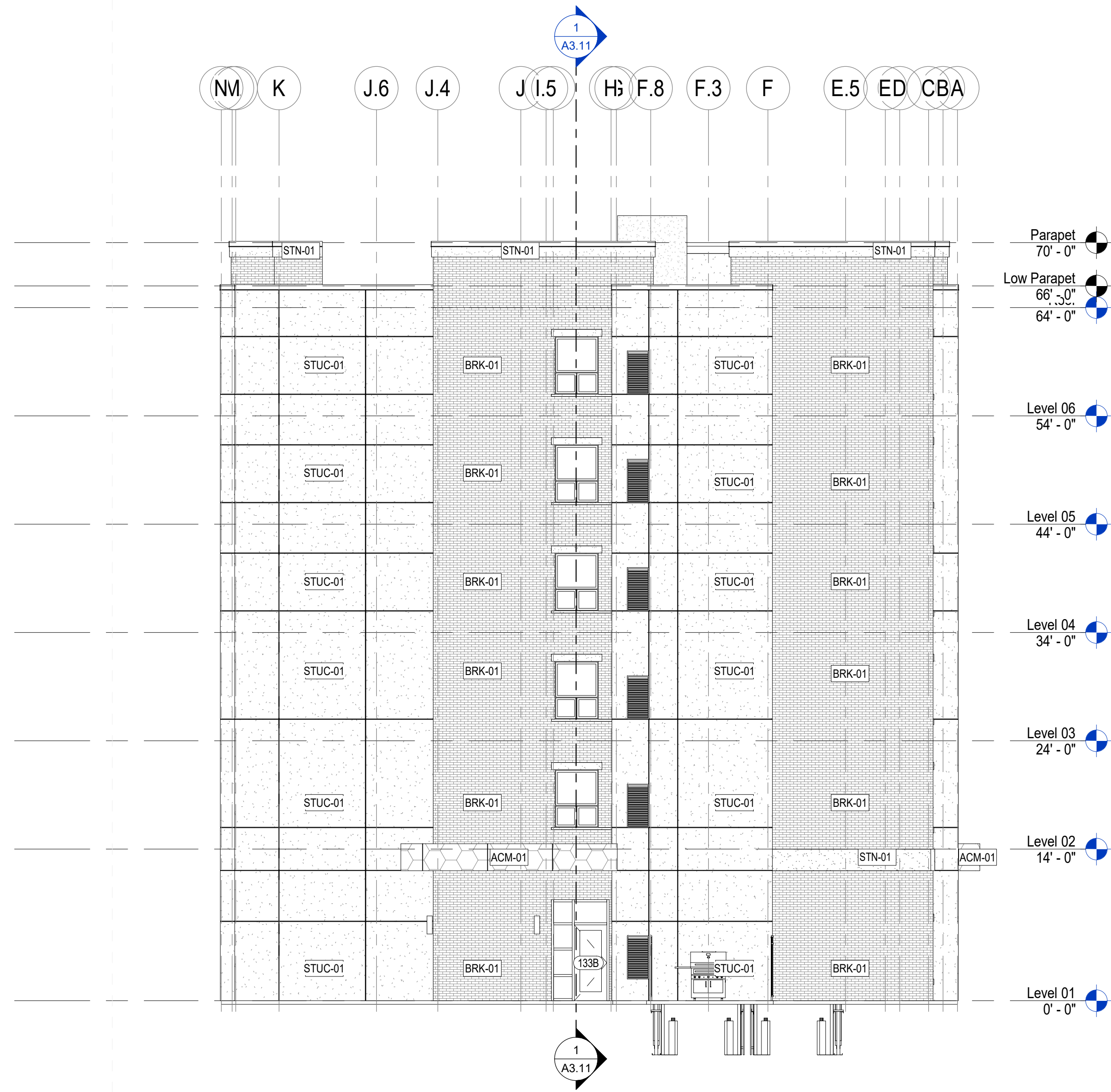
2 ENTRY ELEVATION
A3.01 1/8" = 1'-0"



1 NORTH ELEVATION
A3.01 1/8" = 1'-0"

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2 EAST ELEVATION
A3.02 1/8" = 1'-0"



1 SOUTH ELEVATION
A3.02 1/8" = 1'-0"

ELEVATION NOTES

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BUILDING ELEVATIONS

A3.02

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- EXTERIOR MATERIALS**
- BRK-01 BELDEN BRICK, BEAVER BLEND COLOR, SEMI-SMOOTH
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 - STUC-02 STUCCO, LIMESTONE TEXTURE WITH HAMMERED METALIC COATING
 - ACM-01 COMPOSITE METAL PANEL
 - STN-01 ACCENT BAND CAST STONE

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DESIGN DEVELOPMENT

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No.	Description	Date

PROJECT NUMBER: 23-2232

BUILDING ELEVATIONS - ILLUSTRATED

A3.03

2/15/2024 4:23:03 PM

ABC DE E.5 F F.3 F.8 (H) (I.5) J J.4 J.6 K (N)



2 ENTRY ELEVATION - COLORED
A3.03 1/8" = 1'-0"

1716 15 14 13.6 13 12 11 10 9 8.6 8.5 8.3 8 7 6 5 4 3 (1.9) 1.4 1.3 1



1 NORTH ELEVATION - COLORED
A3.03 1/8" = 1'-0"

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-  STUC-02 STUCCO, LIMESTONE TEXTURE WITH HAMMERED METALIC COATING
-  ACM-01 COMPOSITE METAL PANEL
-  STN-01 ACCENT BAND CAST STONE

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DESIGN DEVELOPMENT

ISSUE DATE: 02/14/2024

CURRENT REVISION

No.	Description	Date

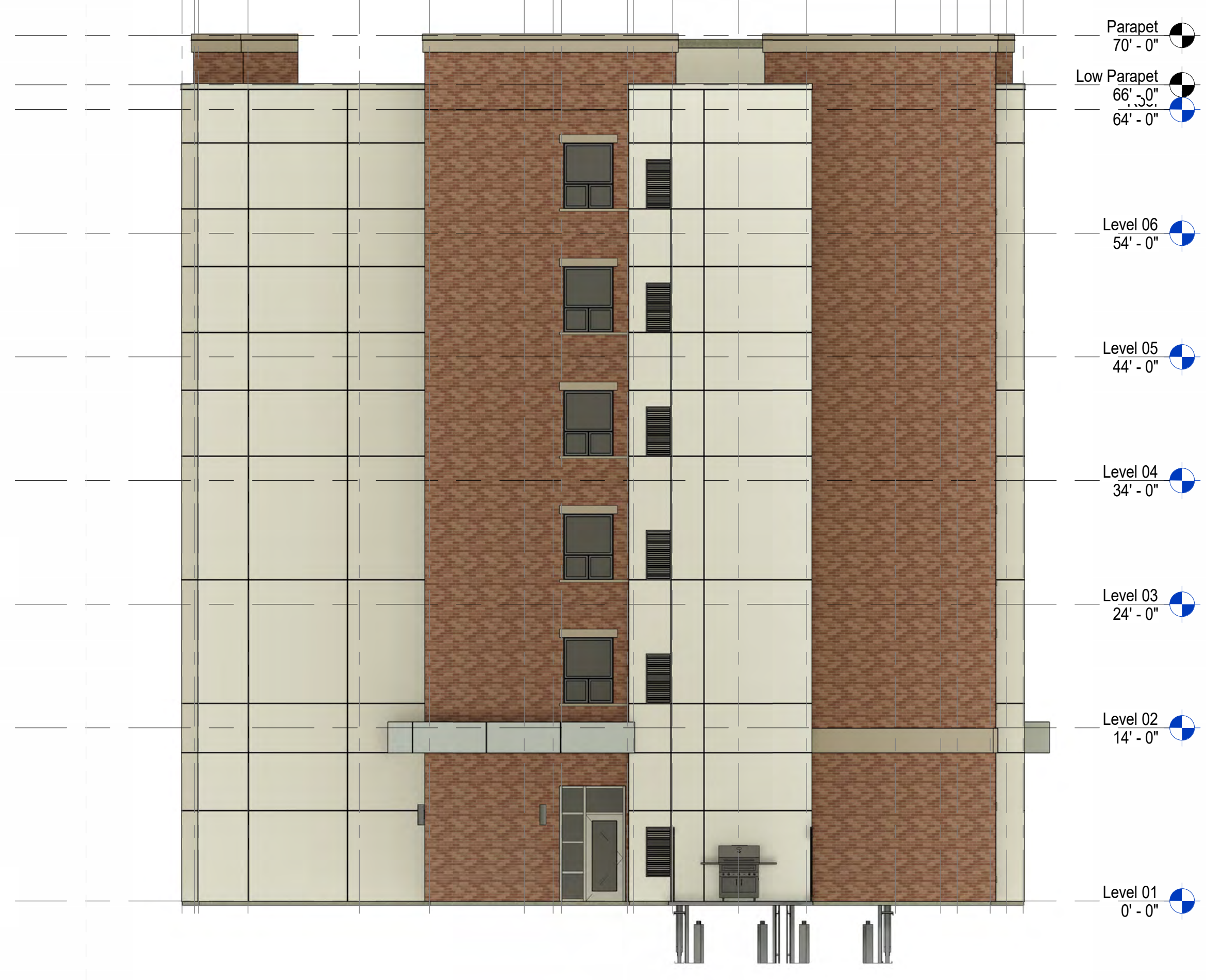
PROJECT NUMBER: 23-2232

BUILDING ELEVATIONS - ILLUSTRATED

A3.04

2/15/2024 4:23:21 PM

NM K J.6 J.4 J.1.5 H.8 F.8 F.3 F E.5 ED CBA



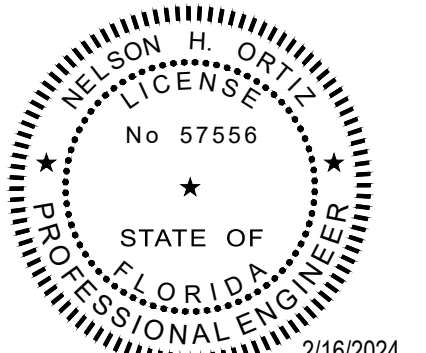
2 EAST ELEVATION - COLORED
A3.04 1/8" = 1'-0"

1 1.3 1.4 1.9 3 4 5 6 7 8 8.3 8.5 8.6 9 10 11 12 13 13.6 14 15 1E17



1 SOUTH ELEVATION - COLORED
A3.04 1/8" = 1'-0"

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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
PE-57556

PROJECT TITLE:

HYATT HOUSE
10234 NW 19 STREET
DORAL, FLORIDA
Folio No.

BAYWOOD HOTEL
3785 N.W. 82nd AVENUE, SUITE 204
MIAMI, FLORIDA 33166

NO. DATE REVISIONS BY

PROJECT INFORMATION:

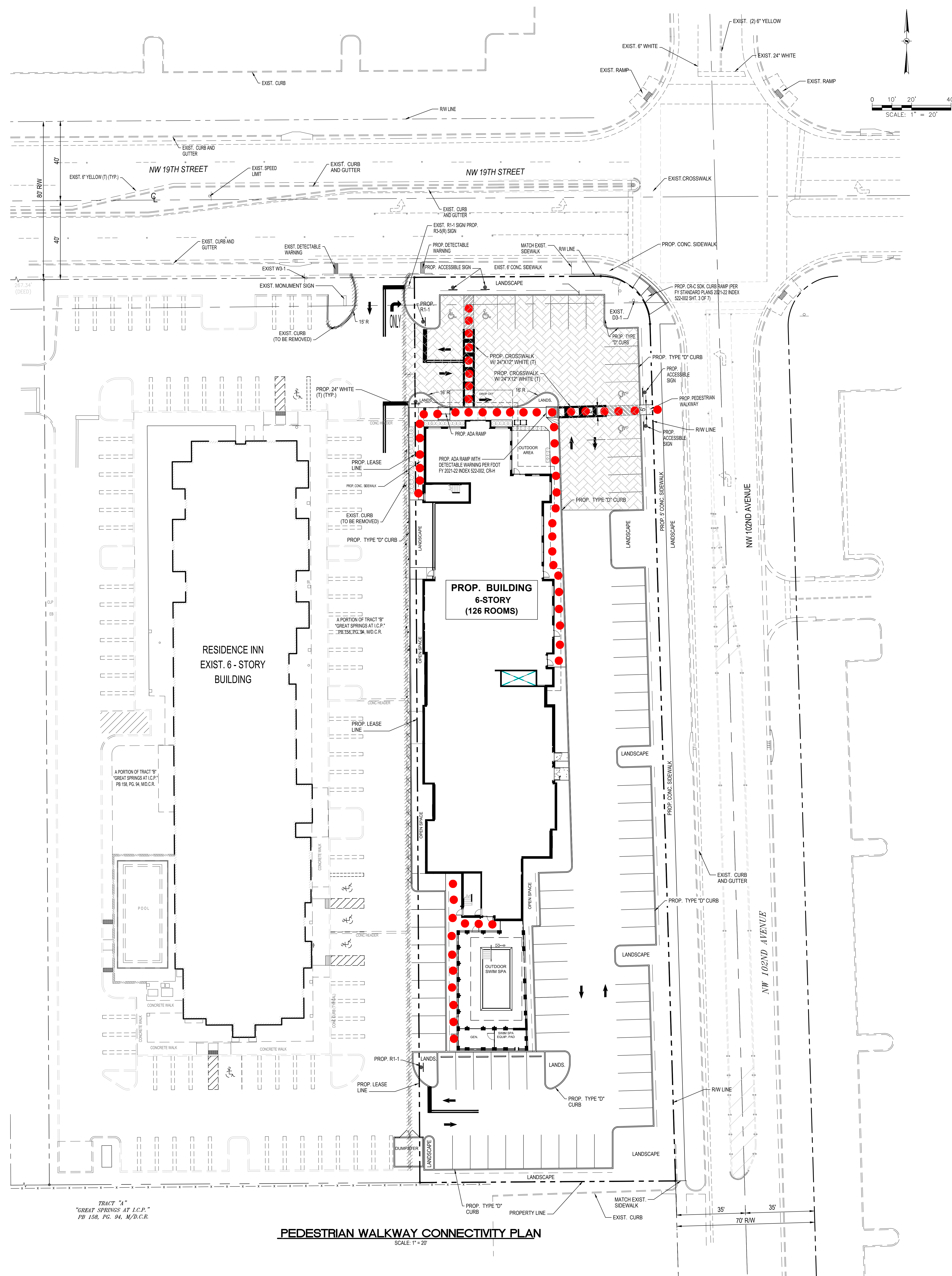
PROJECT NUMBER: 2023-7020
DATE: 09-21-2023
DRAWN BY: ZH
CHECKED BY: T.G
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE:

PEDESTRIAN WALKWAY CONNECTIVITY PLAN AND NOTES

SHEET NUMBER:

C-1.1



PEDESTRIAN WALKWAY CONNECTIVITY PLAN
SCALE: 1" = 20'

ADA COMPLIANCE NOTES

- THIS SET OF DOCUMENTS HAS BEEN DESIGNED TO COMPLY WITH FBC 7TH EDITION (2020) AND THE 2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND PER APPLICABLE FOOT INDEXES 304, 310 & 515. ALL RELATED SECTIONS OF THE CODE ARE NOTED WITHIN THESE DOCUMENTS AND STRICT COMPLIANCE IS REQUIRED BY ALL CONSTRUCTION TRADES. CONSTRUCTION QUALITY AND COMPLIANCE OF THE FINAL PRODUCT ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL ACCESSIBLE ROUTES MUST NOT EXCEED A SLOPE OF 1:20 (5.00%). CURB CUT RAMPS AND RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.33%). RAMPS THAT EXCEED 6 FEET IN LENGTH REQUIRE HANDRAILS. ALL CROSS SLOPES MUST NOT EXCEED A SLOPE OF 1:50 (2.00%). RAMPS MUST ALSO COMPLY WITH FBC BUILDING 1010 AND FBC ACCESSIBILITY 405.
- PLANTERS, TREE GRATES AND OTHER ELEMENTS MUST BE FLUSH AND ADA COMPLIANT. PAVERS ON PEDESTRIAN PATH MUST BE FLUSH, FIRM, STABLE AND HAVE NO OPEN JOINTS.
- ALL DETECTABLE WARNINGS TO BE IN ACCORDANCE WITH MIAMI-DADE COUNTY ARTICLE 527 TESTED MATERIAL, TYPE & COLOR, LATEST EDITION (7/7/16).

ADA LEGEND

● ● ● PEDESTRIAN WALKWAY PATH

- IT IS SOLELY THE CONTRACTORS RESPONSIBILITY TO ENSURE PROPER ADA GRADING FOR ALL REQUIRED ADA ACCESSIBLE ROUTES AND ADA PARKING LOCATIONS.

PAVING-GRADING-DRAINAGE NOTES

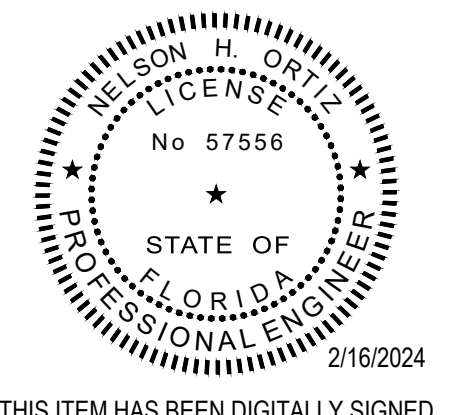
- HORIZONTAL AND VERTICAL CONTROL POINTS SHALL BE PROVIDED BY THE OWNER. ALL CONSTRUCTION LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SHALL PAY FOR ALL RESETTING OF CONTROL POINTS.
- GRADING SHALL CONSIST OF ALL EXCAVATION, FILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL SUBGRADE SHOULDERS, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER AREAS, ALL IN ACCORDANCE WITH THE ALIGNMENTS AND GRADES SHOWN IN THESE DRAWINGS.
- DRAINAGE STRUCTURES SHALL BE AS DETAILLED IN THESE DRAWINGS. DRAINAGE PIPE TO BE CORRUGATED POLYETHYLENE.
- ASPHALTIC PAVEMENTS SHALL CONSIST OF COMPACTED SUBGRADE, PRIMED COMPACTED LIMEROCK SUBBASE AND TYPE S-3 ASPHALTIC CONCRETE, AS SHOWN IN THESE DRAWINGS.
- WHERE APPLICABLE, SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- CONCRETE CURB, SIDEWALK AND SLABS SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE, AS SHOWN IN THESE DRAWINGS.
- ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60.
- ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH UNLESS OTHERWISE DIRECTED. SEE ARCHITECTURAL DRAWINGS FOR WALKWAY FINISHES.
- TESTING LABORATORY SHALL BE RETAINED BY THE OWNER TO VERIFY SPECIFIED COMPACTION DENSITY AND CONCRETE STRENGTH. FAILURE OF ANY TESTING TO MEET SPECIFIED REQUIREMENTS SHALL BE DEEMED NON-COMPLYING.
- ALL STRIPPING SHALL MEET THE REQUIREMENTS OF MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC DEVICES.



Graef-USA Inc.
9400 South Dadeland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4533 fax
www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
PE-57556

PROJECT TITLE:

HYATT HOUSE
10234 NW 19 STREET
DORAL, FLORIDA
Folio No.

BAYWOOD HOTEL
3785 N.W. 82nd AVENUE, SUITE 204
MIAMI, FLORIDA 33166

NO. DATE REVISIONS BY
1 02-26-24 ADDRESS CITY COMMENTS

LEGEND

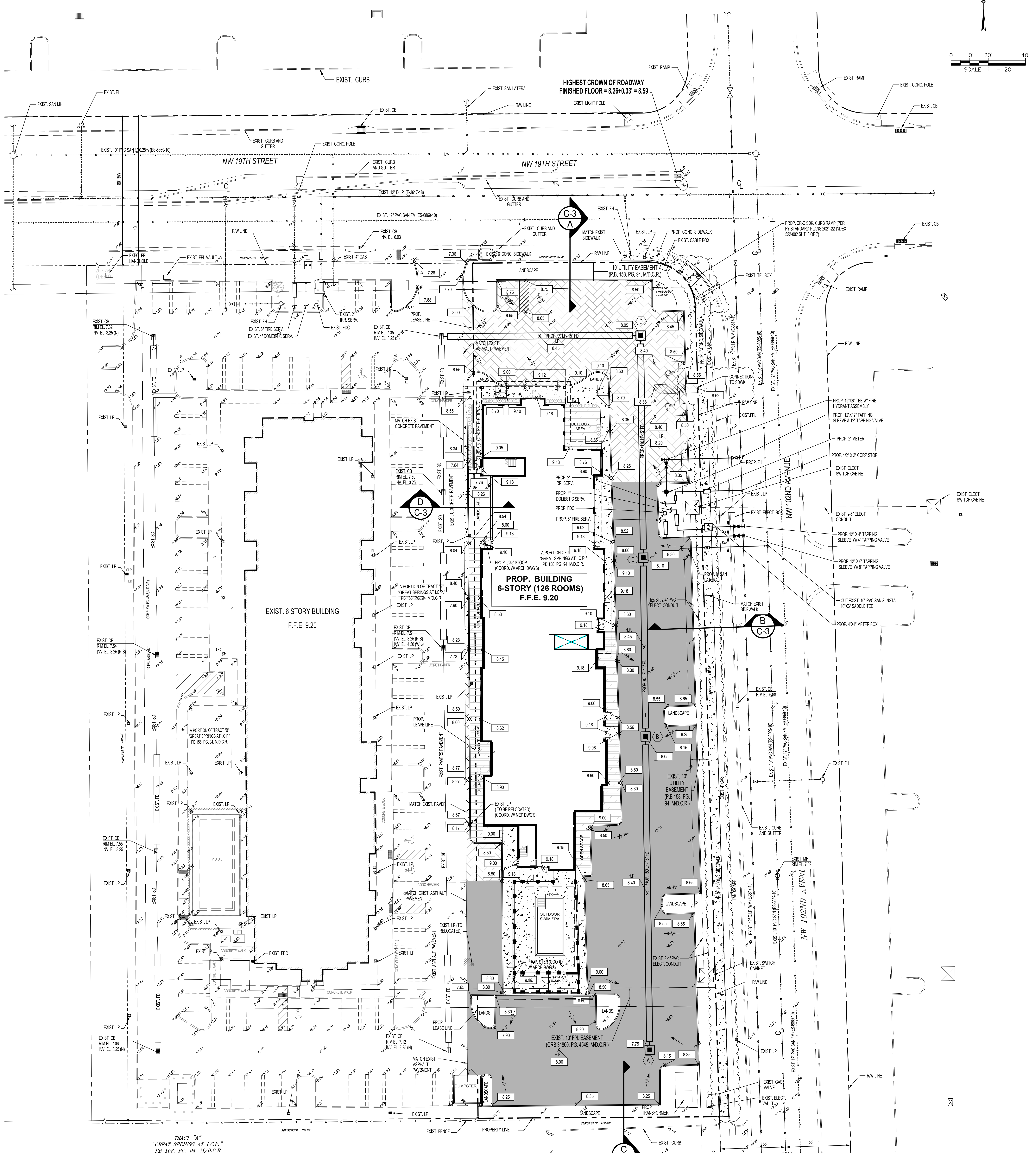
- | | | | |
|--|--|--|---------------------------|
| | EXISTING PAVEMENT TO REMAIN | | NEW STORM DRAINAGE PIPE |
| | NEW ASPHALTIC PAVEMENT | | EXIST. STORM PIPE |
| | CONCRETE SIDEWALK/PAVEMENT | | EXIST. WATER |
| | PAVER AREA HAVING A SOLAR REFLECTIVE INDEX (SPI) OF 28 OR GREATER (0.000, W/ HIGH) | | EXIST. SAN |
| | OPEN SPACE/PERVIOUS AREA (COORD. W/ ARCH) | | PROP. WATER |
| | EXISTING SPOT ELEVATION | | PROP. SAN |
| | NEW SPOT ELEVATION | | PROP. PRIVATE CATCH BASIN |
| | | | PROP. CURB INLET |
| | | | NEW INFILTRATION TRENCH |
| | | | FLOW ARROW |

FLOODPLAIN LEGEND	
FLOOD ZONE:	AH
BASE FLOOD ELEVATION (BFE):	8 FEET
FLOOD INSURANCE RATE MAP (FIRM PANEL):	PANEL NUMBER 120802028L
HIGH & LOW ELEV. OF BACK OF SIDEWALK (N.W. 19TH ST/N.W. 102ND AVE):	LOW = 8.00 HIGH = 7.71
AVERAGE BACK OF SIDEWALK (N.W. 19TH ST/N.W. 102ND AVE):	7.52 + 8.00 + 8.00 THEREFORE 8.00 + 1' + 8.00'
HIGH & LOW ELEV. OF THE CROWN OF ROAD (W/ 19TH ST):	HIGH EL. 6.01 FEET (NGVD) LOW EL. 6.04 FEET (NGVD)
HIGH & LOW ELEV. OF THE CROWN OF ALL ROAD (N.W. 102ND AVE):	HIGH EL. 8.28 FEET (NGVD) LOW EL. 7.41 FEET (NGVD)
AVERAGE ELEV. OF THE CROWN OF ALL ROADS (N.W. 19TH ST/N.W. 102ND AVE):	8.09 FEET (NGVD)
LOWEST FLOOR ELEV.:	9.20 FEET (NGVD)
PROPOSED GARAGE FLOOR ELEV.:	NA
PROPOSED LOWEST ELEV. OF POOL EQUIPMENT:	9.20 FEET (NGVD)
PROPOSED ELEV. OF COLLECTOR RM:	9.09 FEET (NGVD)

- NOTES**
- TYPE OF FUEL OF GENERATOR IS NATURAL GAS UNDER SEPARATE BUILDING PERMIT.
 - GREASE TRAP UNDER SEPARATE PERMIT.
- NOTE**
- PROJECT SHALL MEET THE REQUIREMENTS OF THE CITY'S FLOOD PLAN/MANAGEMENT ORDINANCE.

PAVING GRADING DRAINAGE PLAN

SCALE: 1" = 20'

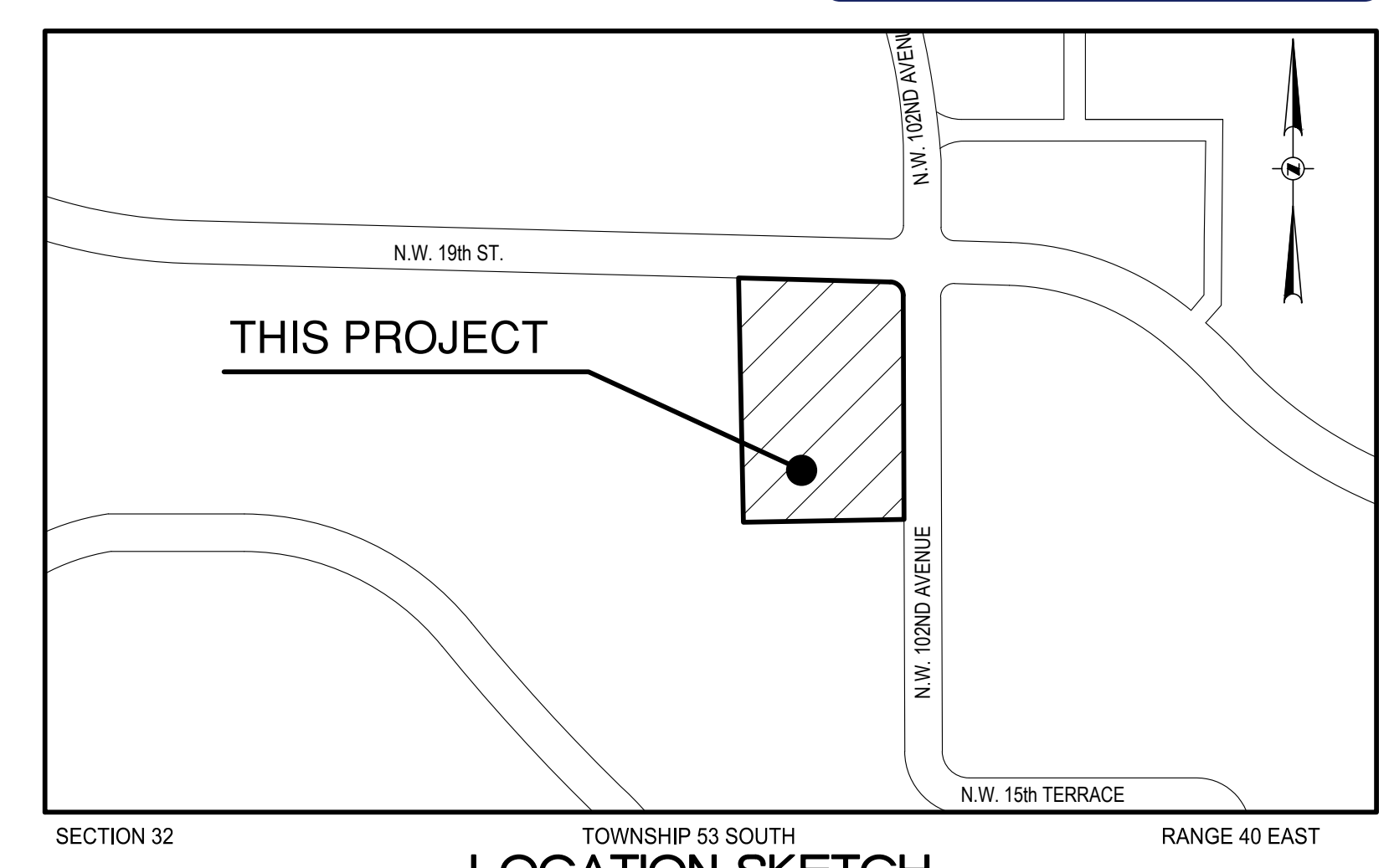


PROJECT INFORMATION:
PROJECT NUMBER: 2023-7020
DATE: 09-21-2023
DRAWN BY: ZH
CHECKED BY: T.G.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE:
PAVING-GRADING-DRAINAGE PLAN

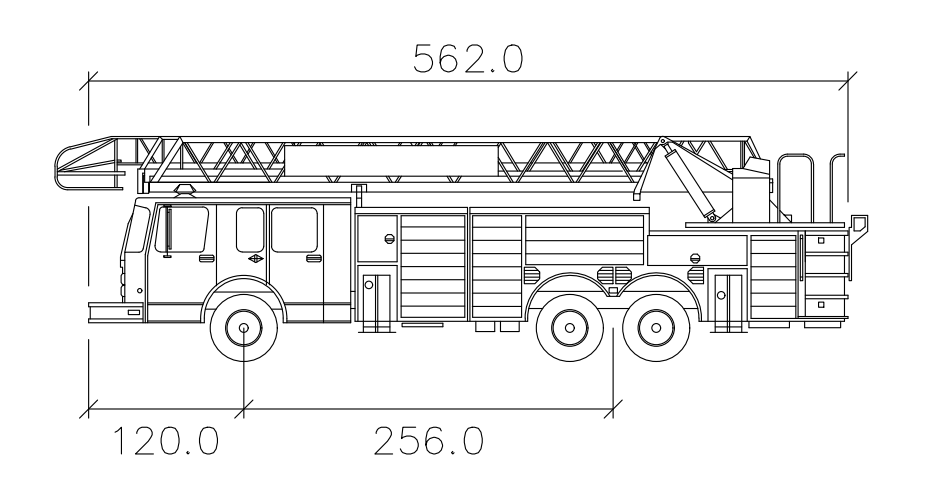
SHEET NUMBER:
C-2

RECEIVED
By Stephanie Puglia at 9:56 am, Feb 21, 2024



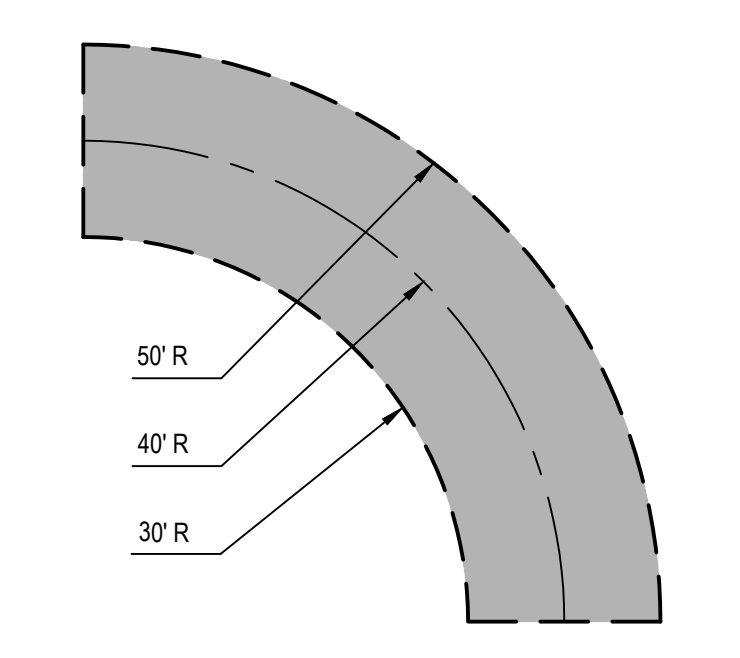
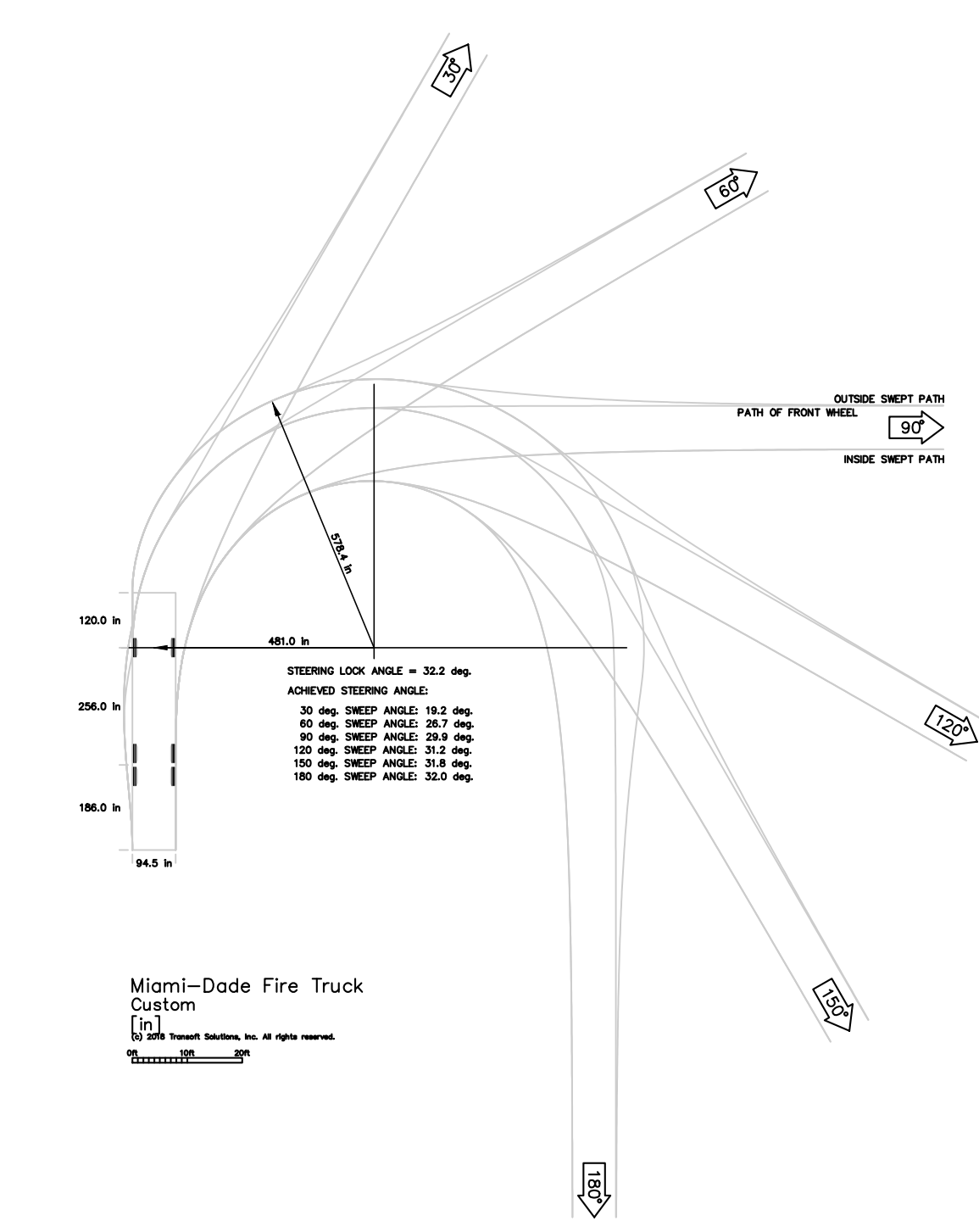
LOCATION SKETCH
SCALE: 1" = 300'
SECTION 32 TOWNSHIP 53 SOUTH RANGE 40 EAST
LEGAL DESCRIPTION

LAND DESCRIPTION:
TRACT 'B', 'GREAT SPRINGS AT I.C.P.' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 158, PG. 94, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SECTION 32, TOWNSHIP 53 SOUTH, RANGE 40 EAST, LESS THE WEST 455.34 FEET THEREOF.

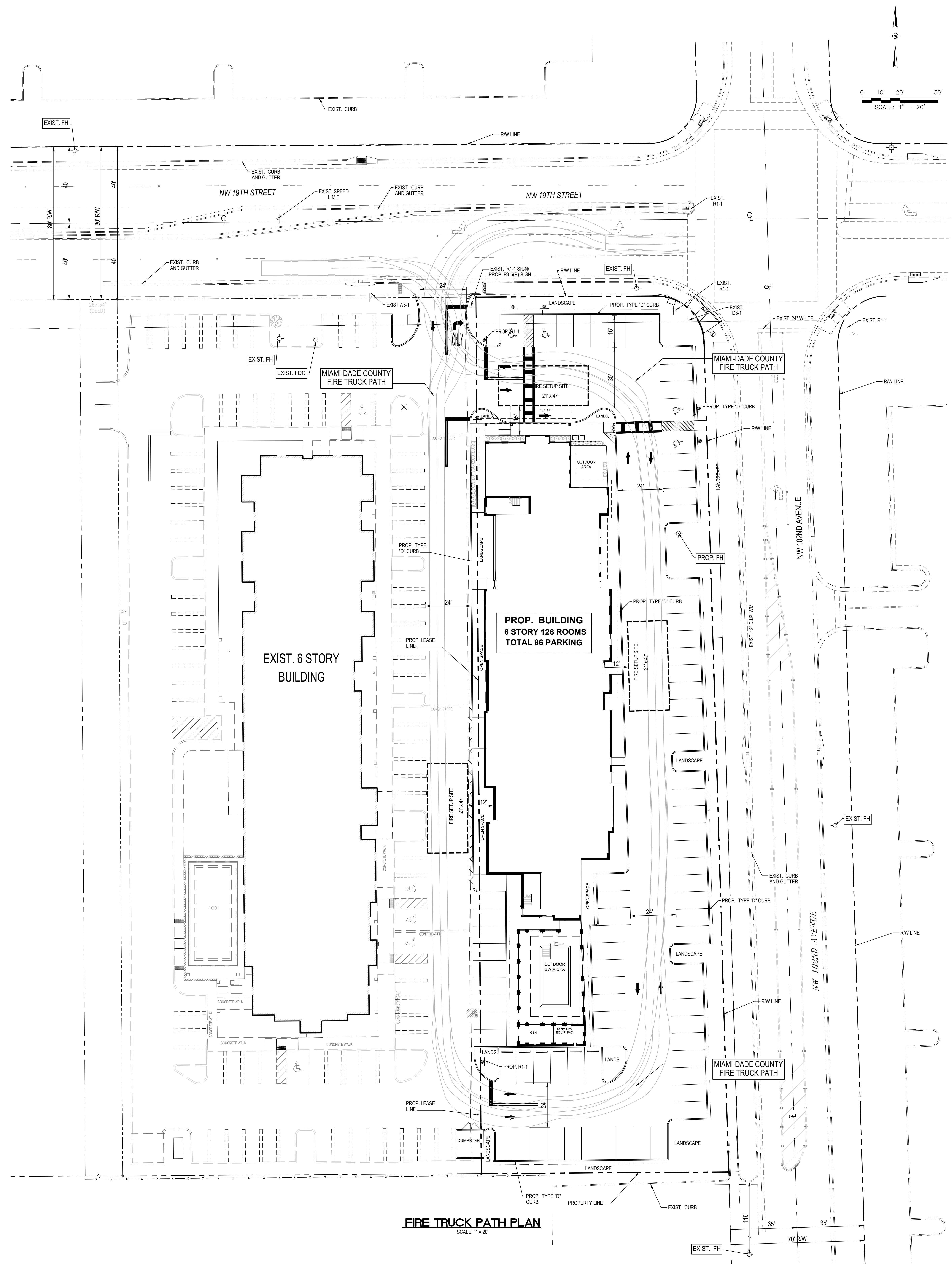


Fire Truck Template
inches
Width : 94.5
Track : 94.5
Lock to Lock Time : 6.0
Steering Angle : 32.2

MIAMI-DADE FIRE TRUCK PROFILE
N.T.S.



FIRE TRUCK PATH DETAIL
N.T.S.

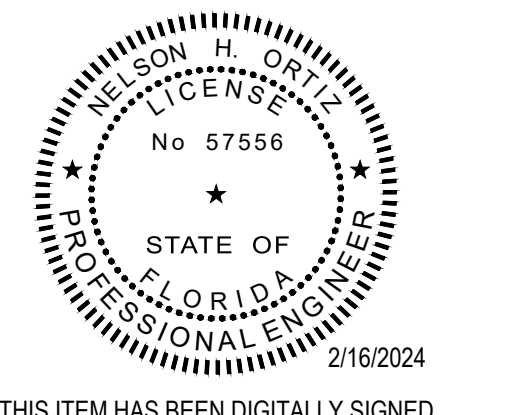


FIRE TRUCK PATH PLAN
SCALE: 1" = 20'



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NO. DATE REVISIONS BY

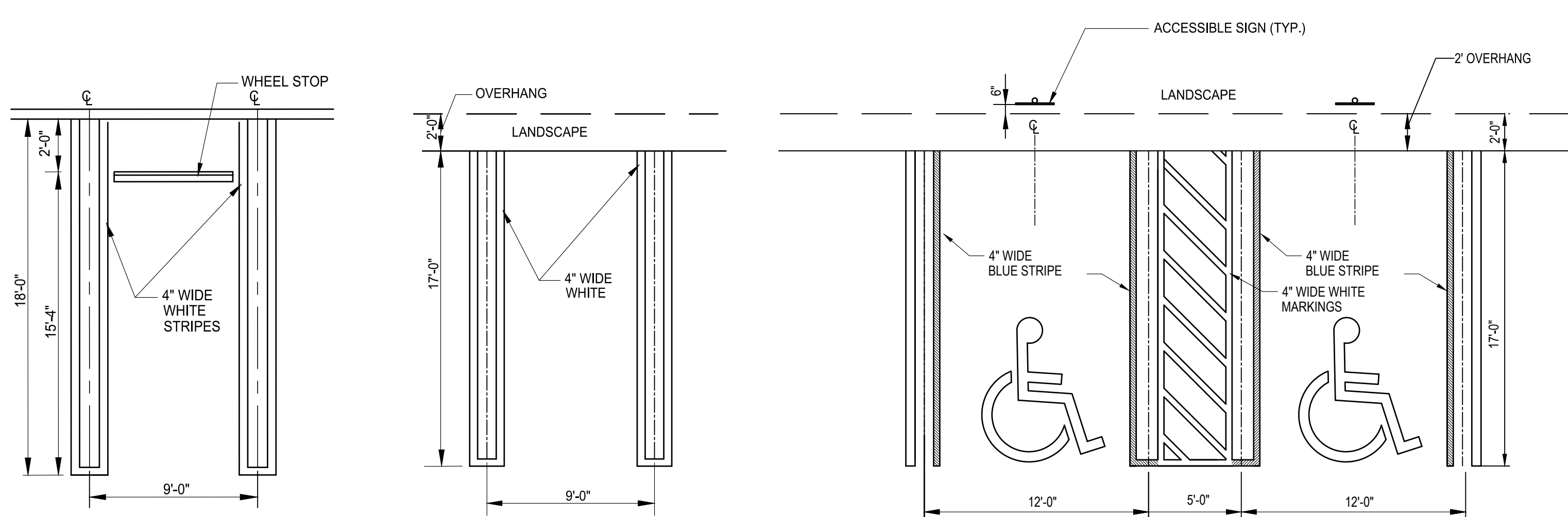
PROJECT INFORMATION:
PROJECT NUMBER: 2023-7020
DATE: 09-21-2023
DRAWN BY: ZH
CHECKED BY: T.G
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE:
FIRE TRUCK PATH PLAN

SHEET NUMBER:

C-3

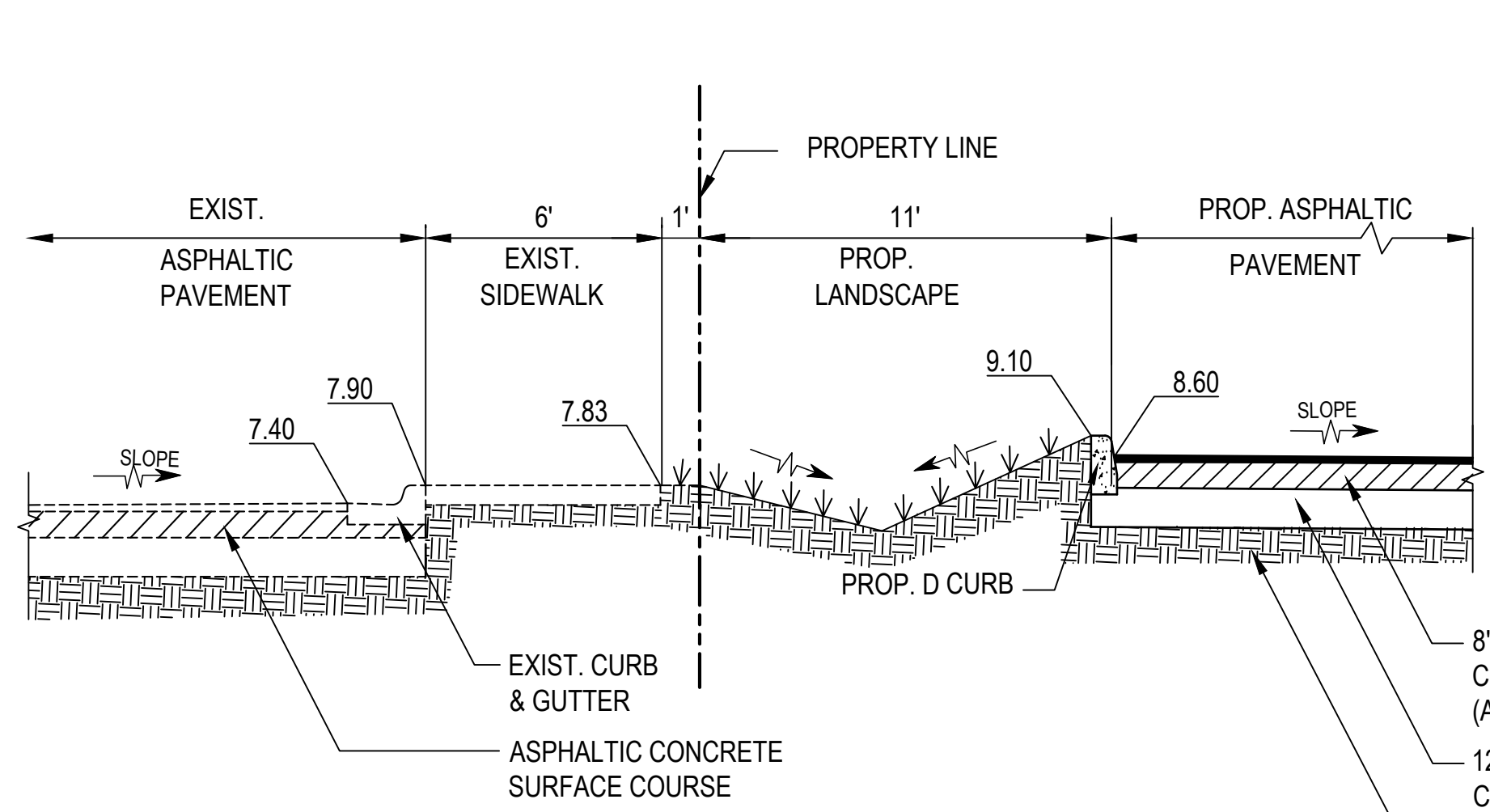
X:\MIA\2023\20237020\Design\Design Files\C-3 Site plan- Fire truck 2/16/2024 1:46 PM



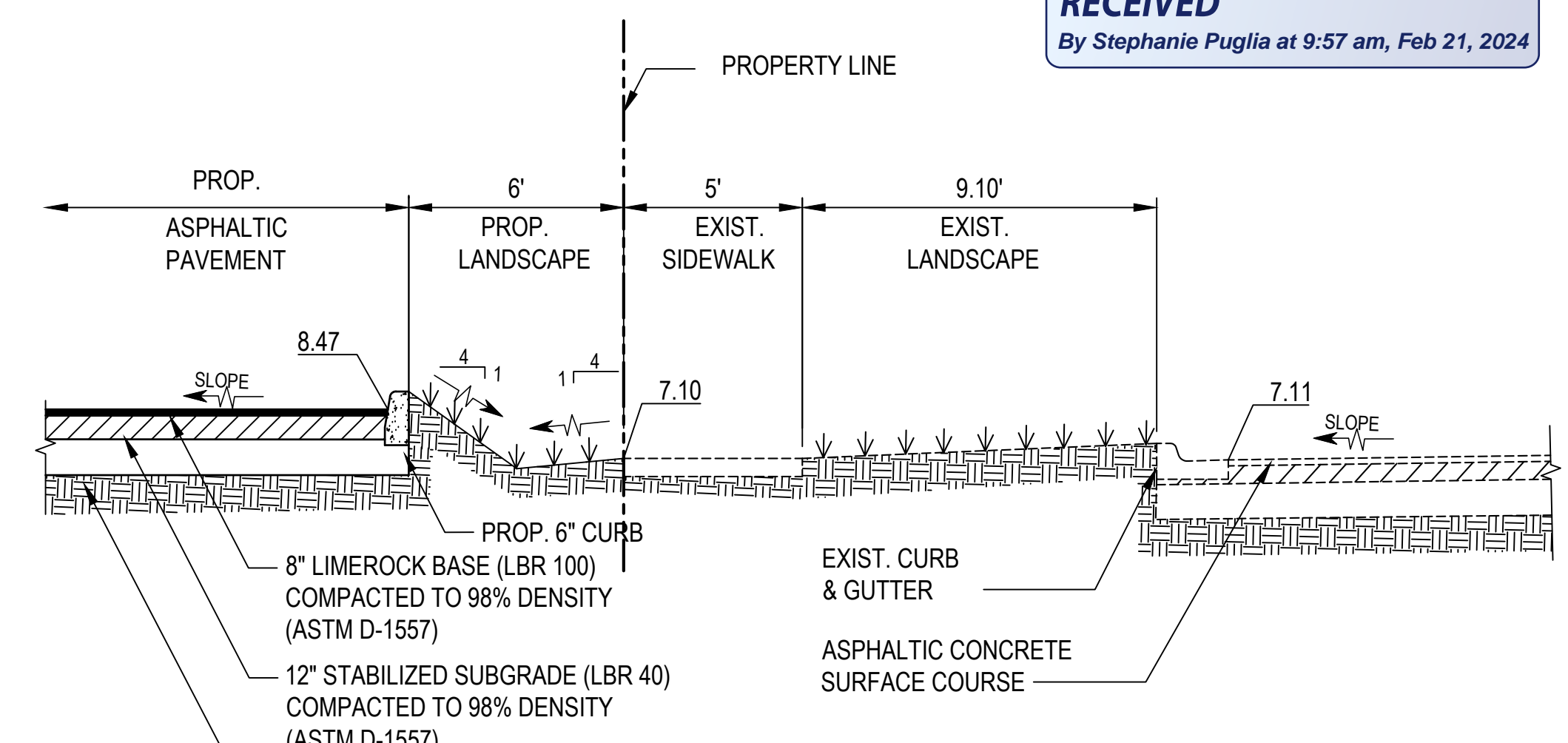
PARKING SPACE WITH WHEEL STOP
SCALE: 3/16" = 1'-0"

STANDARD PARKING SPACE
SCALE: 3/16" = 1'-0"

ACCESSIBLE PARKING DETAIL
SCALE: 3/16" = 1'-0"



SECTION A
(LOOKING EAST) SCALE: 3/16" = 1'-0"



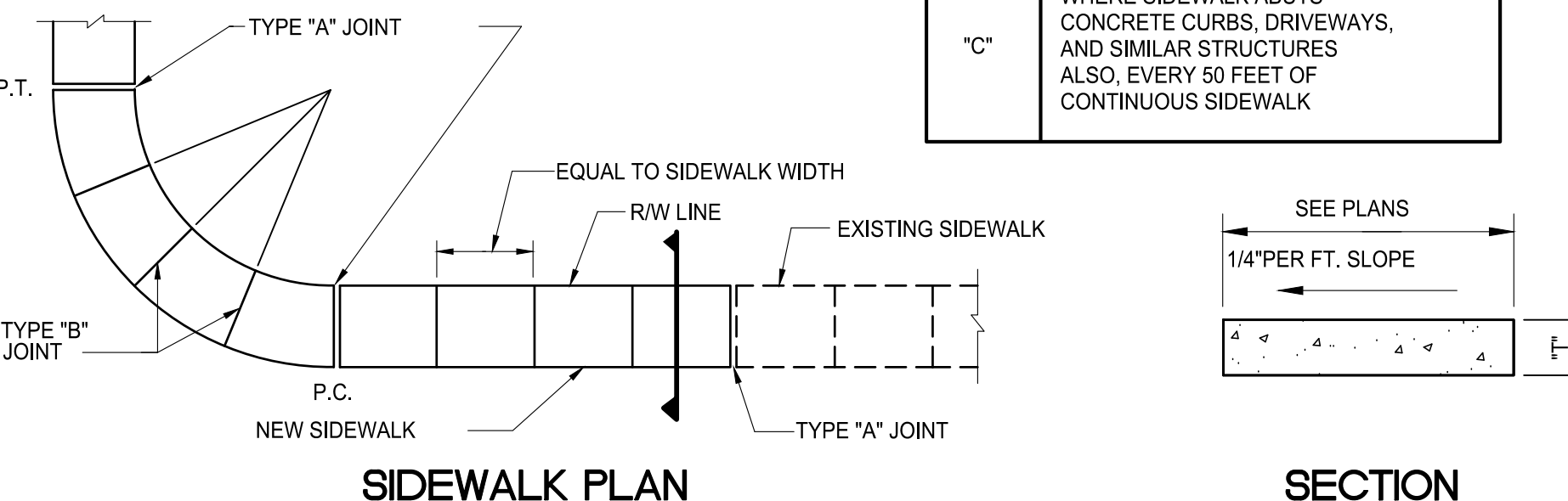
SECTION B
(LOOKING NORTH) SCALE: 3/16" = 1'-0"

TABLE OF SIDEWALK THICKNESS "T"

LOCATION	"T"
RESIDENTIAL AND INTERIOR AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

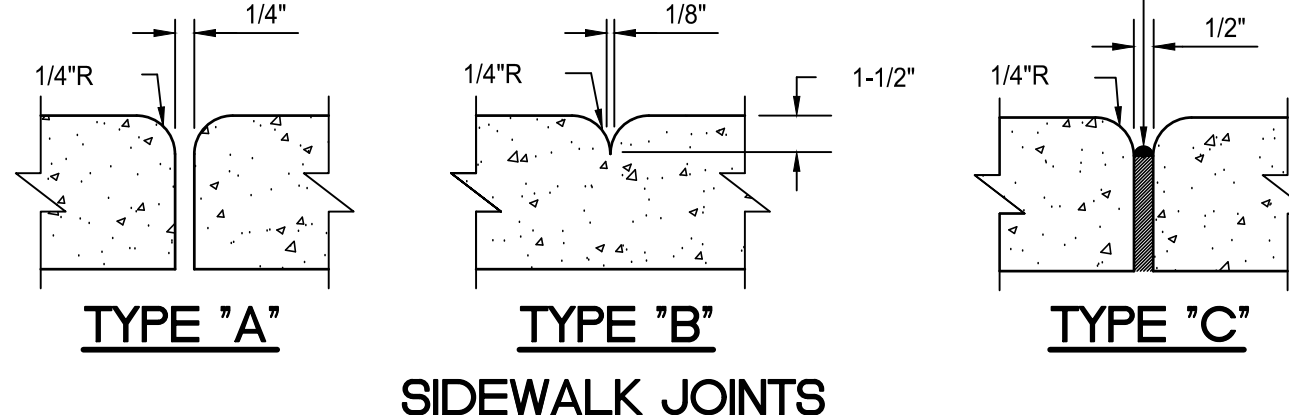
TABLE OF SIDEWALK JOINTS

TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES ALSO, EVERY 50 FEET OF CONTINUOUS SIDEWALK

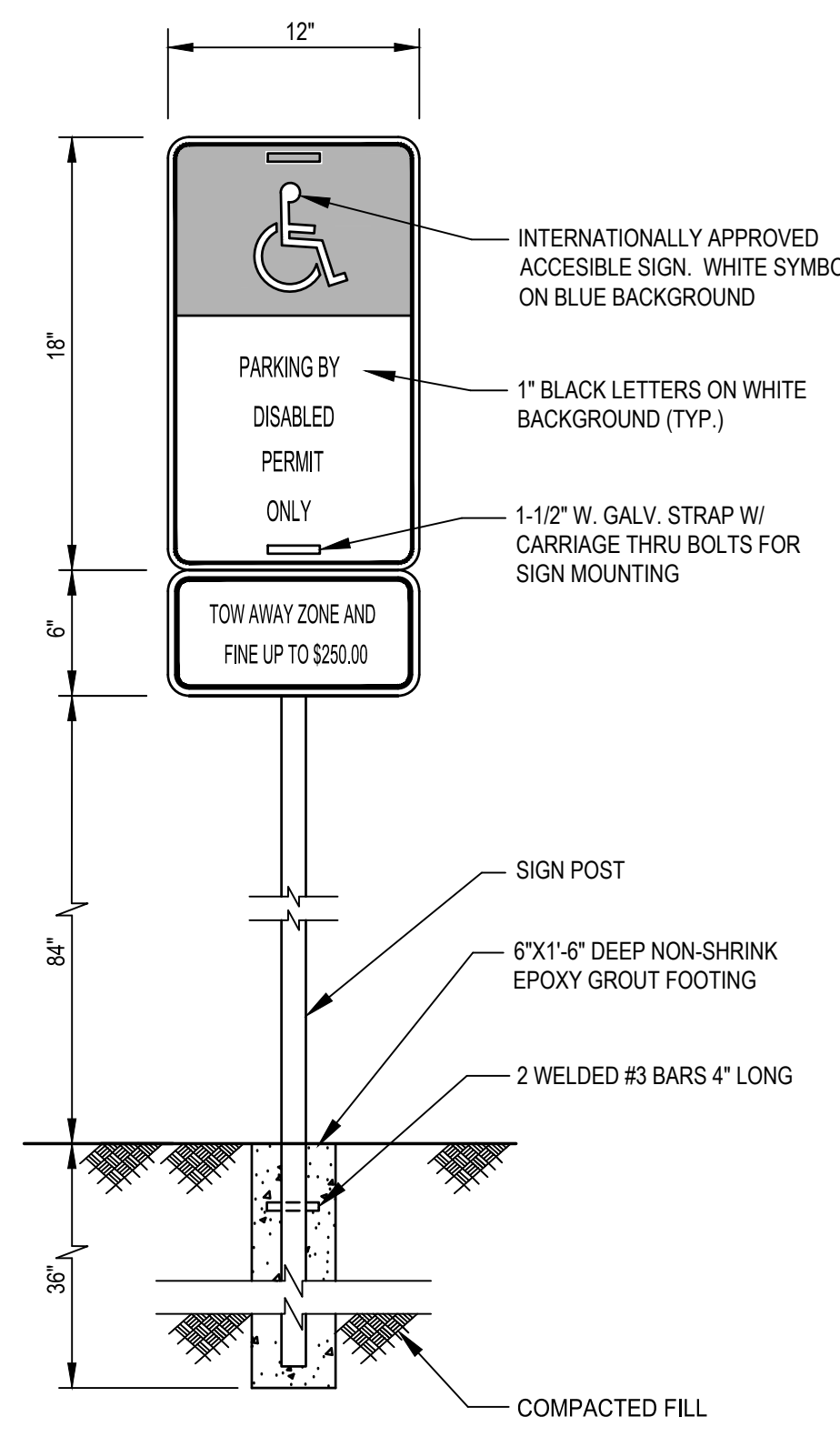


SIDEWALK PLAN

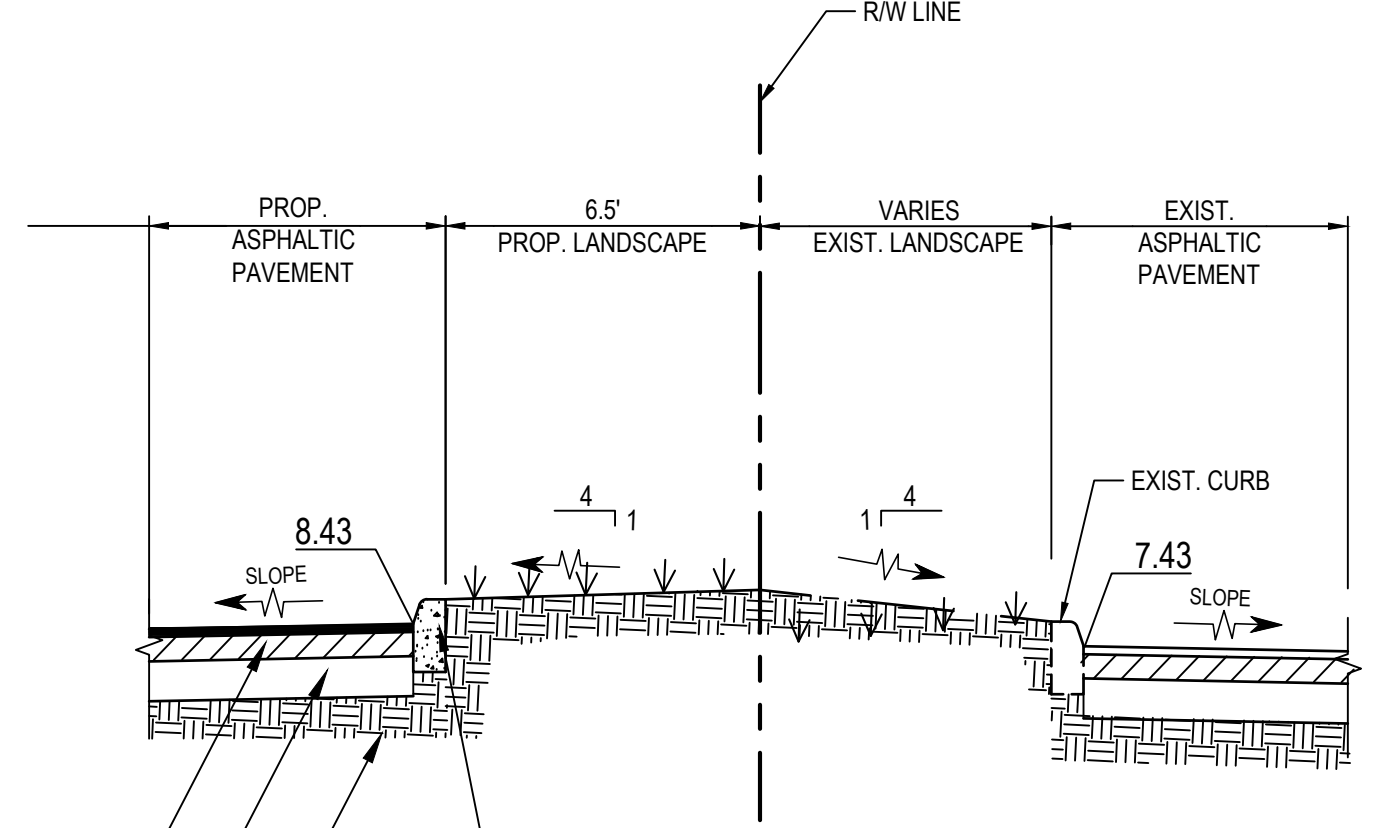
SECTION



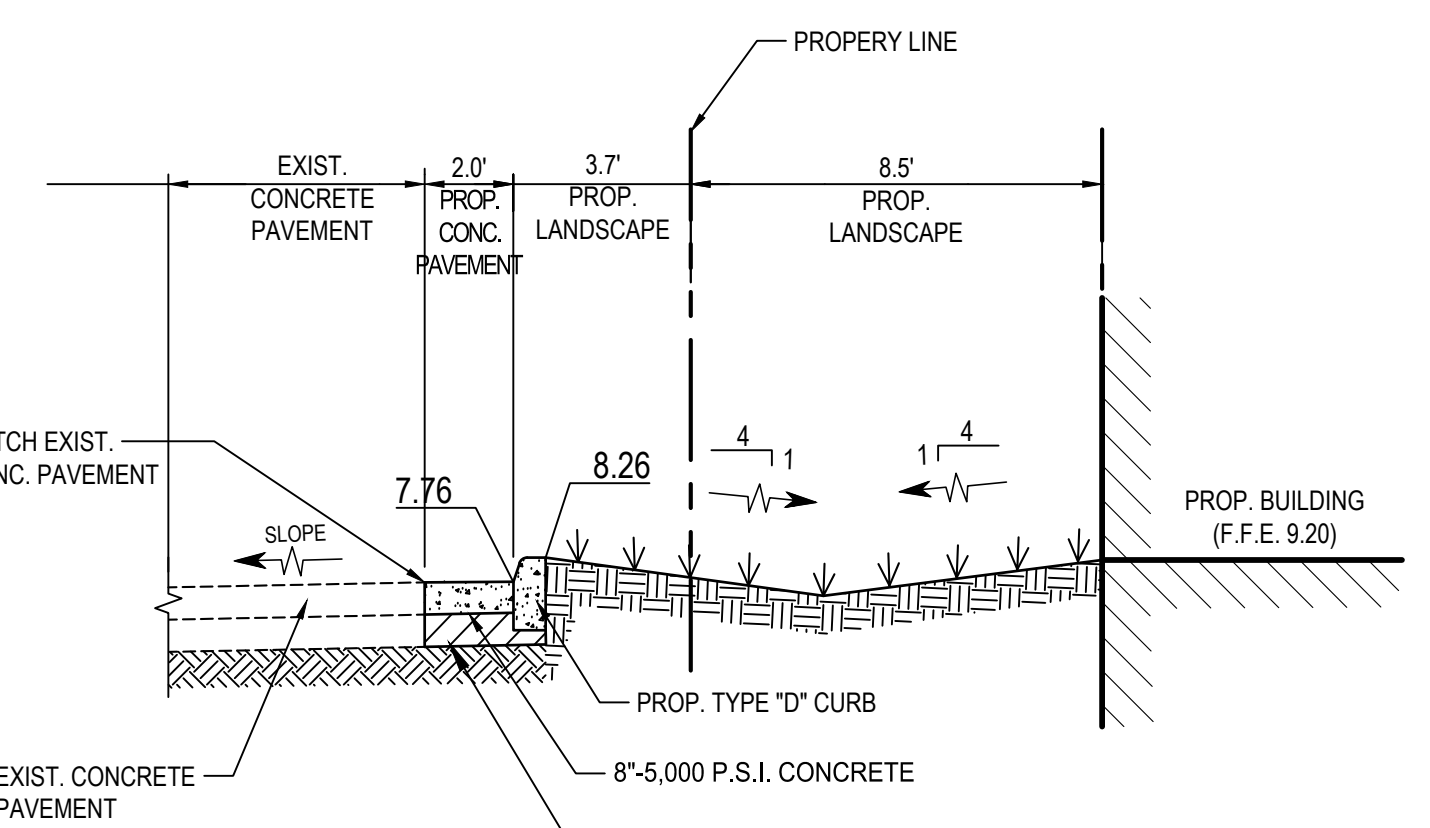
STANDARD SIDEWALK CONSTRUCTION
N.T.S.



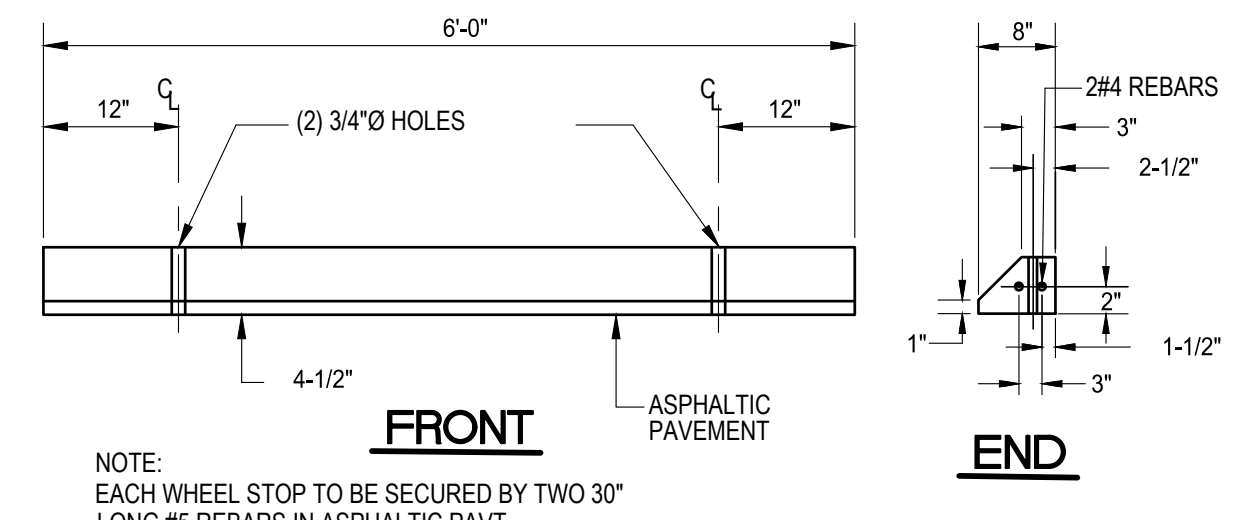
ACCESSIBLE SIGN
N.T.S.



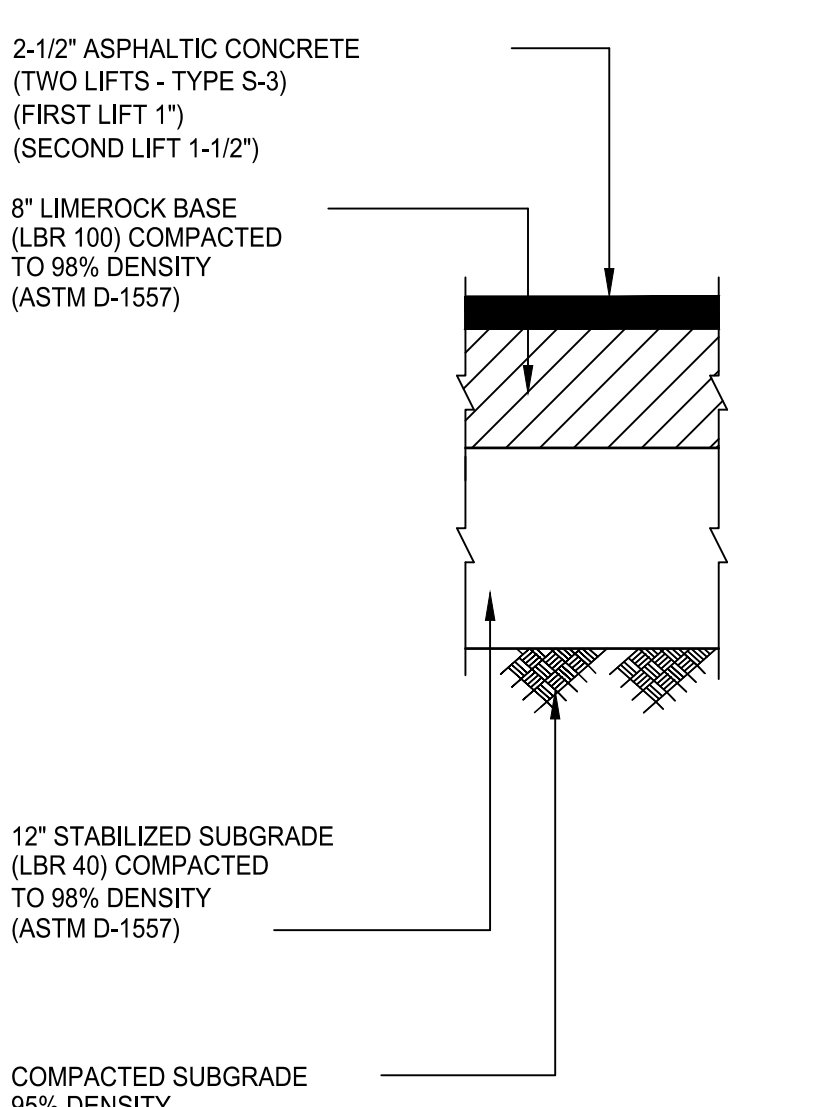
SECTION C
(LOOKING EAST) SCALE: 1/4" = 1'-0"



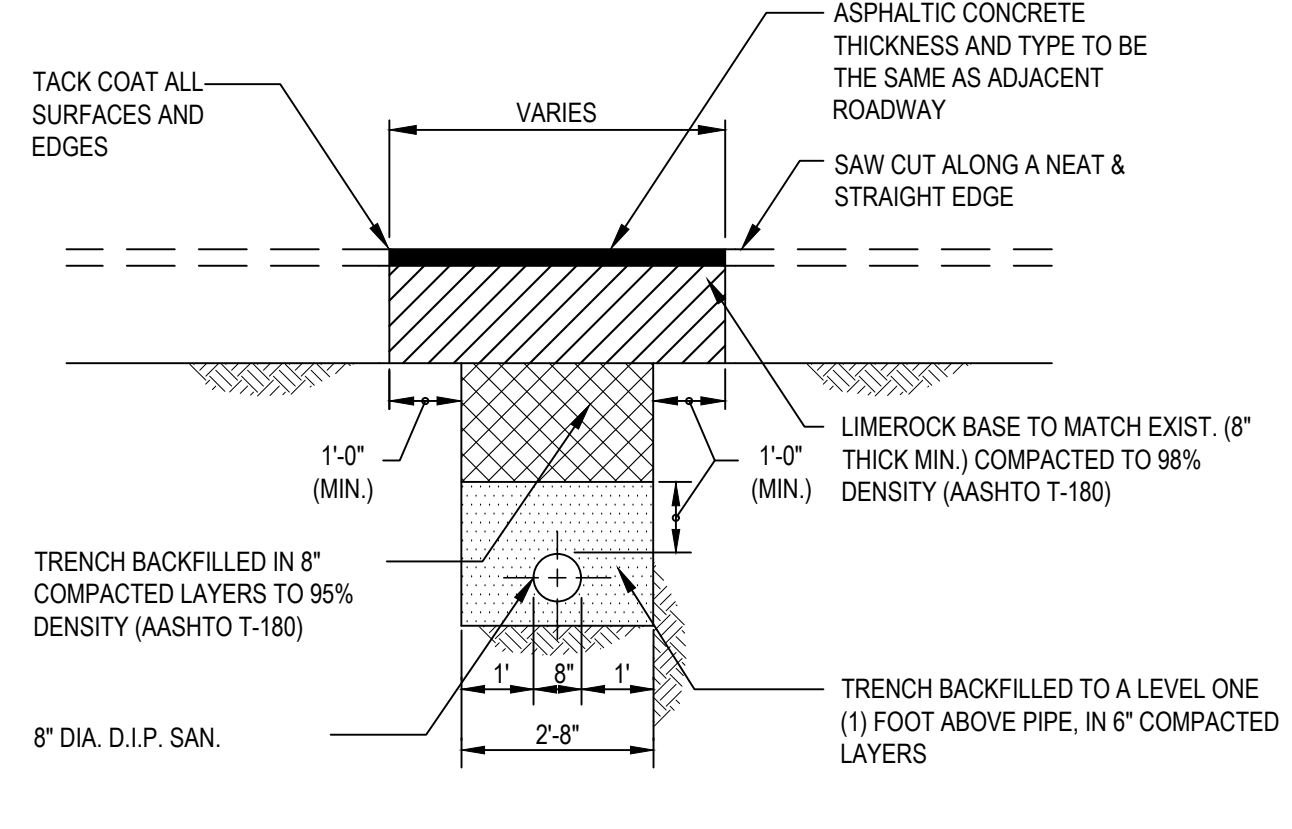
SECTION D
(LOOKING NORTH) SCALE: 1/4" = 1'-0"



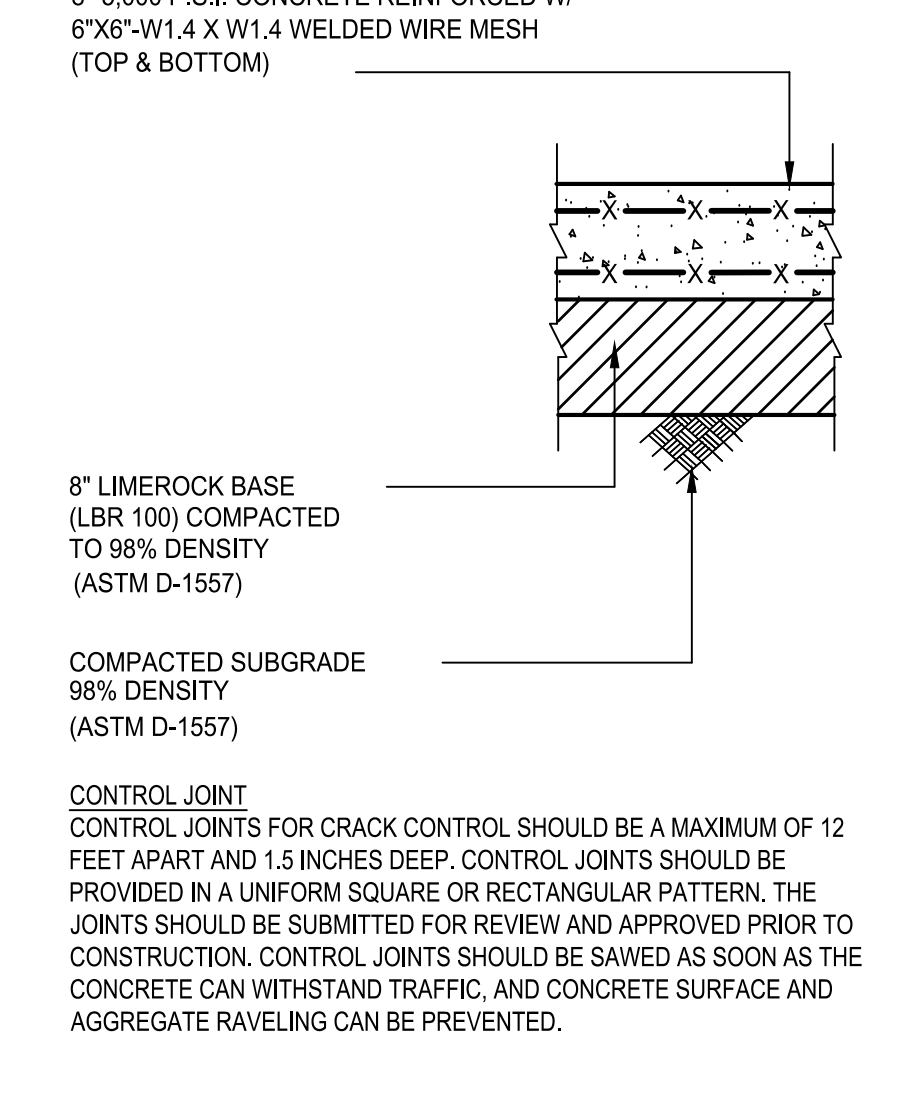
WHEEL STOP DETAIL
N.T.S.



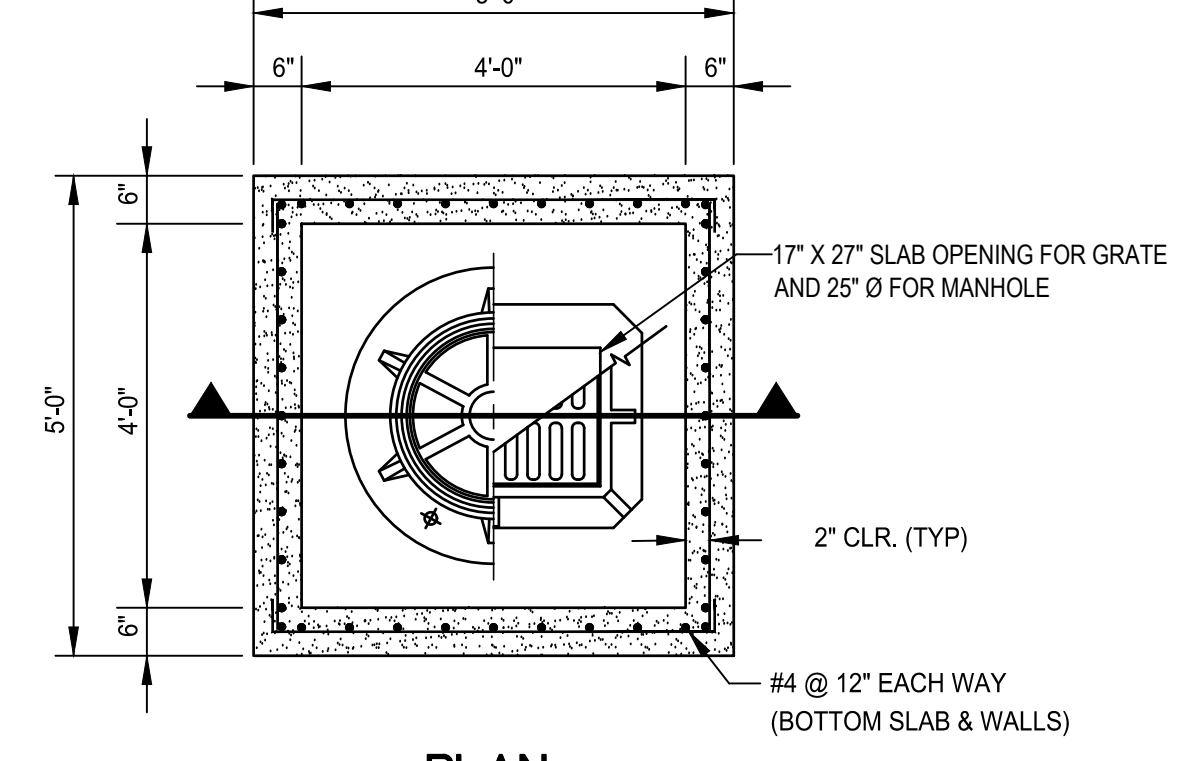
ASPHALTIC PAVEMENT SECTION
SCALE: 1" = 1'-0"



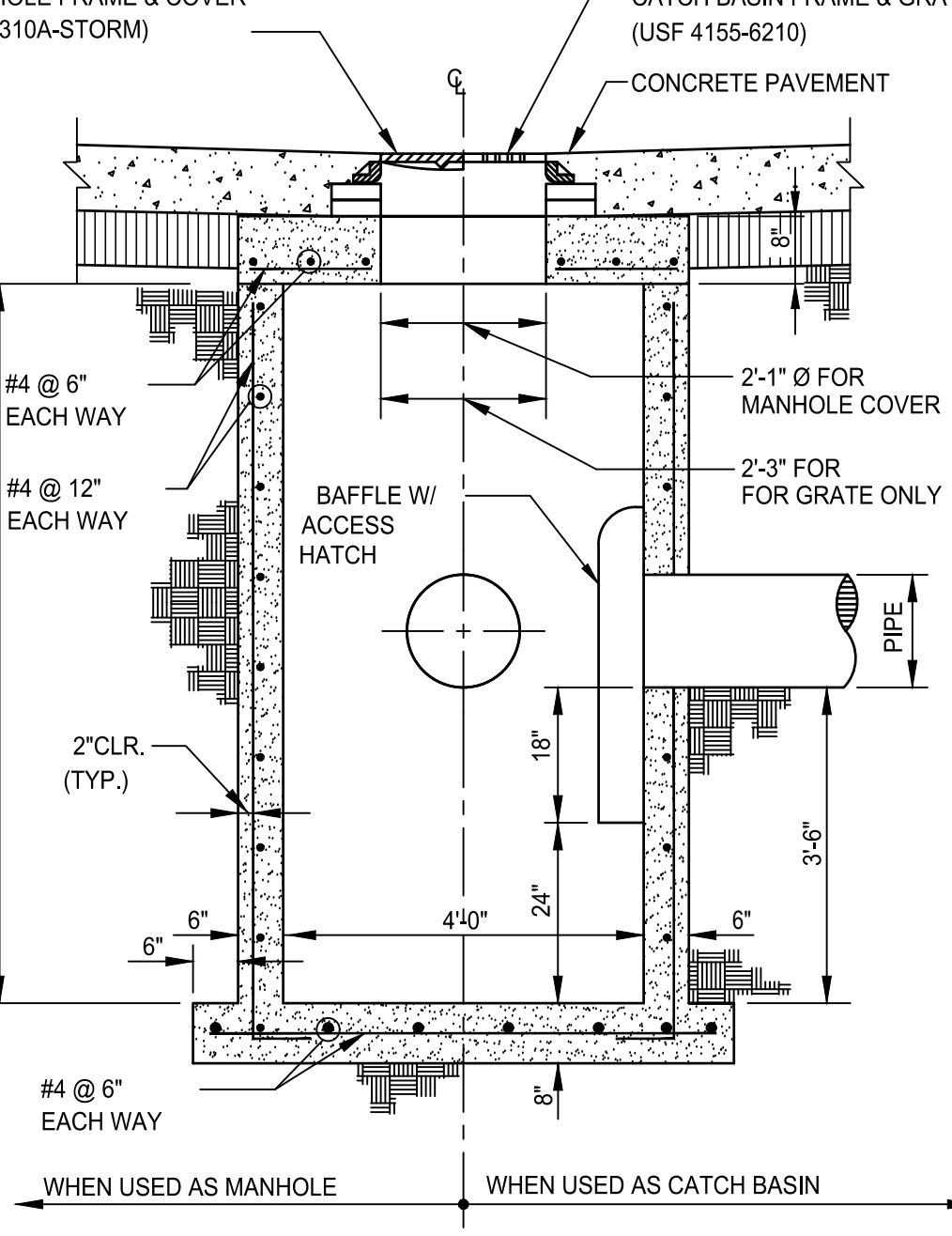
TRENCH RESTORATION DETAIL
SCALE: 3/8" = 1'-0"



CONCRETE PAVEMENT SECTION
(VEHICULAR) N.T.S.



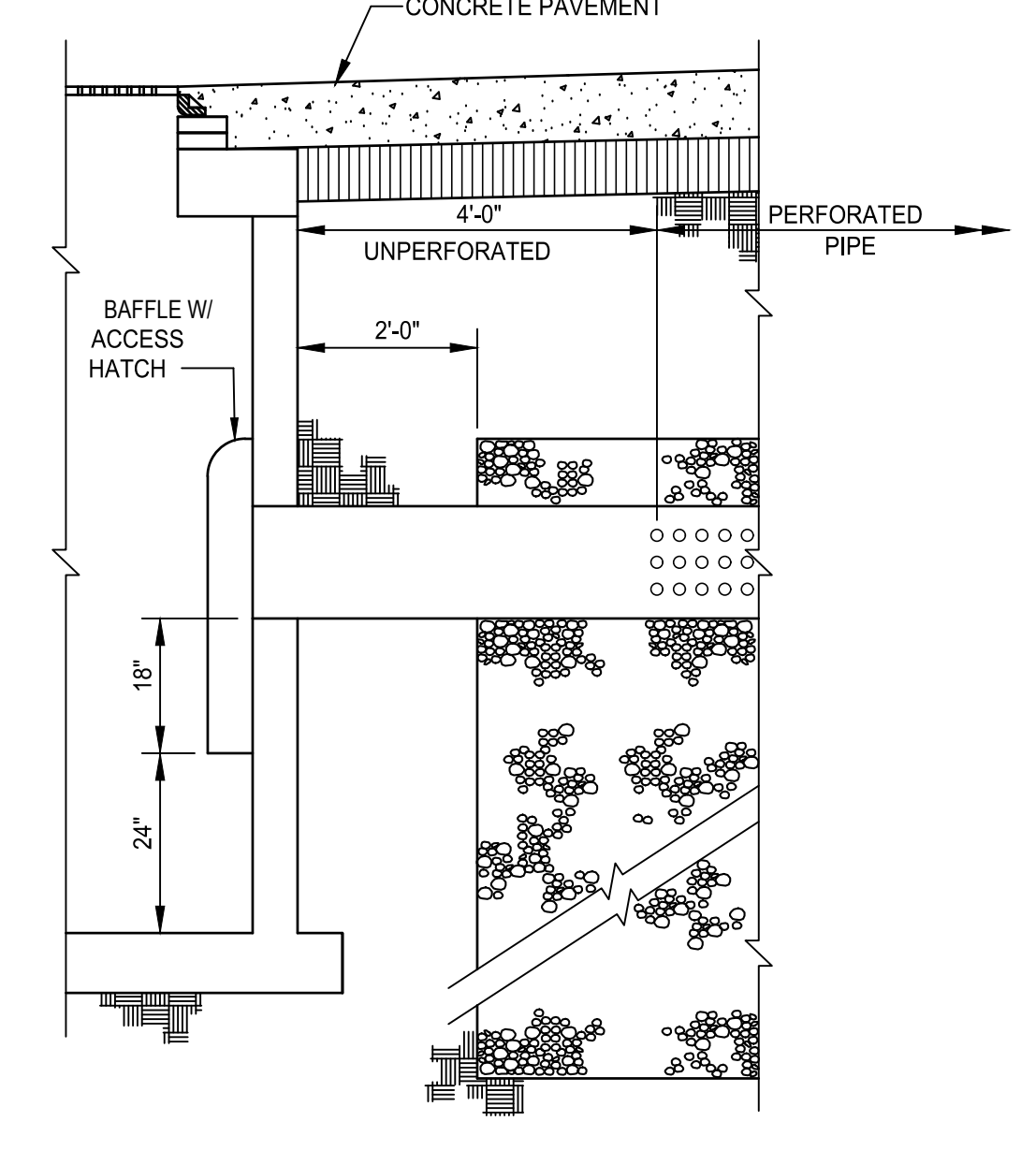
PLAN



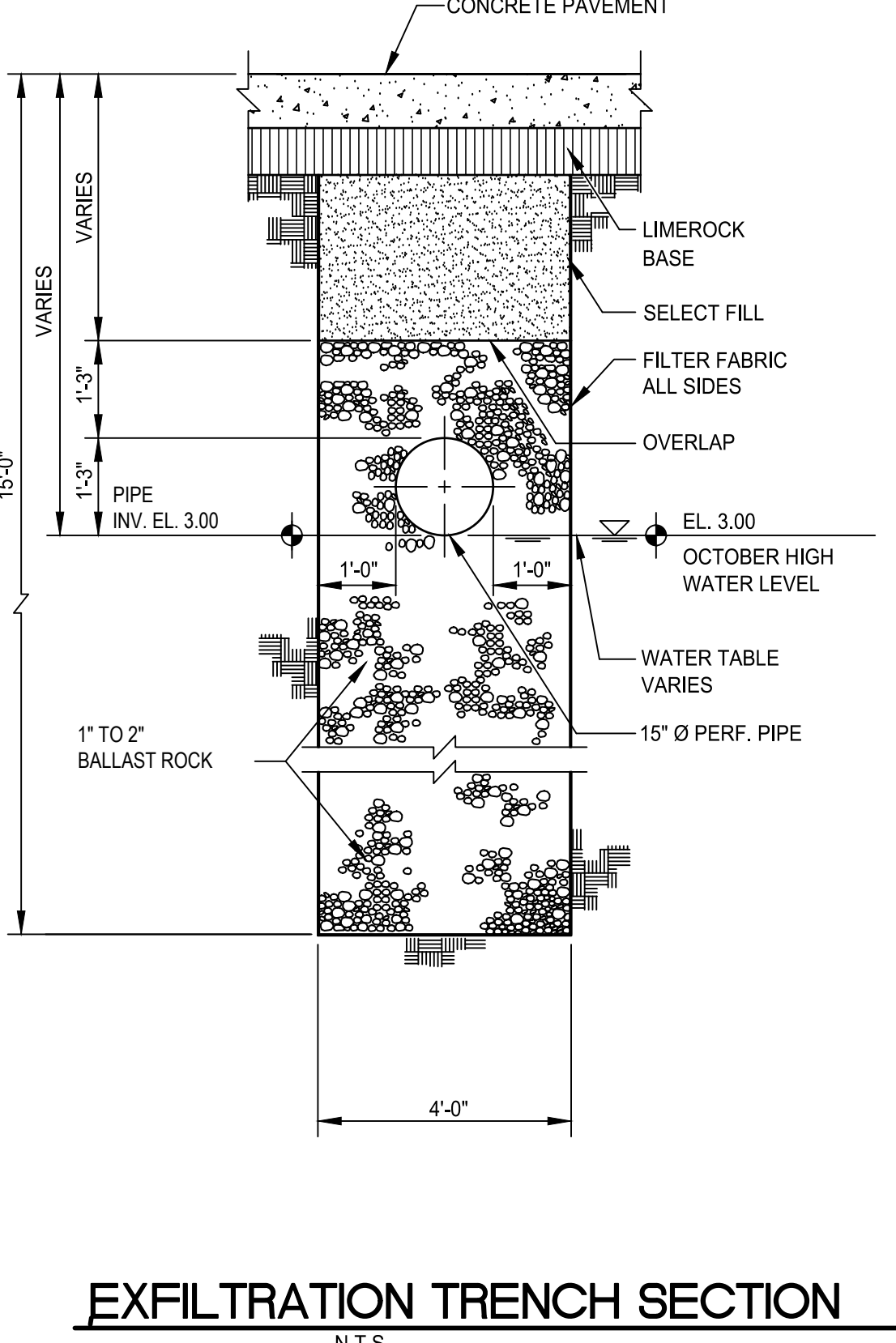
SECTION
CATCH BASIN/MANHOLE DETAIL
N.T.S.

DRAINAGE STRUCTURE SCHEDULE

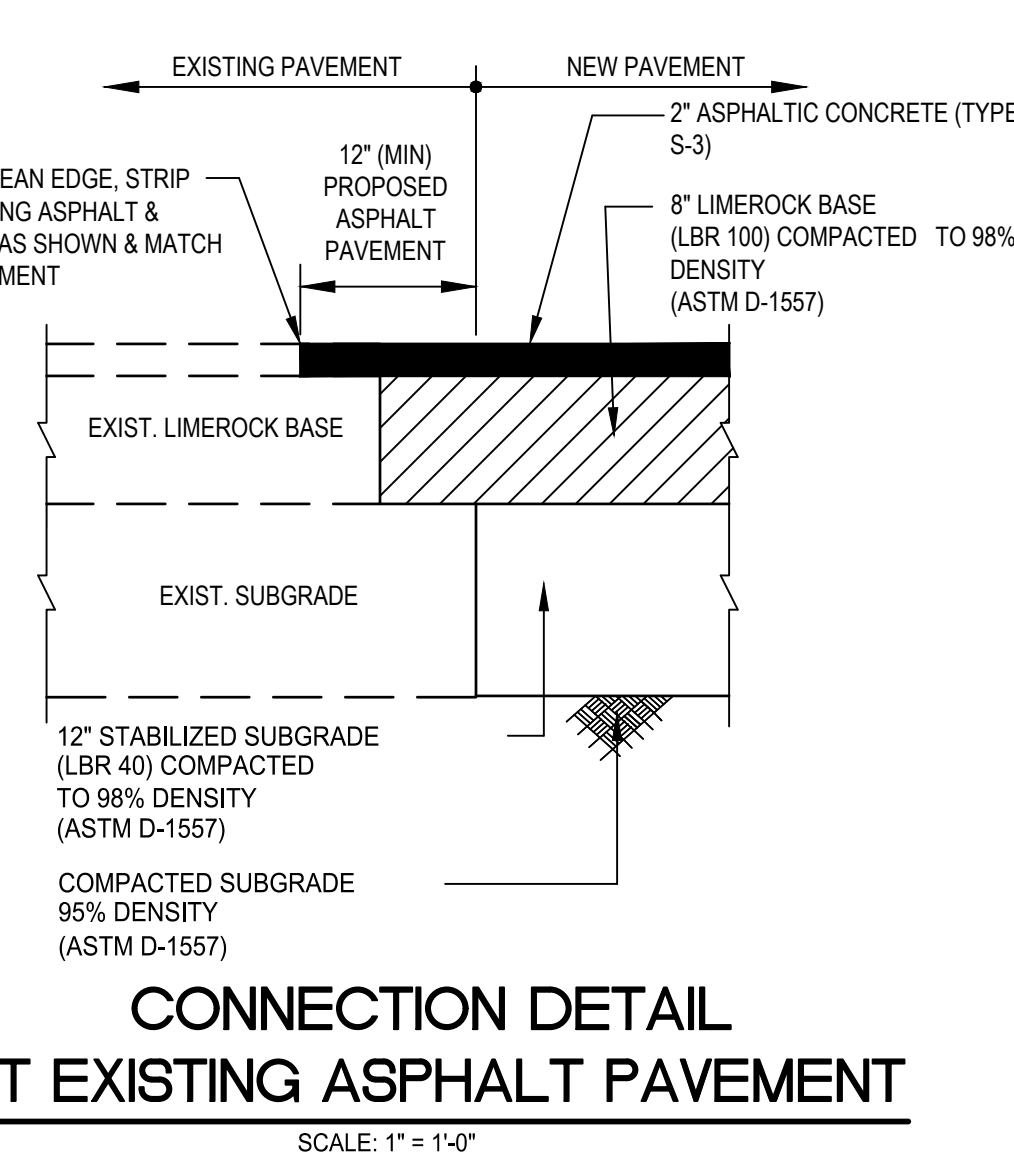
ID	TYPE	RIM/GRATE	PIPE INVERT	STRUCTURE INVERT	POLLUTION BAFFLE
A	CATCH BASIN	7.75	3.00	(+0.50)	1 (N)
B	CATCH BASIN	8.05	3.00	(+0.50)	2 (N,S)
C	CATCH BASIN	8.10	3.00	(+0.50)	2 (N,S)
D	CATCH BASIN	8.05	3.00	(+0.50)	2 (S,W)



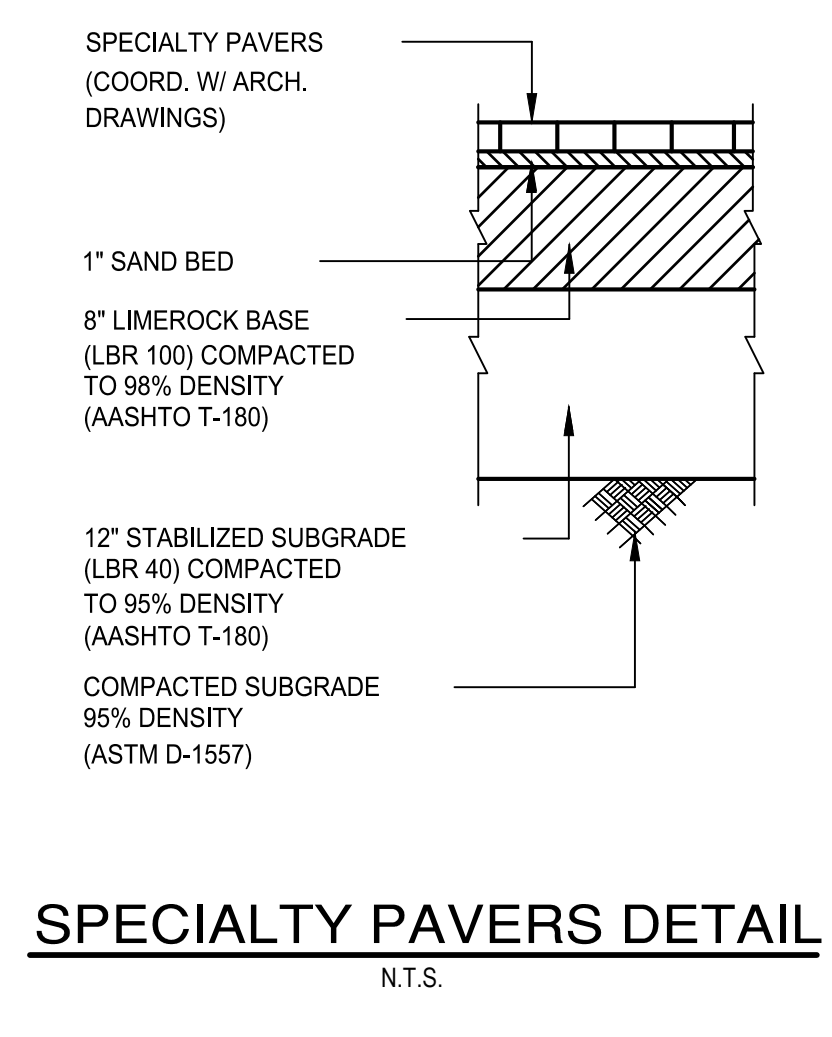
EXFILTRATION TRENCH CONNECTION DETAIL
N.T.S.



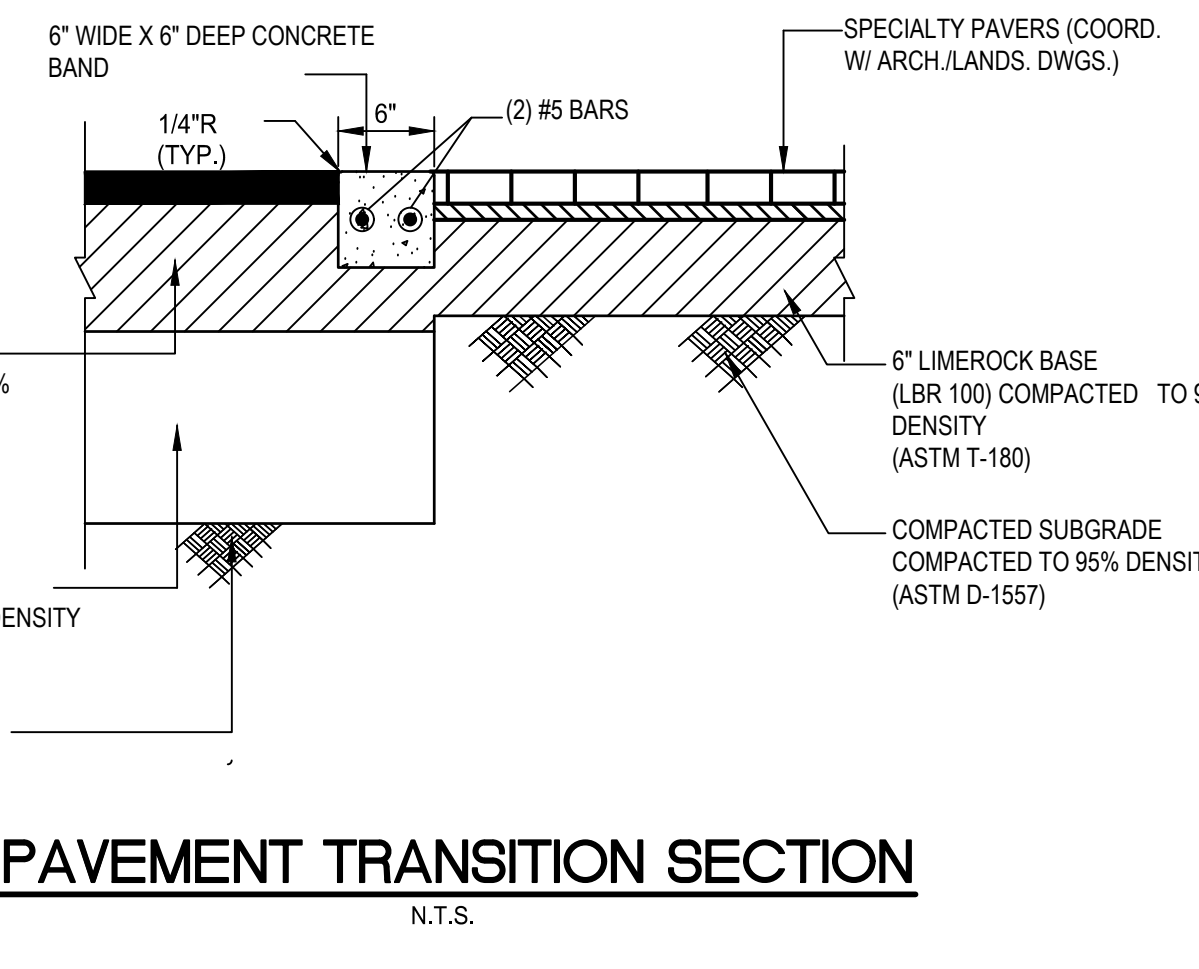
EXFILTRATION TRENCH SECTION
N.T.S.



CONNECTION DETAIL AT EXISTING ASPHALT PAVEMENT
SCALE: 1" = 1'-0"



SPECIALTY PAVERS DETAIL
N.T.S.



PAVEMENT TRANSITION SECTION
N.T.S.



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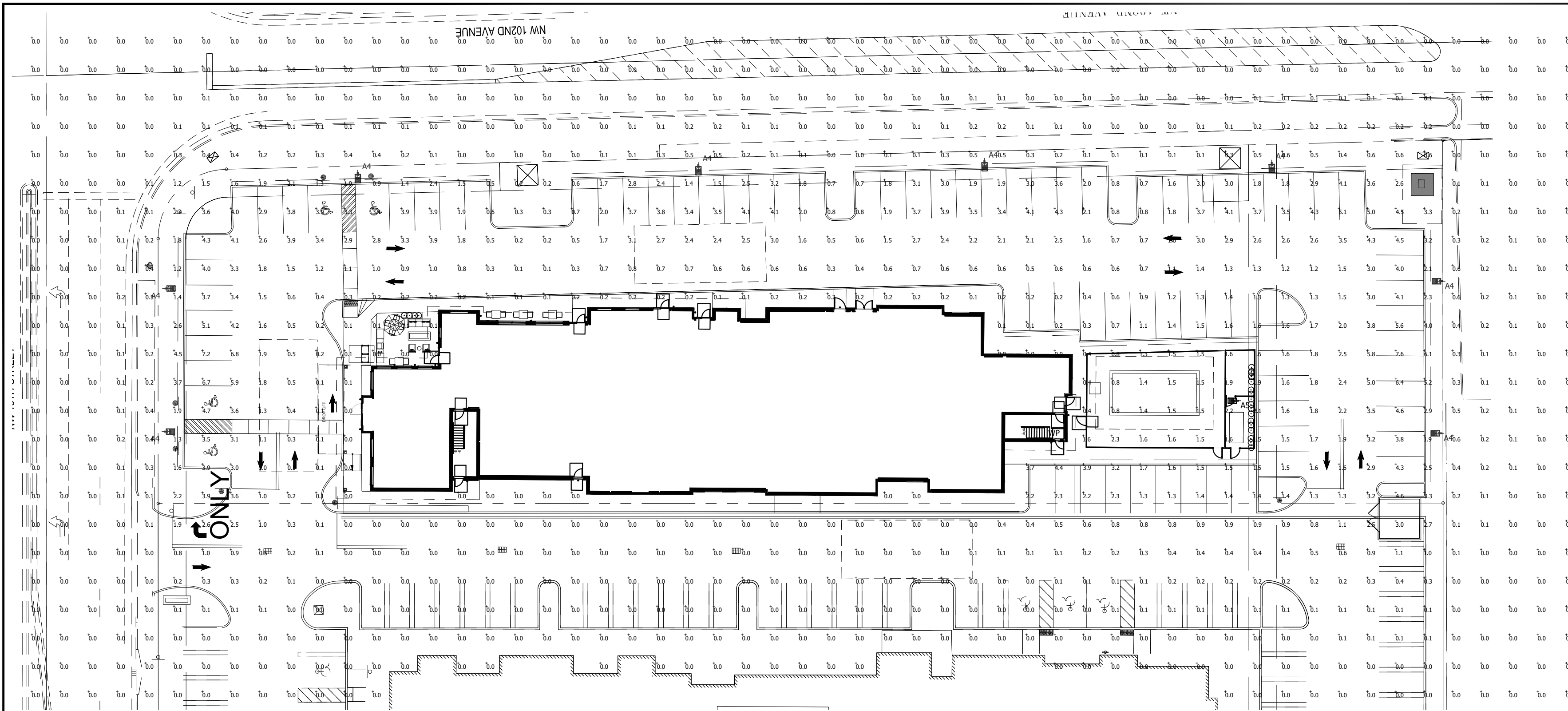
NO. DATE REVISIONS BY

PROJECT INFORMATION:
PROJECT NUMBER: 2023-7020
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DRAWN BY: ZH
CHECKED BY: T.G
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE:

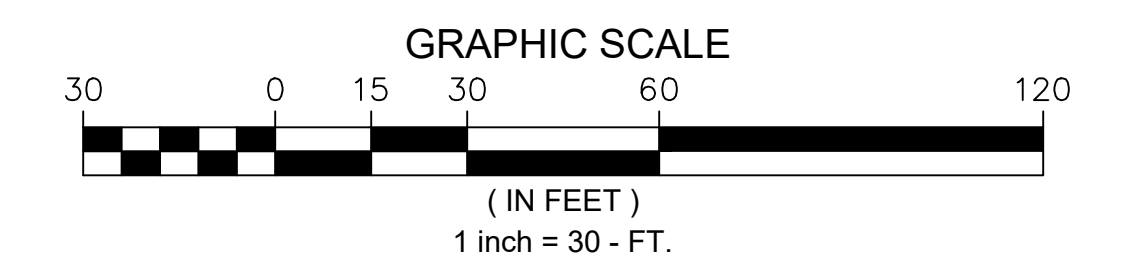
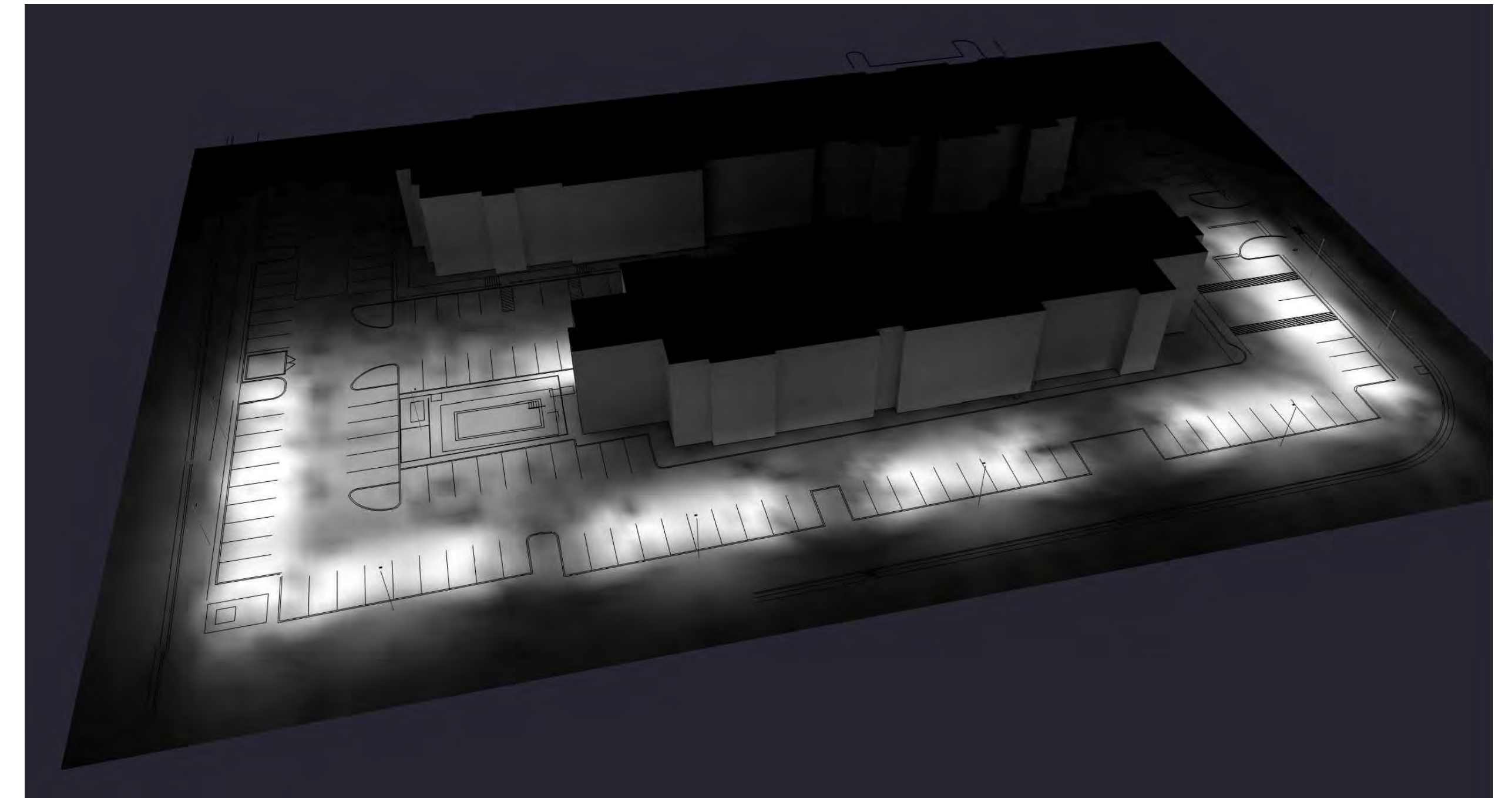
SECTIONS, SITE AND DRAINAGE DETAILS

SHEET NUMBER:



Luminaire Schedule							
Symbol	Qty	Label	Mounting Height	LLF	Lum. Lumens	Lum. Watts	Description
	8	A4	20' - 0" AFG	0.900	8922	115	VP-1-160L-115-3K7-4W-BC
	1	A5	20' - 0" AFG	0.900	14563	115	VP-1-160L-115-3K7-5QW
	1	WP	10' - 0" AFG	0.900	4483	35	RWL1-48L-35-3K7-4W-U

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Area	Illuminance	Fc	0.47	7.6	0.0	N.A.	N.A.
Parking Area	Illuminance	Fc	2.09	7.6	0.1	20.90	76.00



- THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO CURRENT. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
- LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
- CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

TITLE: HYATT HOUSE DORAL, FL SITE PHOTOMETRIC PLAN	REVISED FROM DRAWING NUMBER(S):		DN BY: DHK	DATE: 11/29/23	CHK BY: N/A
			REV BY:	DATE:	SCALE: AS NOTED
			QUOTE: N/A	DRAWING / DESIGN NO: A232286	

SEAL

Michael J. Phillips
FL LA 0001540

REV	DESCRIPTION	DATE

IRRIGATION LEGEND

ROTOR HEADS

- 5000 SERIES 6" ADJUSTABLE POP-UP ROTOR HEAD EQUAL TO RAINBIRD
- PGP 6" POP-UP 20-25R ROTOR HEAD EQUAL TO RAINBIRD

MIST HEADS

- 6" POP-UP MIST HEAD EQUAL TO RAINBIRD (12" POP-UPS TO BE USED IN GROUNDCOVER BEDS)
- 15' SERIES NOZZLE
- 12' SERIES NOZZLE
- 10' SERIES NOZZLE
- 8' SERIES NOZZLE

BUBBLER NOZZLES

- BUBBLER NOZZLE AS FOLLOWS:
- 1502-SBH .5 GPM

VALVES

- ELECTRONIC ZONE VALVE EQUAL TO IRRITROL. SIZE AS NOTED ON PLAN. IN AMETEK OR CARSON 12"x18" VALVE BOX
- AMES BRASS GATE VALVE. SAME SIZE AS MAIN LINE. IN 6" SCH 40 PVC COLLAR EXTENSION AND VALVE BOX.
- PROGRAMMABLE IRRIGATION CONTROLLER EQUAL TO HUNTER ACC CONTROLLER - PROVIDE RAIN SENSOR (ET SENSOR - OPTIONAL)
- SLEEVES: SCH 40 PVC OR RATED EQUAL CLASS. SLEEVES TO BE MIN. 24" MAX. 30" DEEP
- 2 1/2" MAIN LINE: SCH 40 PVC WITH SCH 80 PVC FITTINGS

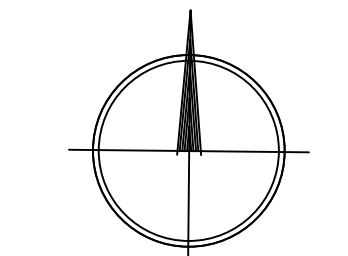
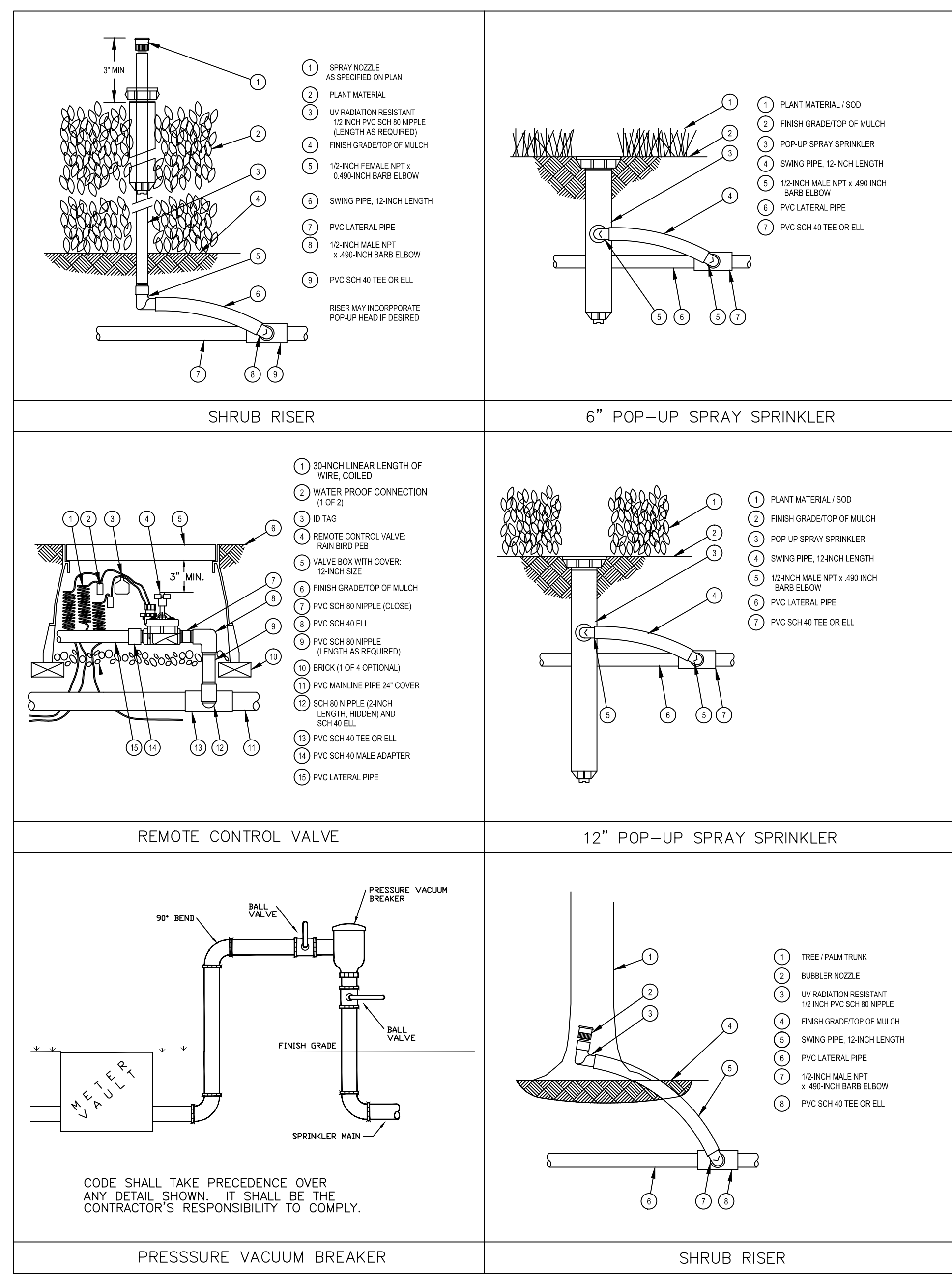
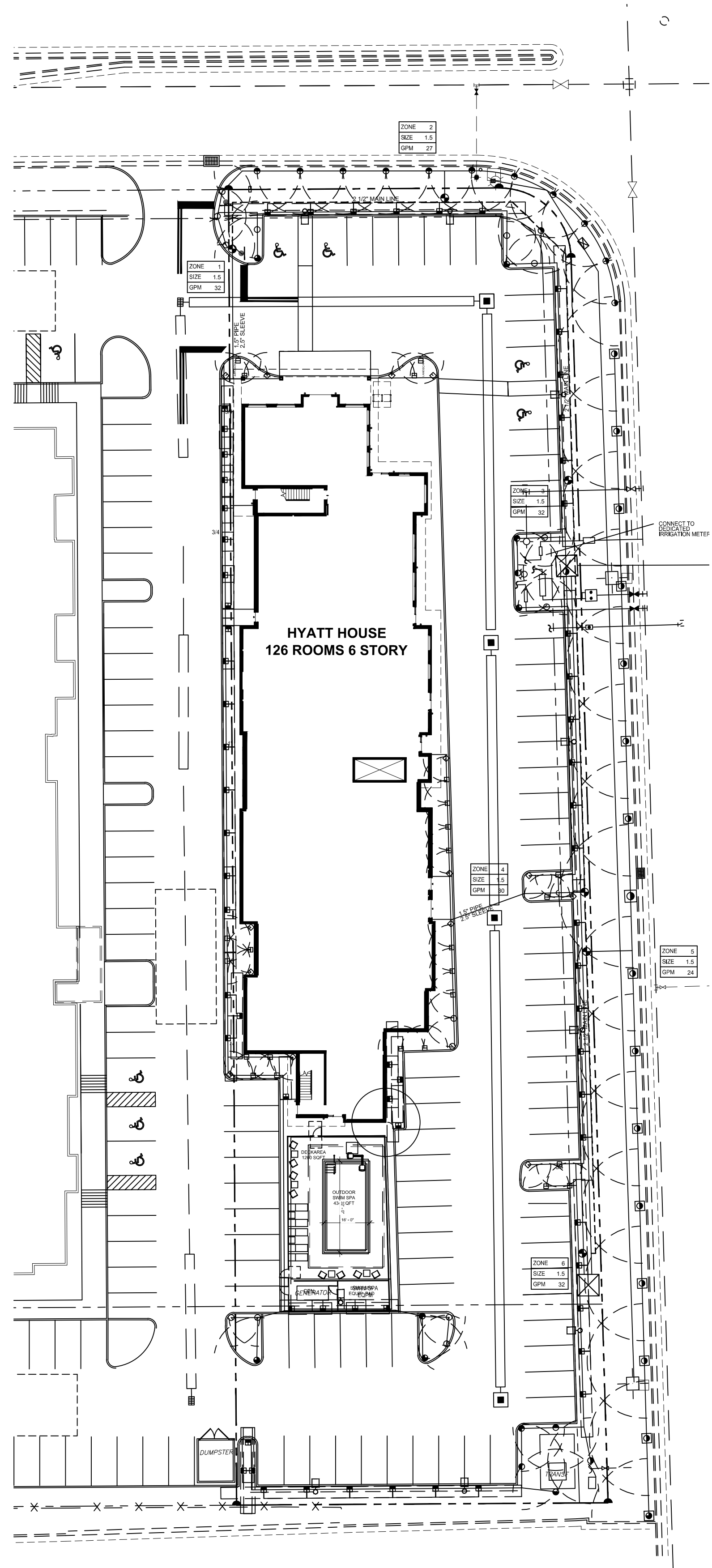
IRRIGATION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ALSO STATE AND/OR LOCAL CODES.
- IRRIGATION PLANS ARE SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. ALL PIPING BELOW PAVEMENT SHALL BE SLEEVED. LAYOUT OF IRRIGATION SYSTEM SHALL BE COORDINATED WITH CORRESPONDING LANDSCAPE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UNDERGROUND UTILITY PROVIDERS TO VERIFY LOCATIONS. THE CONTRACTOR IS ENCOURAGED TO VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
- VALVE LOCATIONS ARE SCHEMATIC ONLY AND WILL BE ADJUSTED FOR SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A AMETEK OR CARSON VALVE BOX. THE FLOW ADJUSTMENT FEATURE WILL BE USED TO BALANCE PRESSURE THROUGHOUT THE SYSTEM.
- PIPING SHALL BE SIZED TO MINIMIZE FRICTION LOSS AND MAINTAIN FLOW VELOCITY BELOW 5 FPS.
- THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR SHALL BE INSTALLED TO OVER-RIDE THE CONTROLLER.
- ALL NEW AND RELOCATED TREES AND PALMS TO RECEIVE BUBBLERS.
- SPRINKLER LOCATIONS ADJACENT TO PAVEMENT, STRUCTURES, FENCES, ETC. SHALL BE OFFSET AS FOLLOWS: 12" MIN FOR POP-UP MIST HEADS, 18" FOR SHRUB RISERS, 18" FOR ROTOR HEADS, AND TYPICALLY 5 FEET FOR ROTORS ALONG UNCURBED ROADWAYS.
- ALL SLEEVING SHALL BE SCH 40 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN SUPPLY LINE CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 24" BELOW FINISH GRADE.
- CONTROL WIRES SHALL BE UL APPROVED PE IRRIGATION CONTROL WIRE. USE 14 GAGE CONTROL WIRE AND 12 GAGE GROUND WIRE. WIRE SHALL BE BUNDLED AND ATTACHED TO THE MAIN LINE IN TRENCH OR THROUGH WIRE SLEEVES AT PAVEMENT CROSSINGS 24" BELOW FIN. GRADE. ALL SPLICES SHALL BE MADE WITH WATERPROOF DIRECT-BURIAL SPLICE KITS AND CONTAINED IN VALVE BOXES. TWO EXTRA CONTROL WIRES SHALL BE INSTALLED TO THE FURTHEST VALVES IN EACH DIRECTION FROM THE CONTROLLER.
- PIPING IN NARROW PLANTING AREAS, PARKING ISLANDS AND PLANTERS SHALL BE SET TO ONE SIDE TO ALLOW ROOM FOR ROOT BALLS. PIPE AS INDICATED ON PLAN IS SCHEMATIC AND SHOULD BE ADJUSTED FOR FIELD CONDITIONS.
- ALL GLUE JOINTS SHALL BE CLEANED, SANDED, AND TREATED WITH A COLORED HIGH ECH PRIMER AND JOINED USING A SOLVENT CONFORMING WITH ASTM D2954.
- SYSTEM PIPE SIZE 3/4" SHALL BE CLASS 200 PVC; SYSTEM PIPE SIZE 1" OR GREATER SHALL BE CLASS 160 PVC. SYSTEM MAIN WILL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN. ALL FITTINGS WILL BE SOLVENT WELDED SCH 40 PVC. MAIN LINE SHALL HAVE 24" MINIMUM COVER. ALL OTHER PIPING WILL HAVE 12" MIN. COVER. ALL BACKFILL FOR PIPE TRENCHES SHALL BE CLEAN AND FREE OF FOREIGN DEBRIS AND SHARP OBJECTS; BACKFILLED TRENCHES SHALL BE PROPERLY COMPACTED. ALL MAIN LINES WILL BE INSTALLED A MIN. OF 3' FROM ANY TREE OR PALM.
- WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
- IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE WITH 50% OVERLAP MIN.
- RUST CONTROL SYSTEM TO BE INSTALLED WITH PUMP STATION (IF FROM WELL).
- THE IRRIGATION SYSTEM IN THE RIGHT-OF-WAY IS TO INCORPORATE LOW TRAJECTORY SPRAY HEADS TO MINIMIZE OVERSPRAY.
- AS BUILT DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR AND GIVEN TO THE OWNER PRIOR TO FINAL ACCEPTANCE.

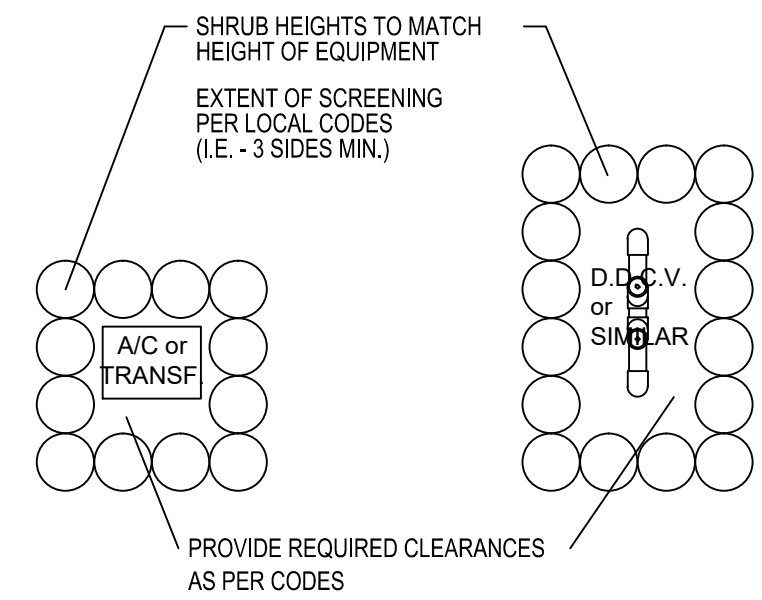
Hyatt House
10234 NW 19th Street
Doral, Florida

PLAN DATE
11/30/2023
FILE: LP-1

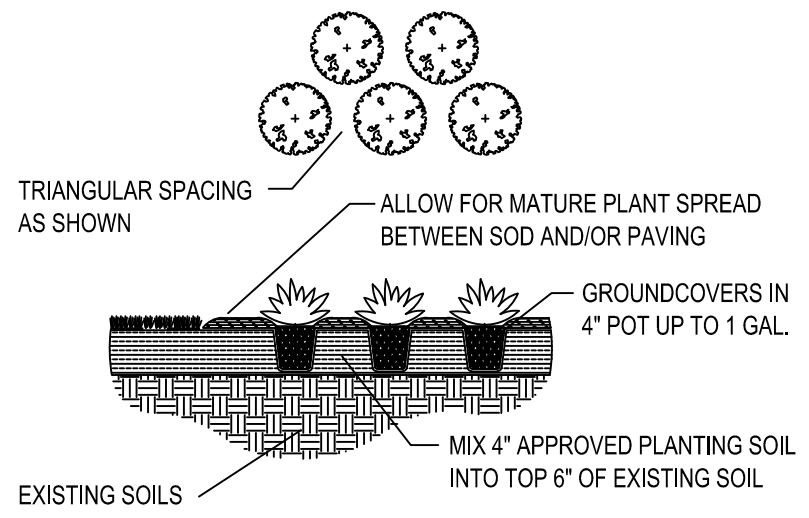
Irrigation Plan
IR-1



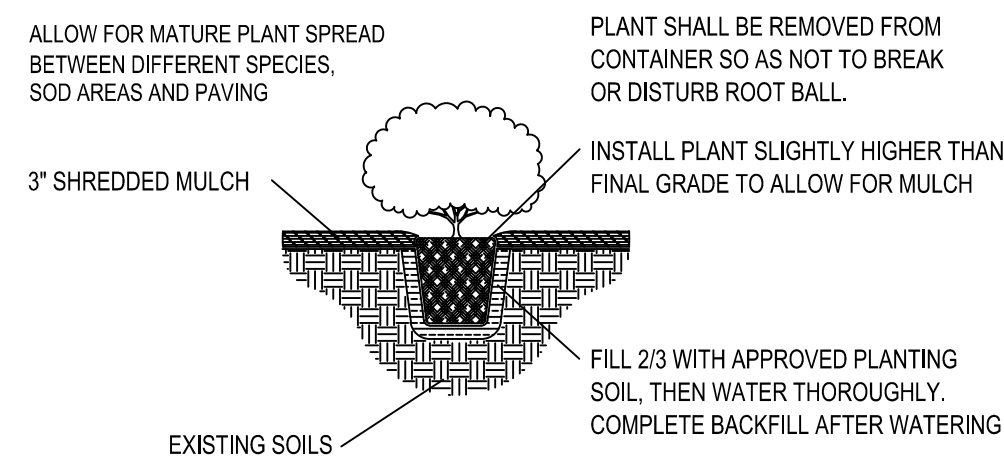
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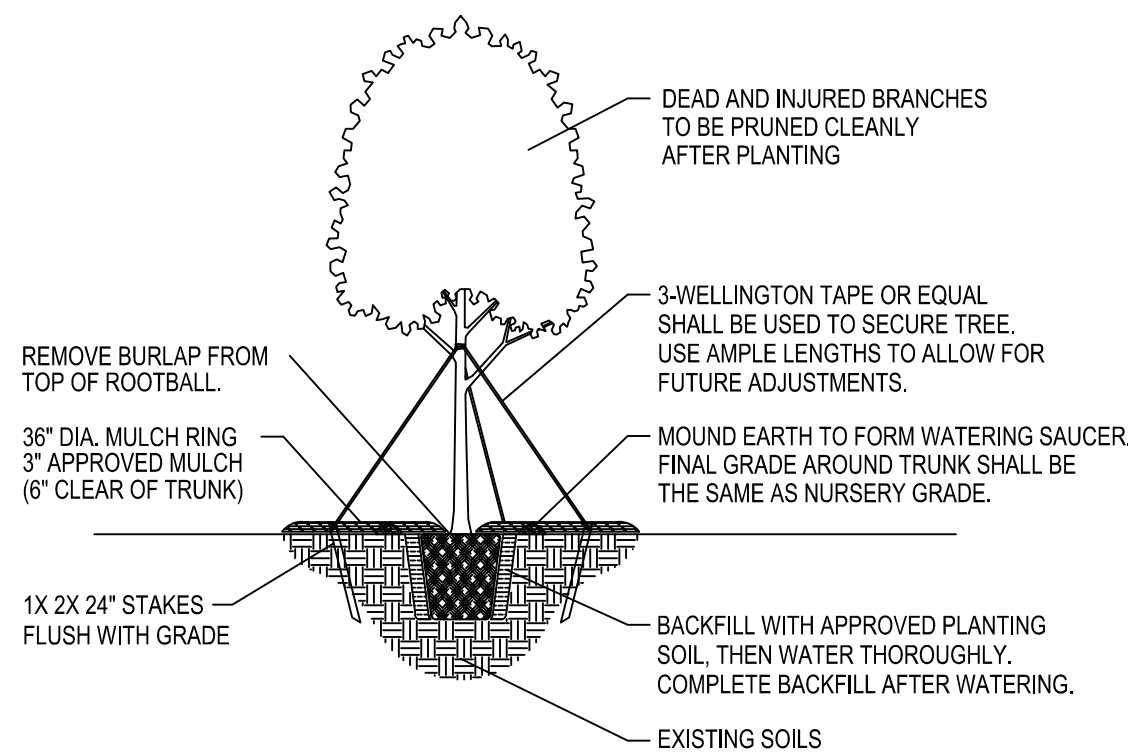
PLANTING DETAIL - UTILITY SCREENING



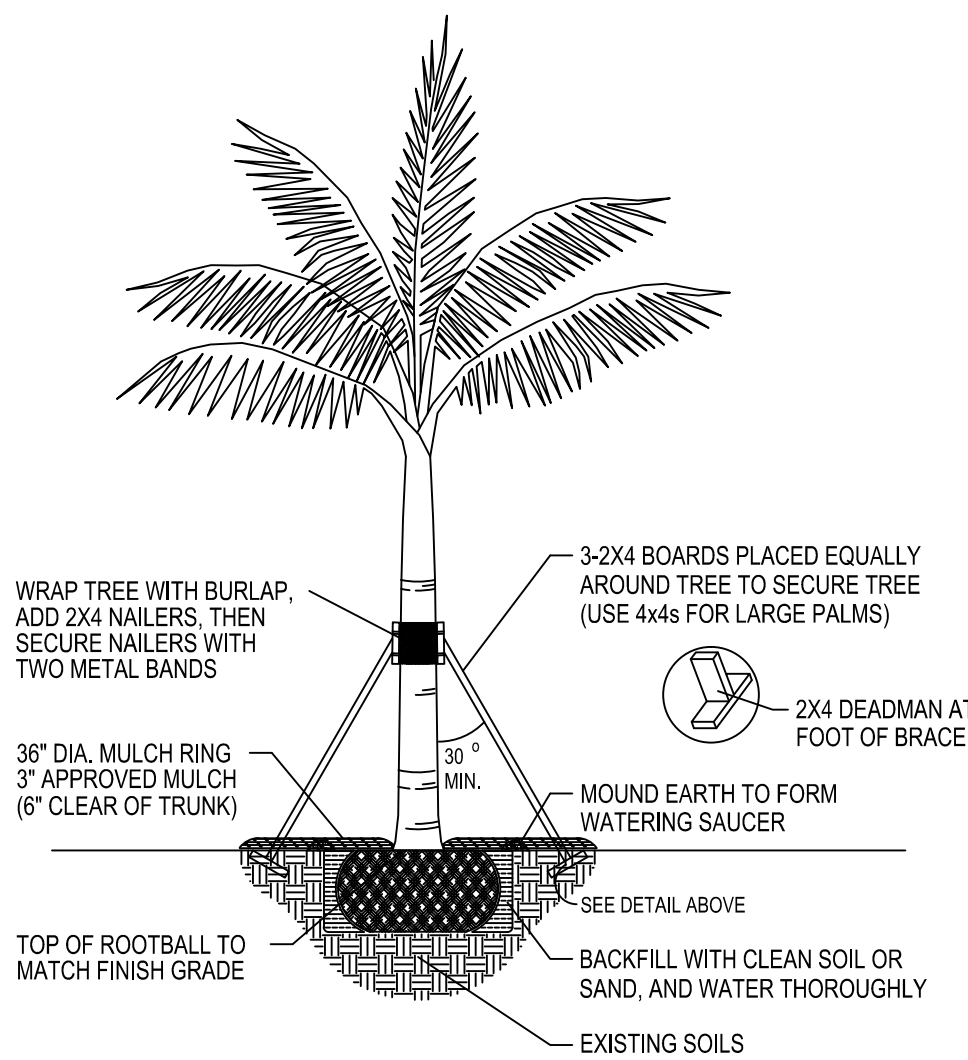
PLANTING DETAIL - GROUNDCOVERS



PLANTING DETAIL - CONTAINER SHRUBS



TREE PLANTING & STAKING DETAIL - SMALL TREES



PALM PLANTING & STAKING DETAIL

LANDSCAPE TABLE

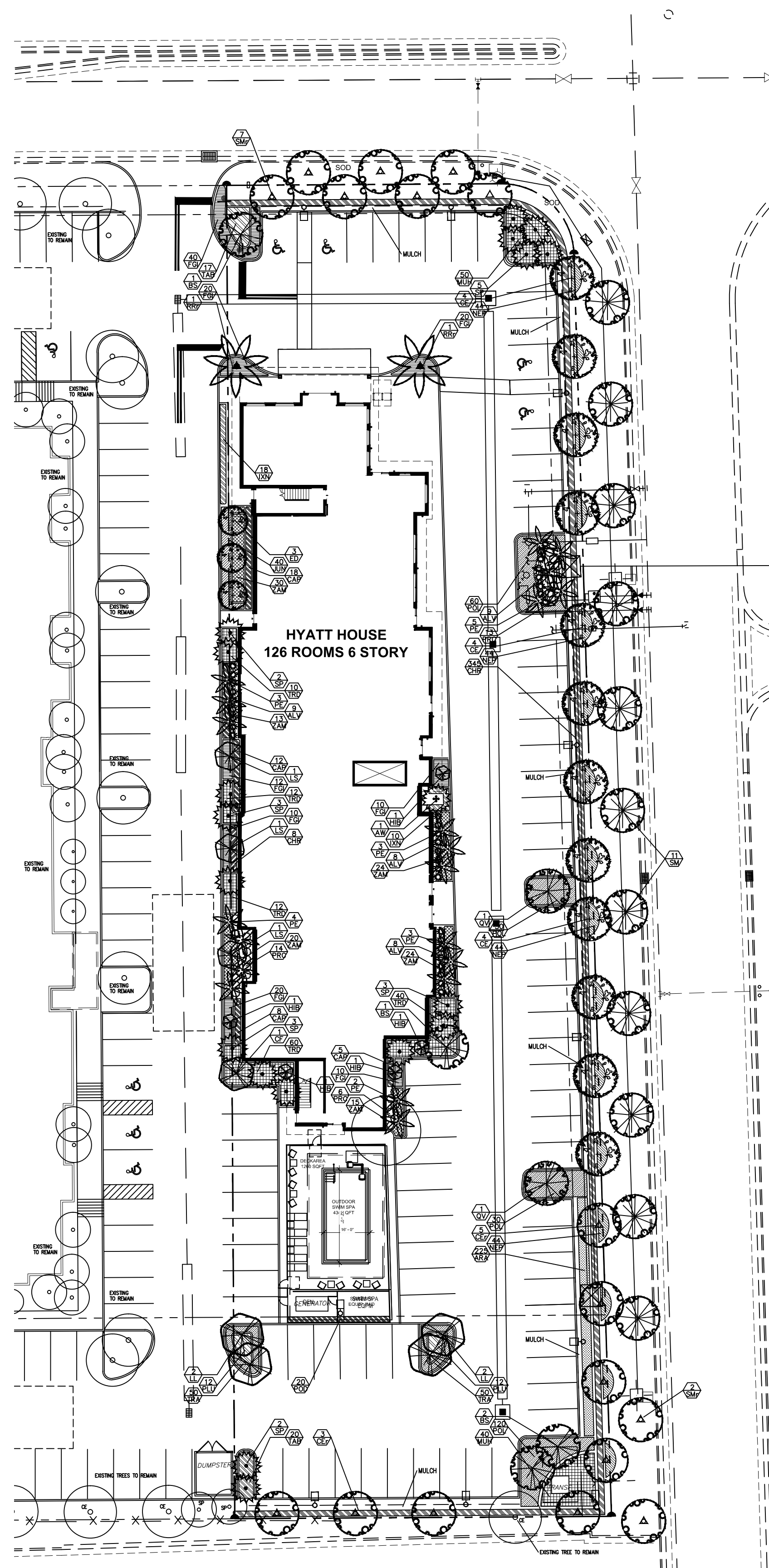
LANDSCAPE REQUIREMENTS					
SECTION	DESCRIPTION / REQUIREMENTS	QUANTITY	REQUIRED	PROVIDED	
71-105	MINIMUM TREE PER LOT AREA 15 TREES PER ACRE	56,949.39 S.F.	1.3 ACRES	20	39**
71-184	NORTH P.L. BUFFERYARD TYPE 1	2 LARGE TREES AND 2 UNDERSTORY PER 100' 20 SHRUBS PER 100'	120 L.F.	2 25	4 60
71-184	SOUTH P.L. BUFFERYARD TYPE 1	2 LARGE TREES AND 2 UNDERSTORY PER 100' 20 SHRUBS PER 100'	130 L.F.	3 26	5 64
71-184	EAST P.L. BUFFERYARD TYPE 1	2 LARGE TREES AND 2 UNDERSTORY PER 100' 20 SHRUBS PER 100'	459 L.F.	9 92	16 230
71-184	WEST P.L. BUFFERYARD TYPE 1	2 LARGE TREES AND 2 UNDERSTORY PER 100' 20 SHRUBS PER 100'	430 L.F.	N/A	N/A
71-213	ONE 14' TREE PER PARKING LOT ISLAND	18 ISLANDS		11	14**
71-213	ONE 14' TREE PER 25' OF LANDSCAPE STRIP			N/A	N/A
			TOTAL TREES	39	39**

* minus driveway ** includes palms

LANDSCAPE LEGEND

ZONING DISTRICT: I	LOT AREA 56,950 s.f.	ACRES 1.3	REQUIRED/ALLOWED	PROVIDED
OPEN SPACE				
A. Square feet of Open Space as required by Chapter 33, as indicated on site plan: Lot Area = (56,951 s.f. x 15%) = 8,543 s.f.			8,543	8,707
B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: Number of parking spaces 100 x 10 s.f. per parking space =			810	810
C. Total square feet of landscaped open space required by Chapter 33: A + B =			9,353	9,353
LAWN AREA CALCULATION				
A. Square feet of landscaped Open Space required by Chapter 33:			9,353	9,353
B. Maximum lawn area (sod) permitted = (2) x 9,353 =			1,871	1,860
TREES				
A. Number of trees required per net lot acre, less existing meeting min requirements 15 trees x 1.3 net lot acres =			20	20
B. % Palms allowed: Number of trees required x 30% = Maximum (2 palms = 1 tree)			7	38**
C. % Natives required: Number of trees required x 50% = Minimum			10	70
D. Street Trees (maximum average spacing of 35' o.c.): 554 linear feet along street / 35 =			16	20
E. Street trees located directly beneath power lines: (maximum average spacing of 25' o.c.): 329 linear feet along street / 25 =			n/a	n/a
F. Total required trees (A+D+E) =			36	40
SHRUBS				
A. Number of shrubs required: Number of trees required x 10 =			380	659
B. % Native shrubs required: Number of shrubs required x 50% =			190	597

** Not counted towards minimum required



scale: 1"=30'-0"

PLANT LIST

TREES AND PALMS		
KEY	QUANTITY	PLANT NAME AND SPECIFICATION
* N AW	1	Acrostichum wrightii (Everglades Palm) 14' ht., 6' spr., full cluster
* N BS	4	Bursera simaruba (Gumbo Limbo) 14' ht., 6' spr., 4" c., full canopy
** N CE	12	Conocarpus erectus (Green Buttonwood) 12' ht., 6' spr., 2.5' c., full canopy
** N CEr	8	Conocarpus erectus (Green Buttonwood) relocated from site
** CF	1	Cassia fistula (Shower of Gold) 12' ht., 6' spr., 2.5' c., full canopy
** ED	3	Elaeocarpus decipiens (Japanese Blueberry) 10' ht., 2.5' c., full canopy
** N LL	4	Lysioloma latisiliqua (Wild Tamarind) 14' ht., 6' spr., 4" c., full canopy
* LS	3	Lagerstroemia speciosa (Queen Crepe Myrtle) 10' ht., 2.5' c., full canopy
* PE	20	Psychosperma elegans (Solitaire Palm) 10, 15 & 20' c.t. Hts., heavy
** N QV	2	Quercus virginiana (Live Oak) 14' ht., 6' spr., 4" c., full canopy
* N RRr	2	Roystonea regia (Royal Palm) relocated from site
** N SP	18	Sabal palmetto (Cabbage Palm) 16, 20, & 26' staggered c.t. Hts., slick
** N SM	11	Swietenia mahagoni (West Indies Mahogany) 12' ht., 6' spr., 3" c., full canopy
** N SMr	9	Swietenia mahagoni (West Indies Mahogany) relocated from site

SHRUBS & GROUNDCOVERS		
KEY	QUANTITY	PLANT NAME AND SPECIFICATION
** ALV	34	Alpina z. 'variegata' (Variegated Shell Ginger) 30" ht., 30" spr., full
** ARA	225	Arachis glabrata (Perennial Peanut) 8" ht., 14" spr., 16" o.c.
** N CAP	43	Capparis cynophallophora (Jamaican Caper) 24" ht., 20" spr., full, 2' o.c.
** N CHR	353	Chrysobalanus icaco (Cocoplum) 24" ht., 20" spr., full, 2' o.c.
** FGI	142	Ficus 'Green Island' 12" ht., 14" spr., full, 18" o.c.; ALT: Shore Juniper
* HIB	5	Hibiscus r. sinensis (Hibiscus Tree) 4-5' ht., 30" spr., full canopy, heavy, tree standard
* IXN	28	Ixora 'Nora Grant' (Pink Ixora) 20" ht., 20" spr., full, 2' o.c.
** JUN	40	Juniperus c. (Shore Juniper) 12" ht., 14" spr., 18" o.c.
** N MUH	90	Muhlenbergia capillaris (Muhly Grass) 24" ht., 24" spr., full, 30" o.c.
** N NEP	176	Nephrolepis exalta (Sword Fern) 12" ht., 14" spr., 2' o.c.
** PLU	24	Plumbago auriculata (Leadwort) 12" ht., 16" spr., full, 2' o.c.; color per owner
** POL	240	Polypodium scolopendria (Wart Fern) 12" ht., 14" spr., 2' o.c.
** POD	20	Podocarpus m. (Podocarpus Hedge) 36" ht., 24" spr., full, 20" o.c.
** PRC	33	Philodendron 'Raja Congo' 20" ht., 20" spr., full, 2' o.c.
** TAB	37	Tabernaemontana spp. (Crape Jasmine) 24" ht., 24" spr., full, 2' o.c.
** TRA	100	Trachelospermum asiaticum 'minima' (Asiatic Jasmine) 12" ht., 14" spr., 18" o.c.
** N TRD	134	Tripsacum floridanum (Dwarf Fakahatchee Grass) 24" ht., 24" spr., full, 2' o.c.
** N ZAM	126	Zamia floridanum (Coontie) 16" ht., 16" spr., full, 2' o.c.

N DENOTES NATIVE SPECIES
** DENOTES HIGH DROUGHT TOLERANT SPECIES
* DENOTES MODERATE DROUGHT TOLERANT SPECIES

NOTES

Sod to be St. Augustine 'Floritam', contractor to determine quantity.
All landscape areas to receive 100% coverage from automatic irrigation system using non-potable water source. Bubblers to be provided for large trees and palms.
Contractor is responsible for all conditions and landscape specifications attached to this plan and plant list. Landscape Plan and specifications shall be considered Contract Documents.

PLANTING SPECIFICATIONS

NOMENCLATURE: All plant material used shall be true to name and size, and shall conform to the Florida Nurserymen's Grades and Standards as Florida Grade #1 or better.
PLANT LISTS: Plant quantities, sizes, and locations shall be determined by plan and plant lists. Plant height and spread shall take precedence over container size. Container size noted is to be considered minimum. Spacing of plant material will be determined by plant lists and details. Quantities shown on plant lists are guideline only. Contractor is responsible for the actual quantities indicated on plans. Discrepancies should be brought to the attention of the Landscape Architect.
SUBSTITUTIONS: Landscape Architect to review and approve any plant substitutions. Substitutions shall be provided as an alternate on proposals.
PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material. Topsoil when suitable, shall be used for the planting of trees and shrubs. The existing soils shall be amended with organic material to reduce the pH levels to between 5 and 6. Amendments are to be incorporated into the planting backfill material. Groundcover beds shall be topped with a minimum 4" of planting soil. The planting soil to be mixed into the existing soils during planting.
SOIL ADDITIVES: Additives such as water absorbing polymers are welcome additions to soils where water retention is a problem.
FERTILIZER: Slow-release granular fertilizer similar to 12-4-12 formula to be applied at planting at manufacturer's recommended application rates. Tree tabs shall be used for all trees and palms.
MULCH: A 3" diameter mulch ring with 3" of approved shredded mulch shall be used around all free-standing trees and palms. Shrub beds shall be mulched with 3" of approved shredded mulch as shown on plan.
PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Large material shall be planted away from overhangs so as not to affect the plant or structure in the future. Unsuitable soil or site conditions are to be brought to the attention of the G.C. and the Landscape Architect.
WATERING: All plant material shall be watered in thoroughly at installation so as to remove air pockets. Watering is the responsibility of the Contractor, and he shall hand water as necessary. A temporary watering systems may be necessary for large material.
GUYING: Proper support of trees and palms during the grow-in period is the responsibility of Contractor. Staking shall be per industry standards. No harm shall be caused by the staking process (i.e. braces are not to be nailed into trees). See attached details for examples.
SOD: Sod shall be dense, green, and well rooted, disease free, and free of weeds, or insects. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be raked smooth and all debris removed prior to installation.
GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.

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SEAL

Michael J. Phillips
FL LA 0001540

REV	DESCRIPTION	DATE

Hyatt House
10234 NW 19th Street
Doral, Florida

PLAN DATE
11/30/2023
FILE: LP-1

Landscape Plan
LP-1

SEAL

Michael J. Phillips
FL LA 0001540

REV	DESCRIPTION	DATE

Hyatt House
10234 NW 19th Street
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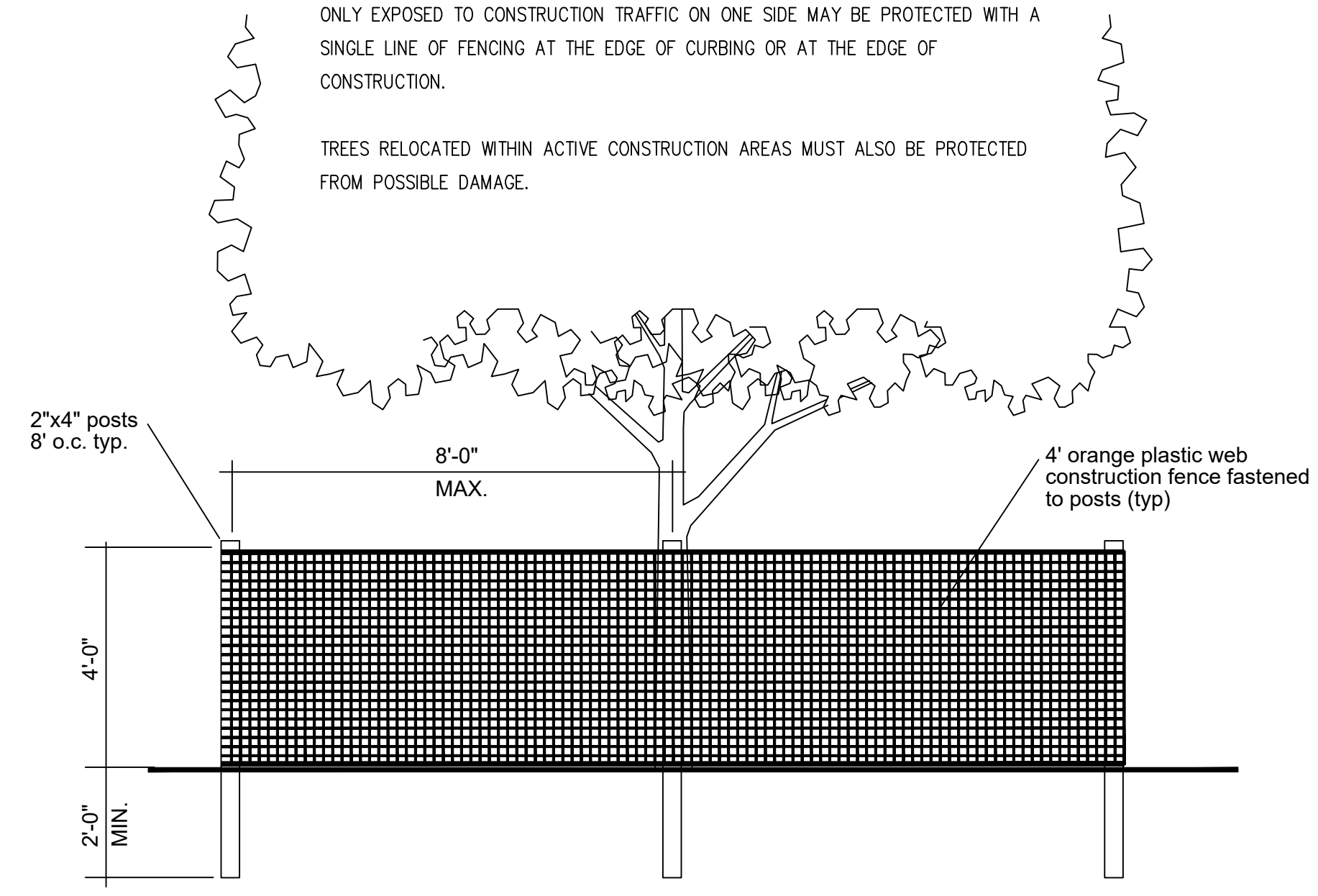
Tree Disposition
Plan
TD-1

ALL TREES INDICATED WITHIN CONSTRUCTION AREAS ARE TO BE PROTECTED FROM ANY POSSIBLE DAMAGE DURING ACTIVE CONSTRUCTION STAGES BY MEANS OF A TEMPORARY CONSTRUCTION FENCE/BARRIER (SEE DETAIL)

THE BARRIER SHALL EXTEND TO THE LIMITS OF THE EXISTING CANOPY (MINIMUM)

TREES LOCATED WITHIN THE INTERIOR ISLANDS SHALL BE ENCLOSED ON ALL SIDES WITH PROTECTIVE FENCING. TREES LOCATED AT THE PERIMETER OF THE SITE AND ONLY EXPOSED TO CONSTRUCTION TRAFFIC ON ONE SIDE MAY BE PROTECTED WITH A SINGLE LINE OF FENCING AT THE EDGE OF CURBING OR AT THE EDGE OF CONSTRUCTION.

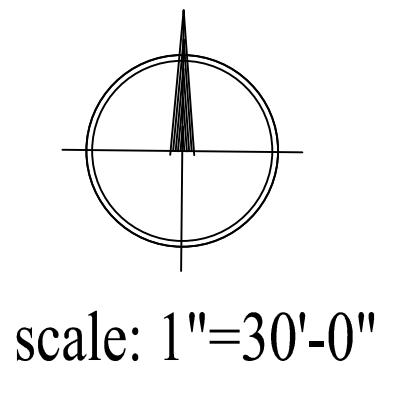
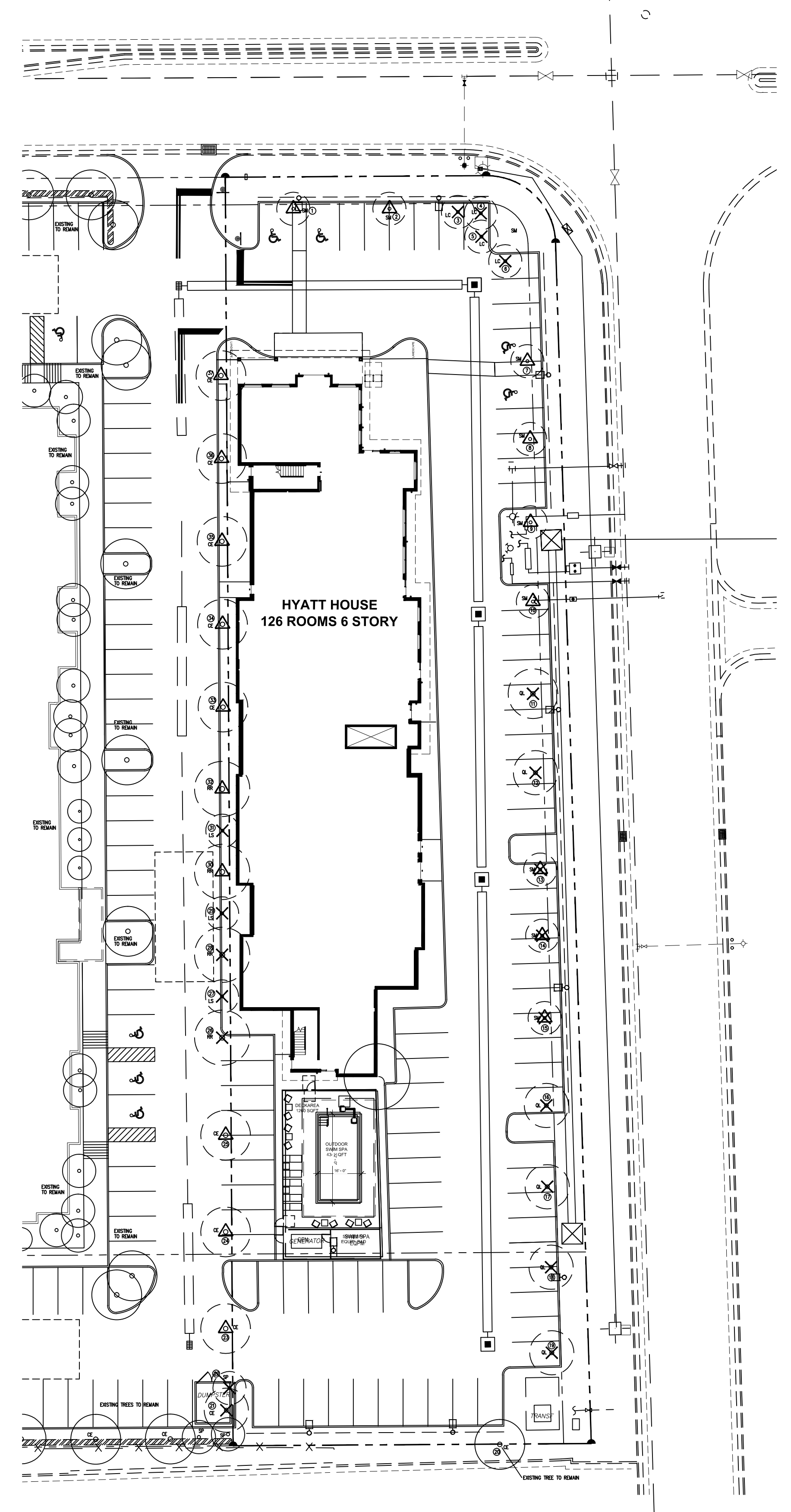
TREES RELOCATED WITHIN ACTIVE CONSTRUCTION AREAS MUST ALSO BE PROTECTED FROM POSSIBLE DAMAGE.



TREE PROTECTION FENCE

EXISTING TREE LIST

NO.	KEY	BOTANICAL AND COMMON NAME	DBH	HT / SPR	COMMENTS	DISPOSITION
1	SM	SWIETENIA MAHAGONII MAHOGANY	2" d.b.h.	12' ht, 6'sp.	good	RELOCATE
2	SM	SWIETENIA MAHAGONII MAHOGANY	2" d.b.h.	12' ht, 6'sp.	good	RELOCATE
3	LC	LIVISTONA CHINENSIS CHINESE FAN	12" d.b.h.	30-40' ht.	good	REMOVE
4	LC	LIVISTONA CHINENSIS CHINESE FAN	12" d.b.h.	30-40' ht.	good	REMOVE
5	LC	LIVISTONA CHINENSIS CHINESE FAN	12" d.b.h.	30-40' ht.	good	REMOVE
6	LC	LIVISTONA CHINENSIS CHINESE FAN	12" d.b.h.	30-40' ht.	good	REMOVE
7	SM	SWIETENIA MAHAGONII MAHOGANY	2" d.b.h.	12' ht, 6'sp.	good	RELOCATE
8	SM	SWIETENIA MAHAGONII MAHOGANY	2" d.b.h.	12' ht, 6'sp.	good	RELOCATE
9	SM	SWIETENIA MAHAGONII MAHOGANY	2" d.b.h.	12' ht, 6'sp.	good	RELOCATE
10	SM	SWIETENIA MAHAGONII MAHOGANY	2" d.b.h.	12' ht, 6'sp.	good	RELOCATE
11	QL	QUERCUS LAURIFOLIA LAUREL OAK	11" d.b.h.	25' ht, 20'sp	fair, dieback, branch damage	REMOVE
12	QL	QUERCUS LAURIFOLIA LAUREL OAK	11" d.b.h.	20' ht, 20'sp	very poor, dieback, br dmg	REMOVE
13	SM	SWIETENIA MAHAGONII MAHOGANY	2" d.b.h.	12' ht, 6'sp.	good	RELOCATE
14	SM	SWIETENIA MAHAGONII MAHOGANY	2" d.b.h.	12' ht, 6'sp.	good	RELOCATE
15	SM	SWIETENIA MAHAGONII MAHOGANY	2" d.b.h.	12' ht, 6'sp.	good	RELOCATE
16	QL	QUERCUS LAURIFOLIA LAUREL OAK	10" d.b.h.	25' ht, 25'sp	fair, dieback, branch damage	REMOVE
17	QL	QUERCUS LAURIFOLIA LAUREL OAK	10" d.b.h.	25' ht, 25'sp	poor, dieback, branch damage	REMOVE
18	QL	QUERCUS LAURIFOLIA LAUREL OAK	13" d.b.h.	30' ht, 30'sp	fair, dieback, branch damage	REMOVE
19	QL	QUERCUS LAURIFOLIA LAUREL OAK	14" d.b.h.	35' ht, 30'sp	fair, dieback, branch damage	REMOVE
20	CE	CONOCARPUS ERECTUS BUTTWOOD	11" d.b.h.	20' ht, 20'sp	fair, branch damage	REMAIN
21	CE	CONOCARPUS ERECTUS BUTTWOOD	3" d.b.h.	15' ht, 8'sp	good	REMOVE
22	SP	SABAL PALMETTO CABBAGE PALM	11" d.b.h.	14 c.t., 11'sp	good	REMOVE
23	CE	CONOCARPUS ERECTUS BUTTWOOD	3" d.b.h.	15' ht, 8'sp	good	RELOCATE
24	RR	ROYSTONIA REGIA ROYAL PALM	16" d.b.h.	16' c.t., 18'sp	good	RELOCATE
25	CE	CONOCARPUS ERECTUS BUTTWOOD	3" d.b.h.	15' ht, 8'sp	good	RELOCATE
26	RR	ROYSTONIA REGIA ROYAL PALM	16" d.b.h.	16' c.t., 18'sp	good	RELOCATE
27	LS	LAGERSTROEMIA SPECIOSA Q. CRAPE MYRTLE	2.5" d.b.h.	12' ht, 6'sp	good	RELOCATE
28	RR	ROYSTONIA REGIA ROYAL PALM	16" d.b.h.	16' c.t., 18'sp	good	RELOCATE
29	LS	LAGERSTROEMIA SPECIOSA Q. CRAPE MYRTLE	2.5" d.b.h.	12' ht, 6'sp	good	RELOCATE
30	RR	ROYSTONIA REGIA ROYAL PALM	16" d.b.h.	16' c.t., 18'sp	good	RELOCATE
31	LS	LAGERSTROEMIA SPECIOSA Q. CRAPE MYRTLE	2.5" d.b.h.	12' ht, 6'sp	good	RELOCATE
32	RR	ROYSTONIA REGIA ROYAL PALM	16" d.b.h.	16' c.t., 18'sp	good	RELOCATE
33	CE	CONOCARPUS ERECTUS BUTTWOOD	3" d.b.h.	15' ht, 8'sp	good	RELOCATE
34	CE	CONOCARPUS ERECTUS BUTTWOOD	3" d.b.h.	15' ht, 8'sp	good	RELOCATE
35	CE	CONOCARPUS ERECTUS BUTTWOOD	3" d.b.h.	15' ht, 8'sp	good	RELOCATE
36	CE	CONOCARPUS ERECTUS BUTTWOOD	3" d.b.h.	15' ht, 8'sp	good	RELOCATE
37	CE	CONOCARPUS ERECTUS BUTTWOOD	3" d.b.h.	15' ht, 8'sp	good	RELOCATE



STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

A. GENERAL NOTES

- ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN PLANS ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION AS DETAILED IN THE FOOT STANDARDS.
- ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH FDEP NPDES REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
- ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.
- CONTRACTOR'S SUBMITTALS: THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE FOLLOWING ITEMS TO FDEP IN ORDER FOR THE NPDES PERMIT TO BE PROCESSED:
 - IF THIS SWPPP IS ADOPTED BY THE CONTRACTOR, THE SWPPP SHEETS AND OTHER PLAN SHEETS SHALL BE INCLUDED BY REFERENCE IN THE NOTICE OF INTENT (NOI) SUBMITTAL. THE CONTRACTOR MAY ELECT TO SUBMIT A REVISED SWPPP THAT IS IN COMPLIANCE WITH THE STORM WATER REGULATIONS 40 CFR 42.200 (14) AND STATE WATER QUALITY STANDARDS.
 - SIGNED CONTRACTOR CERTIFICATION FORMS (2). THESE FORMS MUST BE SIGNED BY BOTH THE PRIME CONTRACTOR AND SUB-CONTRACTOR (IF APPLICABLE) PERFORMING SOIL DISTURBING ACTIVITIES.
 - HAZARDOUS MATERIAL SPILL CONTROL PLAN.
 - STAGING AREAS, STOCKPILE LOCATIONS AND STABILIZATION PRACTICES.
 - BRIDGE CONSTRUCTION METHOD AND SEQUENCING (IF APPLICABLE).
 - DEWATERING PLAN (IF APPLICABLE).
- NO SOIL DISTURBING ACTIVITIES CAN BE CONDUCTED UNTIL THE NPDES PACKAGE HAS BEEN MAILED TO THE FDEP.
- ANY DAMAGED OR INEFFECTIVE BAGS ARE TO BE REPLACED WITH NEW ONES. THE LOCATION OF ROCK BAG INSTALLATION IS AS MENTIONED IN EROSION CONTROL PLANS. THE PROJECT ENGINEER MAY SPECIFY OTHER AREAS AS NECESSARY.
- DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP.
- COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE FROM OTHER AREAS.
- CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION 104" FDOT STANDARDS SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION.
- STOCKPILED MATERIALS SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER AND/OR OTHER APPROPRIATE EROSION CONTROL MEASURES.
- INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
- ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPALLY SEPARATE STORM SEWER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES SHALL HAVE EROSION CONTROLS PROVIDED FOR THOSE INLETS.
- THE AGGREGATE LAYER OF ALL CONSTRUCTION ENTRANCE GRAVEL BEDS MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. THE ENTRANCE MUST WIDEN AT ITS CONNECTION TO THE ROADWAY IN ORDER TO ACCOMMODATE THE TURNING RADIUS OF LARGE TRUCKS.

B. SITE DESCRIPTION

- CONSTRUCTION ACTIVITY: LAND DEVELOPMENT, FILLING, DRAINAGE AND UTILITY INSTALLATION, BUILDING AND ROAD CONSTRUCTION.
PROJECT LIMITS: N.W. 19TH STREET ON THE NORTH, PRIVATE PROPERTY ON THE SOUTH & WEST, AND 102ND AVENUE ON THE EAST.
PROJECT DESCRIPTION: LAND DEVELOPMENT AT THE HYATT DORAL. PROJECT SITE WILL INCLUDE CLEARING AND GRUBBING, CONSTRUCTION OF (1) HOTEL BUILDING WITH AT-GRADE PARKING, THE PROPOSED DRAINAGE SYSTEM WILL CONSIST OF EXFILTRATION TRENCHES.
- MAJOR SOIL DISTURBING ACTIVITIES: DEMOLITION, CLEARING AND GRUBBING, EXCAVATION FOR STORMWATER FACILITIES AND OTHER UTILITIES, AND, BUILDING FOUNDATIONS & CONSTRUCTION.
- TOTAL PROJECT AREA - 1.30 ACRES
TOTAL AREA TO BE DISTURBED - 1.30 ACRES
- LOCATIONS OF DRAINAGE AREAS AND OUTFALLS: SEE ATTACHED PLAN.
- NO SOIL DISTURBING ACTIVITIES CAN BE CONDUCTED UNTIL THE NPDES PACKAGE HAS BEEN MAILED TO THE FDEP. THE CONTRACTOR'S MODIFIED SWPPP MUST ALSO RECEIVE APPROVAL FROM FDOT PERMITS OFFICE PRIOR TO IMPLEMENTATION.
- AREA OF DISCHARGE FOR THIS PROJECT IS 1.30 ACRES = 56,922 SF.
- SOILS ARE CLASSIFIED AS URBAN LAND AND QUALITY OF DISCHARGE IS LIMEROCK FILL AND SAND.
- LATITUDE AND LONGITUDE OF DIRECT DISCHARGE POINT IS NOT APPLICABLE SINCE THIS IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, LATITUDE AND LONGITUDE OF THIS PROJECT AS INDICATED IN THE NAD 83 IS 25°47'25.70"N/80°21'39.89"W AND LATITUDE AND LONGITUDE OF THE NEARBY CANAL IS 25°47'21.87"N/80°21'45"W.

C. CONTROLS

- NARRATIVE - SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS.
CONSTRUCTION OF THE HYATT DORAL PROJECT IS TO BE BOUNDED BY N.W. 19TH STREET ON THE NORTH, PRIVATE PROPERTY ON THE SOUTH AND WEST, N.W. 102ND AVENUE ON THE EAST.
PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, ALL EROSION CONTROLS MUST BE IMPLEMENTED.
TEMPORARY STABILIZATION: DISTURBED PORTIONS OF THE SITE (E.G. EMBANKMENT AT TEMPORARY RAMPS) WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SOIL OR TEMPORARY SEEDING AND MULCHING NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
PERMANENT STABILIZATION: DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOIL NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.
- | | |
|--|--|
| 1. EROSION AND SEDIMENT CONTROLS: | OTHER: |
| (1) STABILIZATION PRACTICES: | (2) STRUCTURAL PRACTICES: |
| X TEMPORARY SOODING | X SAND BAGGING |
| X TEMPORARY GRASSING | X SILT FENCES |
| X PERMANENT SOODING, SEEDING OR SEED & MULCH | X ROCK BAGS |
| X TEMPORARY MULCHING | X BERMES |
| X ARTIFICIAL COVERING | X DIVERSION, INTERCEPTOR, OR PERIMETER DITCHES |
| X BUFFER ZONES | X PIPE SLOPE DRAINS |
| X PRESERVATION OF NATURAL RESOURCES | X FLUMES |
| | X ROCK BEDDING AT CONSTRUCTION EXIT |
| | X TIMBER BEDDING AT CONSTRUCTION EXIT |
| | X DITCH LINER |
| | X SEDIMENT TRAPS (DURING DE-WATERING) |
| | X SEDIMENT BASINS |
| | X STORM INLET SEDIMENT TRAP |
| | X STONE OUTLET STRUCTURES |
| | X CURBS AND GUTTERS |
| | X STORM SEWERS |
| | X VELOCITY CONTROL DEVICES |
| | X TURBIDITY BARRIER |
| | X RIP RAP |

- DESCRIPTION OF STORM WATER MANAGEMENT: THE STORMWATER MANAGEMENT SYSTEM CONSISTS OF RAINWATER LEADERS AND AREA DRAINS THAT CONVEY STORMWATER INTO EXFILTRATION TRENCHES AND DRIFT TANKS THAT TREAT THE WATER QUALITY REQUIREMENTS AND DRAINAGE WELLS THAT TREAT THE WATER QUANTITY REQUIREMENTS.

- OTHER CONTROLS:

(1) WASTE DISPOSAL:	(2) OFFSITE VEHICLE TRACKING:
X IN APPROVED FERTILIZER AREAS PROVIDED BY THE CONTRACTOR.	X HAIL BROWS (BARRIERS) FOR DUST CONTROL
	X LOADED HAUL TRUCKS TO BE COVERED WITH TARP/AULIN
	X EXCESS DIRT ON ROAD REMOVED DAILY
	X STABILIZED CONSTRUCTION ENTRANCE

- OTHER:
- SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION OF A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
 - FERTILIZERS AND PESTICIDES: FERTILIZER TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. IF STORED ON-SITE, STORAGE WILL BE IN COVERED SHED. THE CONTENT OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEPARATE PLASTIC BIN TO AVOID SPILLS.
 - NON-STORM WATER DISCHARGE (INCLUDING SPILL REPORTING): THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SPILLS TO MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER). DEWATERING IS NOT ANTICIPATED.

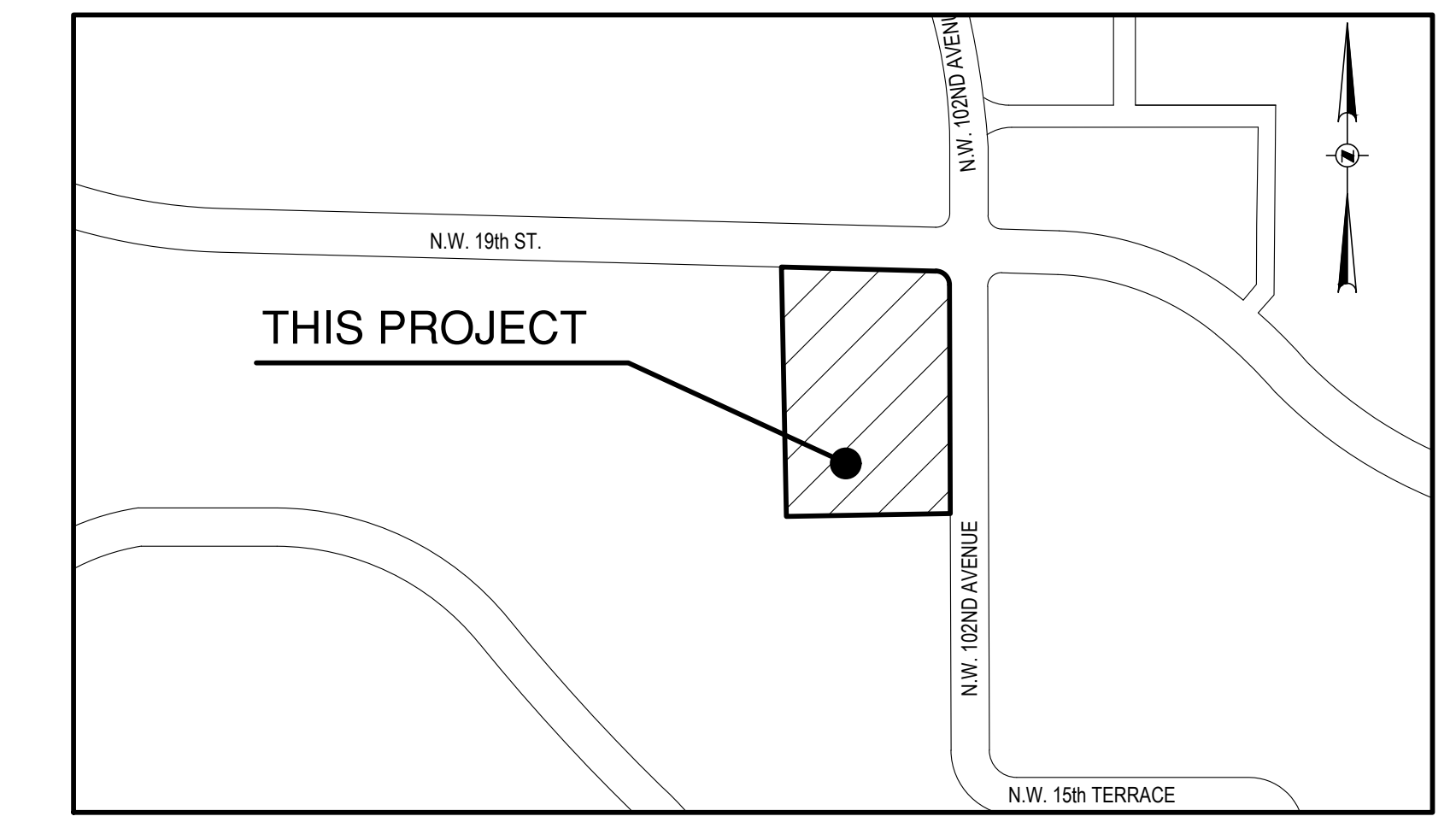
- REMARKS: IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED OR HAZARDOUS SPILLS OCCUR DURING CONSTRUCTION THE MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER) SHALL BE CONTACTED AT THEIR HOTLINE: (305) 372-8955.
- APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS: CITY OF DORAL BUILDING DEPARTMENT, MIAMI DADE COUNTY RER, AND FLORIDA DEPARTMENT OF TRANSPORTATION.

D. MAINTENANCE

ITEM:	SILT FENCE	MAINTENANCE:	ALL CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING CONSTRUCTION. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S DAILY INSPECTION REPORT.
CONSTRUCTION ENTRANCE:	GRAVEL BED	WHEN THE CONSTRUCTION ENTRANCE GRAVEL BEDS BECOME LOADED WITH SEDIMENT'S, NETWORK BAGS TO DISPLACE SEDIMENT LOAD AND RE-ESTABLISH EFFECTIVENESS OF THE GRAVEL BEDS.	

E. INSPECTION

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FEATURES AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5" OR GREATER. IN ADDITION, A DAILY REVIEW OF THE LOCATION OF SILT FENCES SHALL BE MADE IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CHANGED THE NATURAL CONTOUR AND DRAINAGE RUNOFF. IN ORDER TO INSURE THAT SILT FENCES AND OTHER EROSION CONTROL DEVICES ARE PROPERLY LOCATED FOR EFFECTIVENESS, A FORM ACCEPTABLE TO THE FDEP WILL BE USED TO REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. EACH INSPECTION REPORT SHALL BE SIGNED AND SUBMITTED WEEKLY TO THE PROJECT ENGINEER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S INSPECTION REPORT.

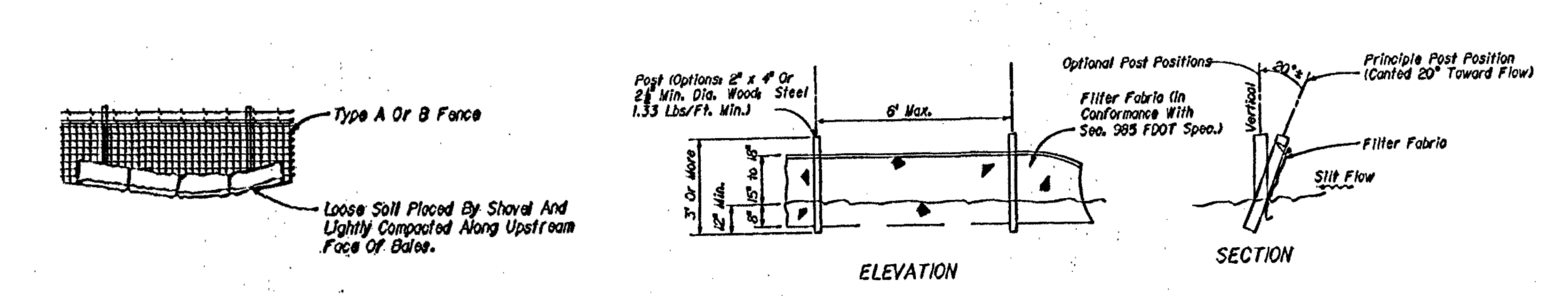


LOCATION SKETCH
SCALE: 1" = 300'

LEGAL DESCRIPTION

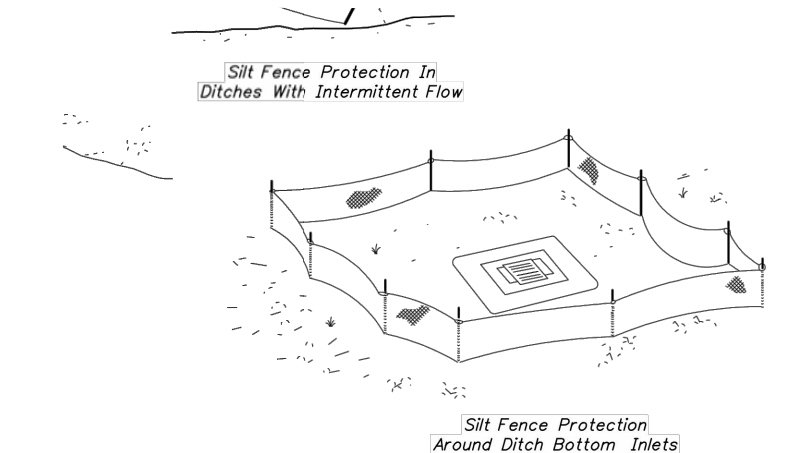
LAND DESCRIPTION: TRACT "B", "GREAT SPRINGS AT I.C.P.", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 158, PG. 94, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SECTION 32, TOWNSHIP 53 SOUTH, RANGE 40 EAST, LESS THE WEST 455.34 FEET THEREOF.

SWPPP - DETAILS



BALES BACKED BY FENCE
N.T.S.

TYPE III SILT FENCE DETAIL
(FDOT INDEX 102)



SILT FENCE APPLICATIONS

- NOTES FOR SILT FENCES
- Type III Silt Fence to be used at most locations. Where used in ditches, the spacing between Silt Fence shall be in accordance with Chart 10-200 (1).
 - Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where flow rate is 2.0 cfs or greater and depth of water exceeds 20" high, and use where the sediment water may back into the ditch or into the ditch.
 - The most economical silt fence across pavement/curb openings: Silt fences are to be 30' or longer and installed at pavement/curb openings.
 - Where used on steep embankment, Silt Fence is to be constructed on 0% longitudinal grade to avoid slippage and to maintain the length of the fence.
 - Silt Fence to be paid for under the contract unit price for Staked Silt Fence, (S1).

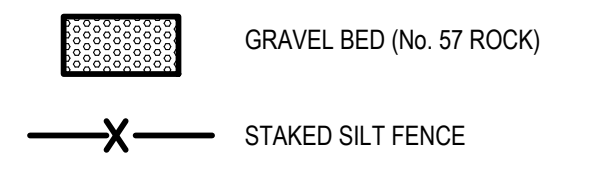
SILT FENCE APPLICATIONS

N.T.S.

STORM WATWER POLLUTION PREVENTION PLAN

SCALE: 1" = 30'

LEGEND



- NOTES:
- PERIMETER CONSTRUCTION FENCE SHALL BE PROVIDED WITH WIND SCREEN TO MAINTAIN SUFFICIENT DUST CONTROL.
 - INSTALLATION OF ANY STAKED SILT FENCE SHALL BE IN ACCORDANCE WITH FDOT, INDEX NO. 102, LATEST EDITION.
 - INSTALLATION OF EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH FDOT, INDEX NO. 102, LATEST EDITION.
 - INSTALLATION OF HAY BALES SHALL BE IN ACCORDANCE WITH FDOT, INDEX NO. 102, LATEST EDITION.
 - PLACEMENT OF ROCK BAGS (IF USED) SHALL BE IN ACCORDANCE WITH FDOT, INDEX NO. 102, LATEST EDITION.

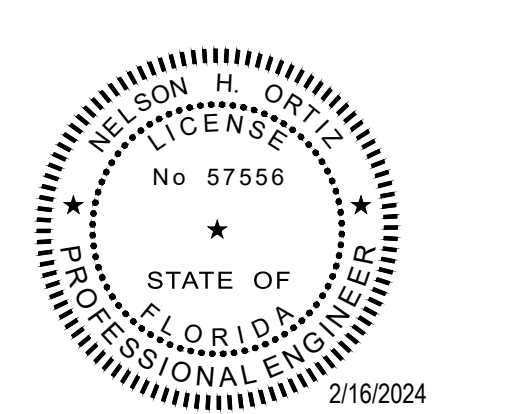
- OTHER:
- SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION OF A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
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- APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS: CITY OF DORAL BUILDING DEPARTMENT, MIAMI DADE COUNTY RER, AND FLORIDA DEPARTMENT OF TRANSPORTATION.



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305 / 378 5555
305 / 279 4553 fax
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CERTIFICATE OF AUTHORIZATION NO. 4270
SEAL / SIGNATURE:



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
PE-57556

PROJECT TITLE:
HYATT HOUSE
10234 NW 19 STREET
DORAL, FLORIDA
Folio No.

BAYWOOD HOTEL
3785 N.W. 82nd AVENUE, SUITE 204
MIAMI, FLORIDA 33166

NO.	DATE	REVISIONS	BY
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PROJECT INFORMATION:
PROJECT NUMBER: 2023-7020
DATE: 09-21-2023
DRAWN BY: ZH
CHECKED BY: T.G.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE:
STORMWATER POLLUTION PREVENTION PLAN, DETAILS AND NOTES

SHEET NUMBER:



SWPPP