

**RESOLUTION No. 22-44**

**A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR EL CAR WASH TO BE LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF NW 27 STREET AND NW 87 AVENUE PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, on November 2, 2016, the City of Doral (the "City") adopted Ordinance No. 2016-29 amending the City's Land Development Code to establish procedures for the Mayor and City Council site plan review and approval process; and

**WHEREAS** National Express Wash, LLC (the "Applicant") has submitted an application for Mayor and Council Site Plan review and approval for El Car Wash for the property located at the northeast corner of the intersection of NW 27 Street and NW 87 Avenue, further identified by folio numbers 35-3027-051-0020 and portion of 35-3027-051-0035, as legally described in "Exhibit A"; and

**WHEREAS**, a zoning workshop was held on December 2, 2021, at which meeting the public was afforded an opportunity to examine the project and provide feedback; and

**WHEREAS**, the City of Doral staff finds that the proposed site plan complies with the requirements and standards of the City's Land Development Code; and

**WHEREAS**, after notice of public hearing duly published and notifications of all property owners of record within 500-foot radius, a public hearing was held before the Mayor and City Council of the City of Doral on March 23, 2022, at which hearing all interested persons were afforded the opportunity to be heard; and

**WHEREAS**, the Mayor and City Council of the City of Doral find the adoption of this Resolution is in the best interest of the health, safety and welfare of the residents of

the City of Doral.

**NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:**

**Section 1. Recitals.** The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

**Section 2. Approval.** The Mayor and City Council hereby approve the site plan for El Car Wash for the property located at the northeast corner of the intersection of NW 27 Street and NW 87 Avenue, further identified by folio numbers 35-3027-051-0020 and portion of 35-3027-051-0035, as legally described in “Exhibit A,” pursuant to section 53-184(f) of the City’s Land Development Code. The site plan consists of a 7,815 sq. ft. automatic car wash facility. A copy of the site plan is provided in “Exhibit B.” The approval of the site plan is subject to the following conditions. Violation of these conditions may result in a code compliance citation or the revocation of this Resolution.

1. The proposed project shall be built in substantial compliance with the plans entitled “National Express Wash Doral,” prepared by Fanjul & Associates, LLC, dated stamped received February 16, 2022.
2. The project shall be landscaped in accordance with the landscape plan, prepared by Andrew M. Witkin, dated stamped received February 16, 2022 as amended, and included with the site plan submittal.
3. Compliance with Ordinance No. 2015-09 “Public Arts Program” will be required at the time of building permit. No final approval, such as a final inspection or a certificate of occupancy, for development projects subject to the City’s public arts program requirements shall be issued unless one or more of the following has been achieved:
  - I. The approved art has been installed in a manner that is [in] compliance with the requirements set forth in this ordinance and the public arts program guidelines; or
  - II. All in-lieu art fees have been paid; or
  - III. Financial security (including but not limited to a performance bond, letter of credit, or similar instrument) in an amount equal to the acquisition and installation costs of an approved art selection, has been provided to the

- City in a form approved by the City Attorney and the City Manager, or his/her designee and placed into escrow account; or
- IV. Donation of art which have been approved by the board are delivered by the applicant to the City, and are accepted by the City in accordance with this ordinance.

For purposes of the art program, "artwork" does not include the following:

- a. Directional elements, such as signage or graphics.
  - b. Objects that are mass produced in standard designs.
  - c. Landscape gardening, unless substantially comprising durable.
4. That the Applicant comply with the City's Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the Land Development Code.
  5. That the Applicant provide the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
  6. That the property owner maintain the public rights-of-way adjacent to the property. Maintenance includes trees, plants, sod, and sidewalks within the rights-of-way.
  7. A Stormwater Pollution Prevention Plan (SWPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
  8. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP), Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.
  9. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."
  10. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
  11. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.

12. All applicable local, state and federal permits must be obtained before commencement of the development.
13. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

**Section 3. Effective Date.** This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Councilmember Mariaca who moved its adoption. The motion was seconded by Councilmember Puig-Corve and upon being put to a vote, the vote was as follows:

Mayor Juan Carlos Bermudez	Yes
Vice Mayor Digna Cabral	Yes
Councilman Pete Cabrera	Yes
Councilwoman Claudia Mariaca	Yes
Councilman Oscar Puig-Corve	Yes

PASSED AND ADOPTED this 23 day of March, 2022.

  
\_\_\_\_\_  
JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:

  
\_\_\_\_\_  
CONNIE DIAZ, MMC  
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY  
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

  
\_\_\_\_\_  
LUIS FIGUEREDO, ESQ.  
CITY ATTORNEY

# EXHIBIT “A”

**EXHIBIT A**

**LEGAL DESCRIPTION OF SUBJECT PROPERTY**

Tract "H", less the North 22.12 feet of TRANSAL CORPORATE PARK AMENDED, according to the plat thereof, as recorded in Plat Book 149, at Page 64, of the Public Records of Miami-Dade County, Florida.

AND

The West 129 feet of Tract "I" of "TRANSAL CORPORATE PARK AMENDED", according to the plat thereof, as recorded in Plat Book 149, at Page 64, of the Public Records of Miami-Dade County, Florida, LESS the North 145 feet thereof.

Containing an area of 65,905 Square Feet or 1.51 Acres, more or less, by calculations.

# EXHIBIT “B”

CITY OF DORAL ZONING: CC CORRIDOR COMMERCIAL DISTRICT

Sec. 68-383. (9) CAR WASH - Automatic Dragline Car Wash

LOT OCCUPATION		REQUIRED		PROVIDED	
a.	Net Lot Area	43560	1 Acre	65905	1.51
b.	Lot Frontage	100'		165'	
c.	Lot Coverage (Deed Max)	0.40		4296	7%
d.	Floor Area Ratio (FAR) .4+ .11	0.50		7510	11%
e.	Landscape Pervious	17.0%		17523	27%
f.	Building Height	6 stories			

BUILDING SETBACK		REQUIRED		PROVIDED	
a.	Front	87 Ave	20'	97.00'	
b.	Side Street	NW 27 STREET	15'	78.16'	
c.	Rear		5'/15'	165.58'	
d.	Interior Side		5'/15'	43.16'	

PARKING		REQUIRED		PROVIDED	
a.	Carwash (Commercial Not Listed)	Parking Ratio	Area SF	Spaces	Spaces
b.	Office Area	3/2500+1/500	4,296	7	24
c.	TOTAL CAR WASH PARKING	1/300	3,214	11	11
d.	ADA	1/25	1	3	35
e.	Bicycle Rack (1/20 Spaces)	1/20	2	3	3
f.	Existing East Parking Area	N/A		2	22
TOTAL PARKING					57



ARTFUL & ASSOCIATES, LLC  
ARCHITECTURE, PLANNING & INTERIOR DESIGN

AA26000725

ARTURO G. FANJUL, RA  
PRESIDENT

165 MADEIRA AVENUE SUITE 7  
CORAL GABLES, FLORIDA 33134

PH. 305 726.8313  
FAX 305 356.3686

arturo@fanjularchitects.com

"A BETTER LIFE THROUGH DESIGN"

Arturo G Fanjul 2022.02.14 18:31:07 -0500



ARTURO G. FANJUL AR0017585  
STATE OF FLORIDA REGISTERED ARCHITECT

DESIGN CONSULTANTS



CONCEPTUAL SITE PLAN DESIGN

NATIONAL EXPRESS WASH DORAL

2753 NW 87 AVE  
DORAL, FL

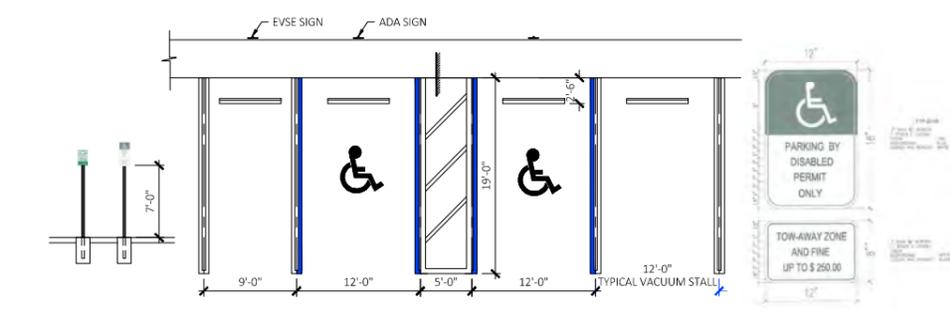
CONCEPTUAL SITE PLAN

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REWORK 12.22.2021	
REWORK 2.10.2022	

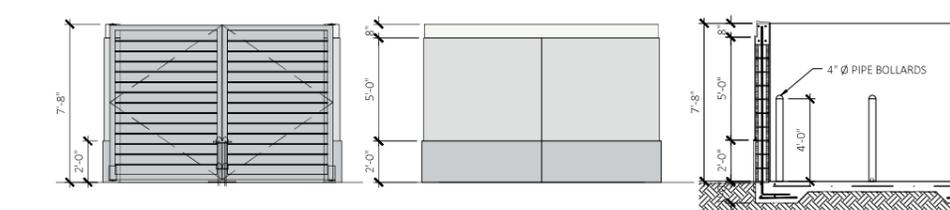
DATE:	9/20/2021
SCALE:	As NOTED
DRAWN:	AGF
CHECKED:	AGF
JOB NO.	21-0508
PERMIT NO.	

OWNERSHIP  
OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

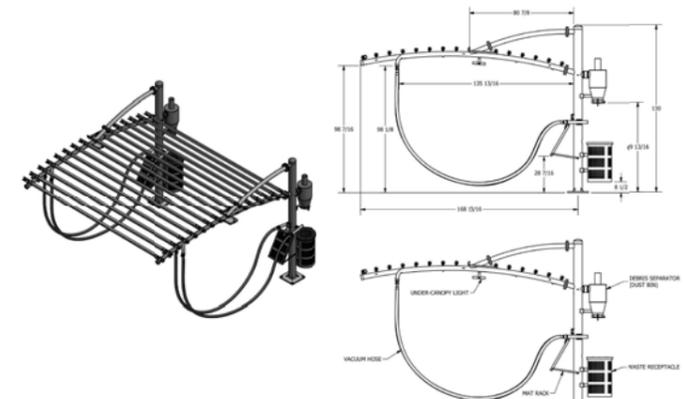
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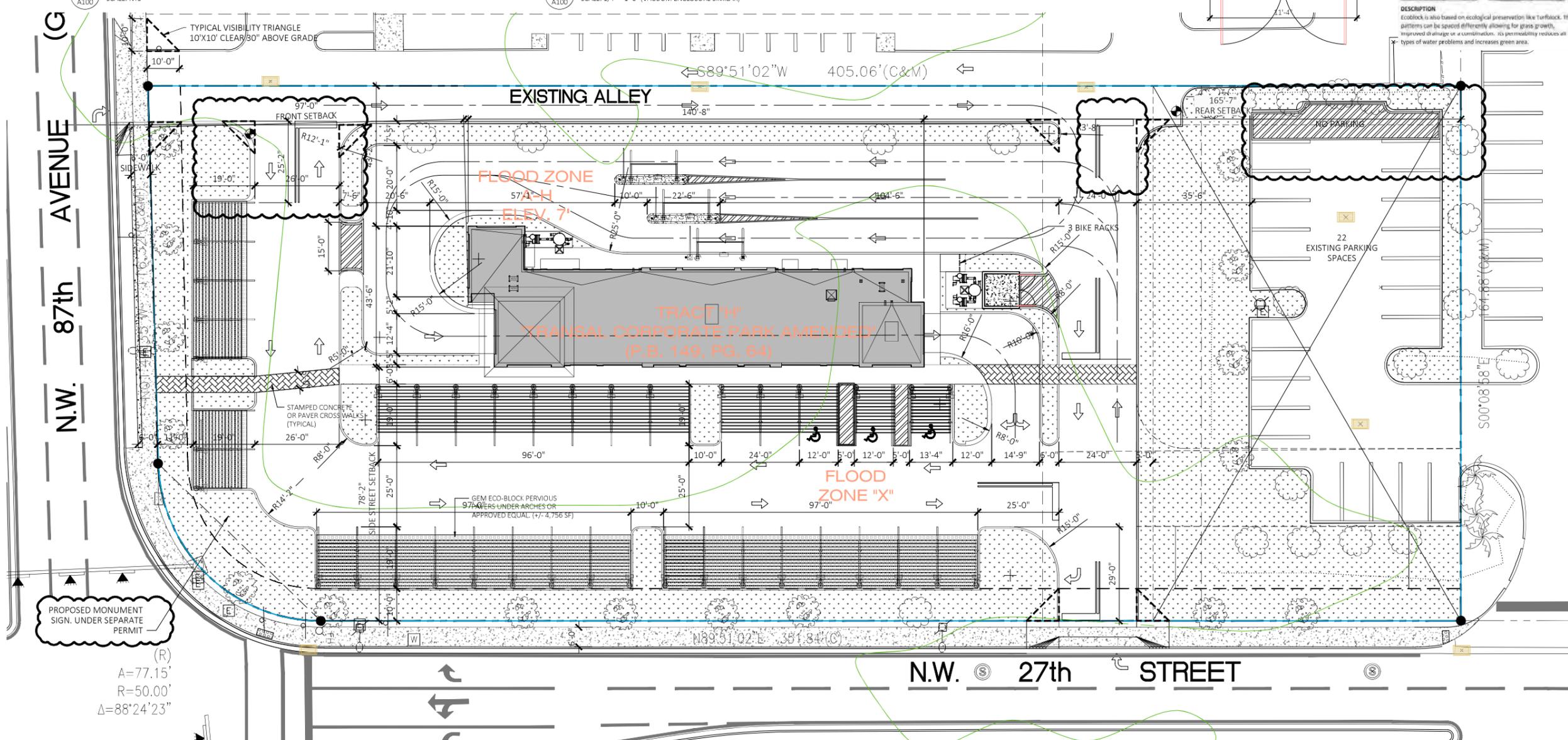
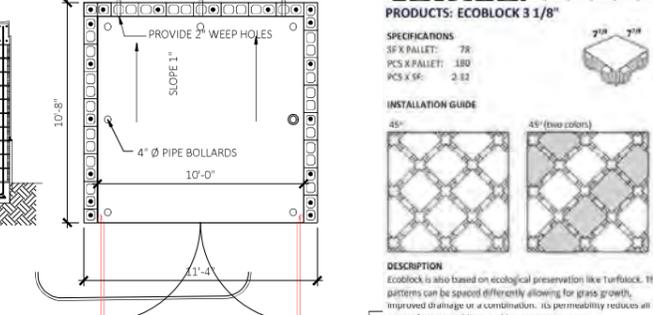
2 STANDARD AND ADA PARKING DETAIL  
SCALE: 1/8" = 1'-0"



3 DUMPSTER ENCLOSURE DETAILS  
SCALE: 1/4" = 1'-0" (VACUUM ENCLOSURE SIMILAR)

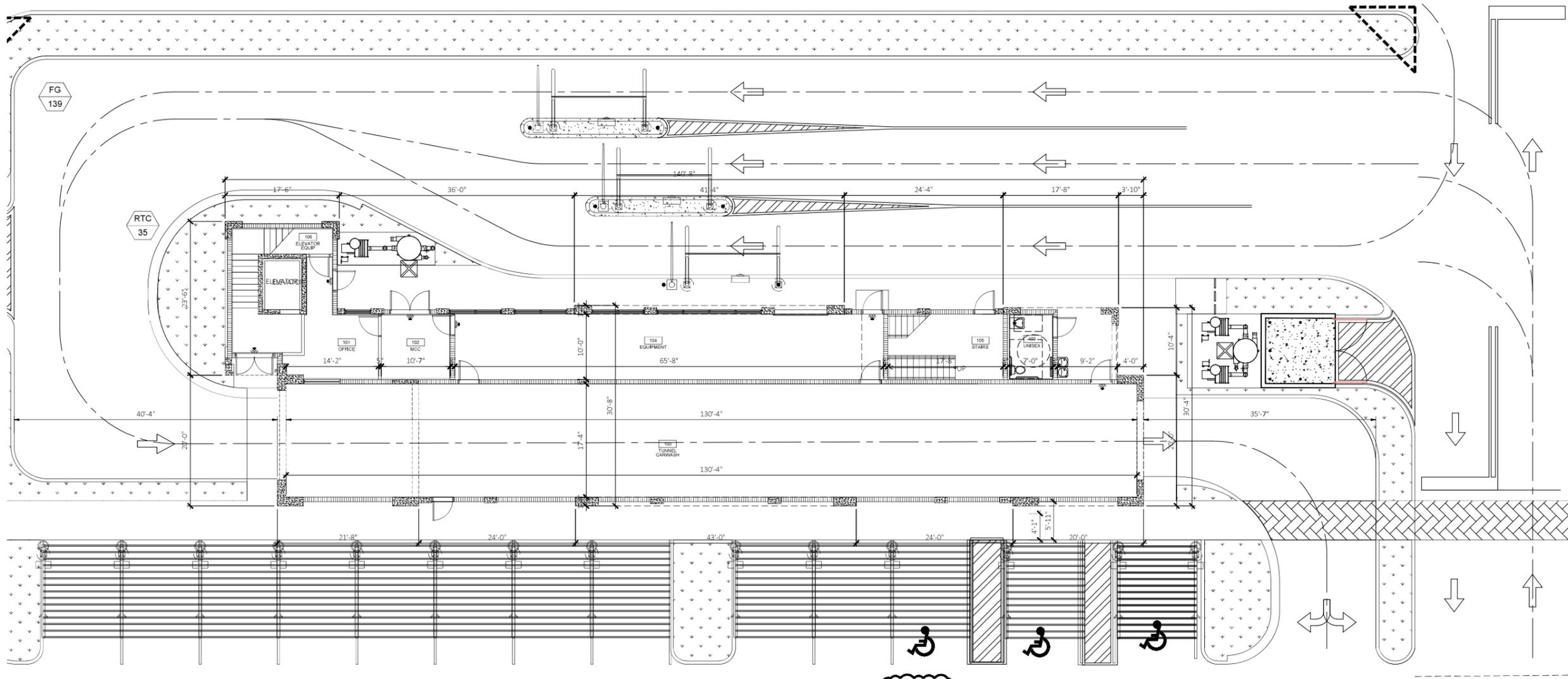


4 TYPICAL VACUUM CANOPY  
SCALE: NTS

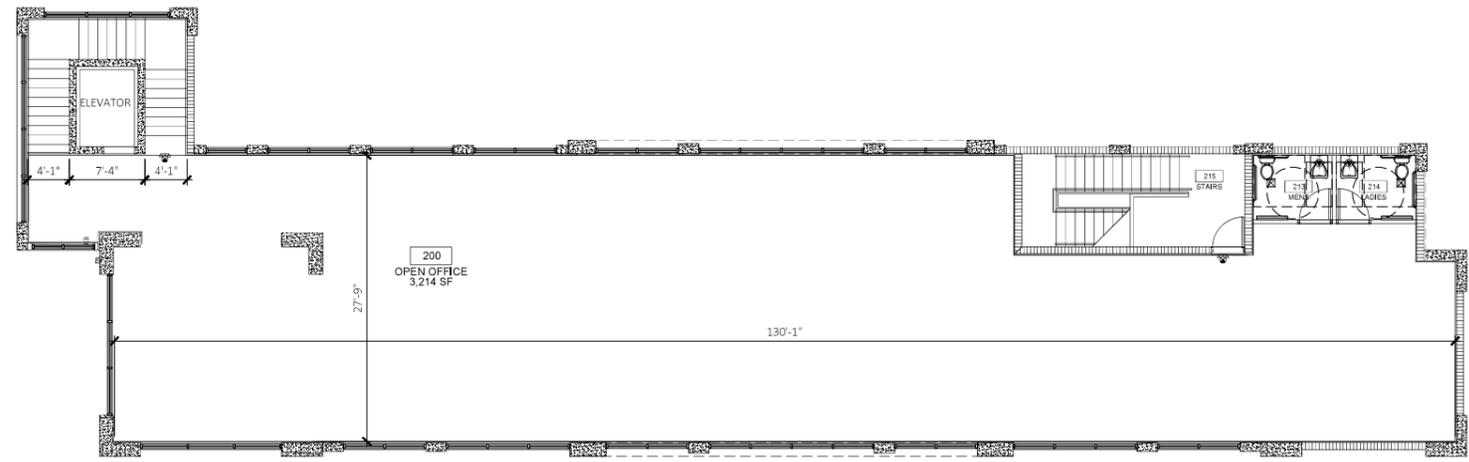


1 SITE PLAN  
SCALE: 1/16" = 1'-0"

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1 GROUND FLOOR (4,296 SF) PARTIAL SITE PLAN  
 A100 SCALE: 1/8"=1'-0"



2 SECOND FLOOR PLAN (3,214 SF)  
 A100 SCALE: 1/8"=1'-0"



FANJUL & ASSOCIATES, L.L.C.  
 ARCHITECTURE, PLANNING & INTERIOR DESIGN  
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 arturo@fanjularchitects.com  
 "A BETTER LIFE THROUGH DESIGN"

Arturo G Fanjul 2022.02.14 182853  
 05'00"  
 STATE OF FLORIDA  
 ARTURO G. FANJUL  
 REGISTERED ARCHITECT  
 AR0017585  
 ARTURO G. FANJUL AR0017585  
 STATE OF FLORIDA REGISTERED ARCHITECT  
 DESIGN CONSULTANTS



CONCEPTUAL SITE PLAN DESIGN  
 NATIONAL EXPRESS WASH DORAL  
 2753 NW 87 AVE  
 DORAL, FL

CONCEPTUAL SITE PLAN

REVISION	NO.
REWORK 12.22.2021	
REWORK 2.10.2022	
DATE:	9/20/2021
SCALE:	As NOTED
DRAWN:	AGF
CHECKED:	AGF
JOB NO.	21-0508
PERMIT NO.	

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A100

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Arturo G Fanjul 2022.02.14 18:30:03 -0500



ARTURO G. FANJUL AR0017585  
STATE OF FLORIDA REGISTERED ARCHITECT

DESIGN CONSULTANTS



CONCEPTUAL SITE PLAN DESIGN

NATIONAL EXPRESS WASH DORAL

2753 NW 87 AVE  
DORAL, FL

CONCEPTUAL SITE PLAN

REVISION	NO.
REWORK 12.22.2021	
REWORK 2.10.2022	

DATE: 9/20/2021

SCALE: As NOTED

DRAWN: AGF

CHECKED: AGF

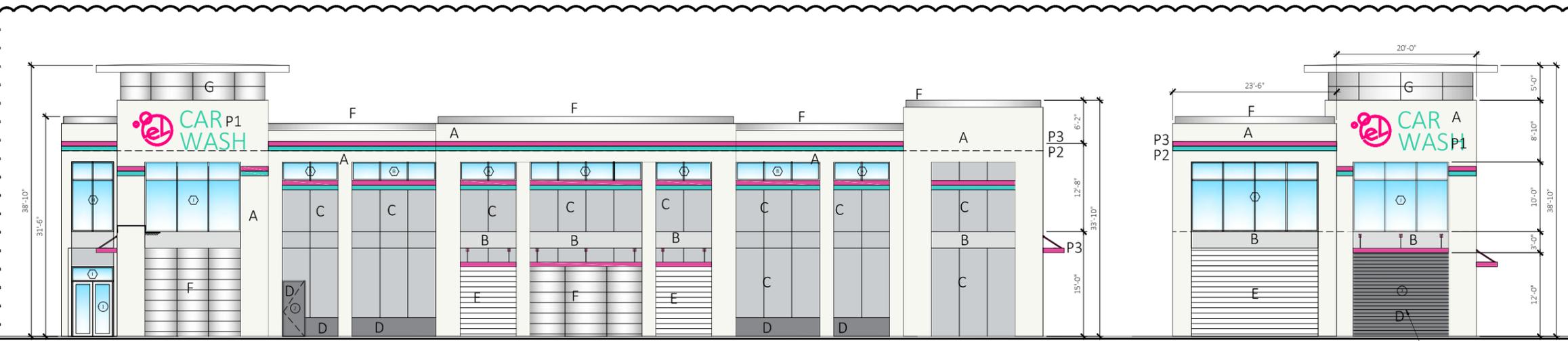
JOB NO. 21-0508

PERMIT NO.

OWNERSHIP

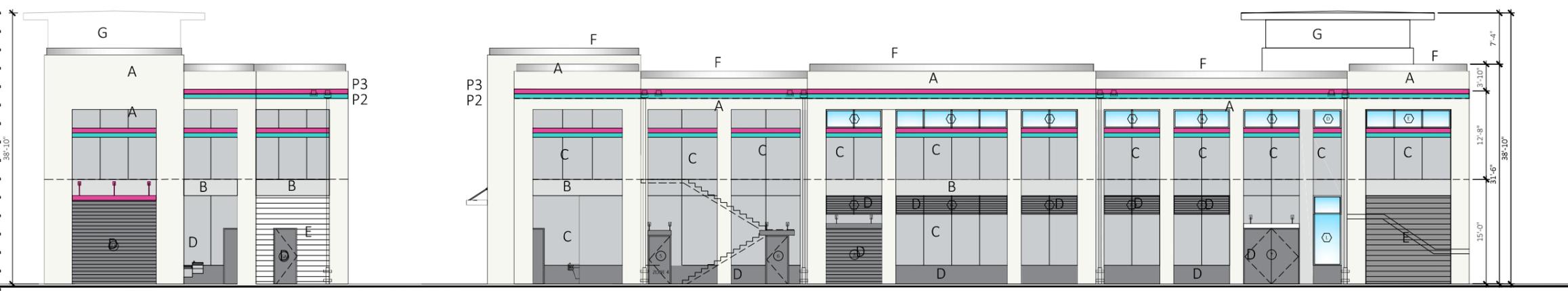
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**A200**



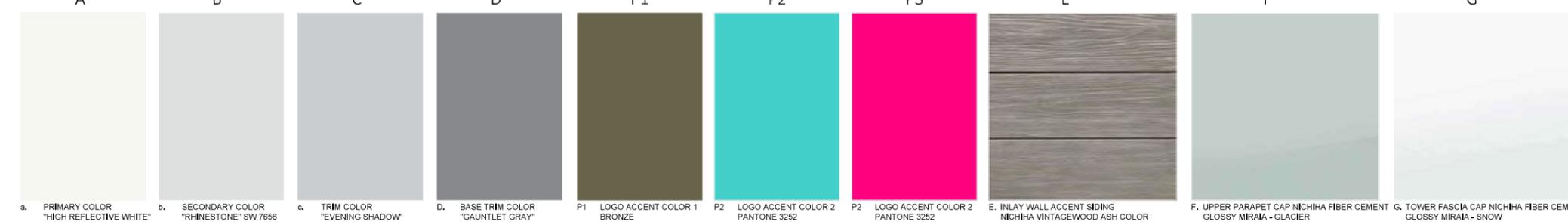
2 SOUTH ELEVATION - NW 27 STREET  
A200 SCALE: 1/8"=1'-0"

1 WEST ENTRY ELEVATION - FRONTING 87 AVE.  
A200 SCALE: 1/8"=1'-0"



3 EAST ELEVATION - REAR EXIT  
A200 SCALE: 1/8"=1'-0"

4 NORTH ELEVATION  
A200 SCALE: 1/8"=1'-0"

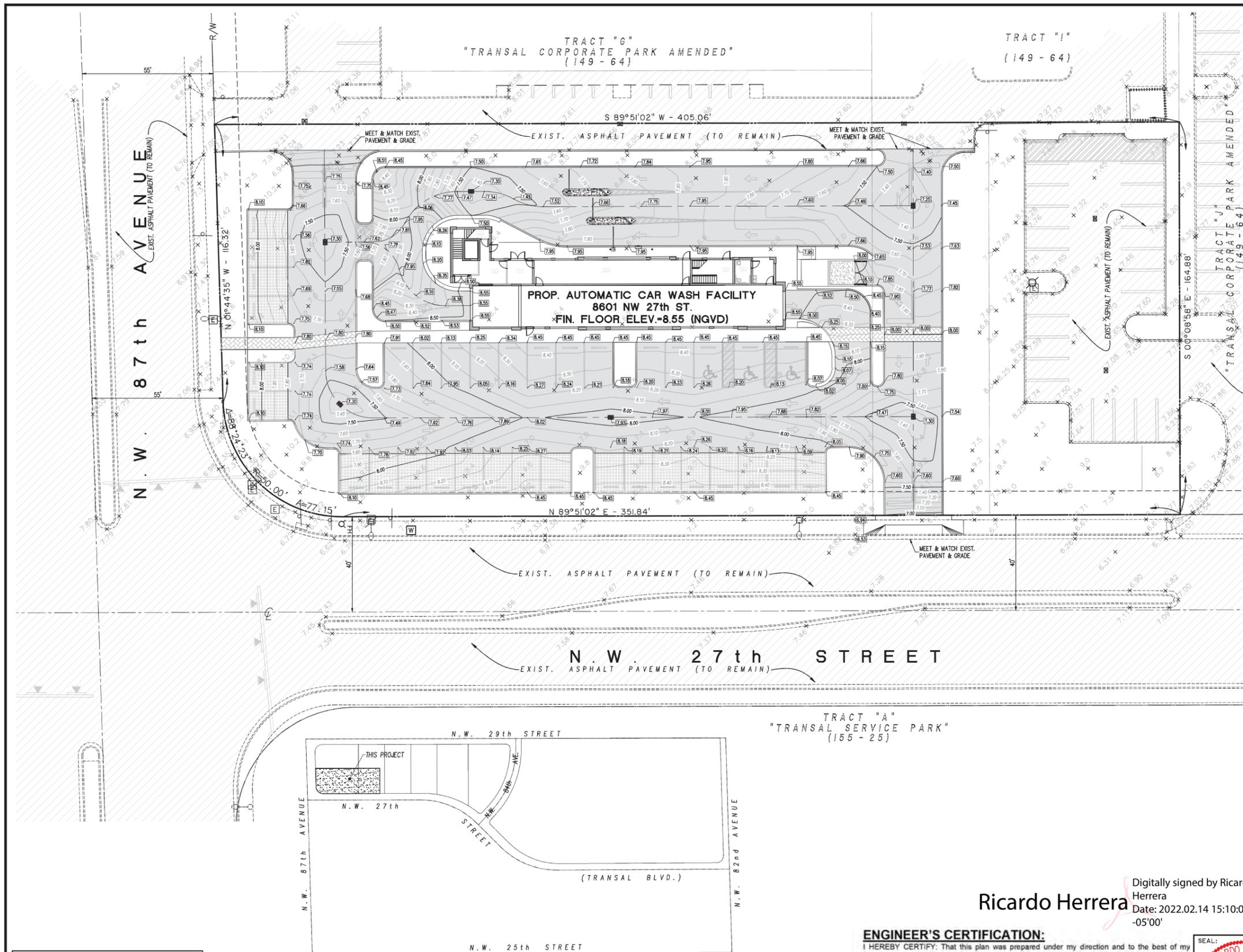


- a. PRIMARY COLOR "HIGH REFLECTIVE WHITE" SW 7757
- b. SECONDARY COLOR "RHINESTONE" SW 7656
- c. TRIM COLOR "EVENING SHADOW" SW 7662
- d. BASE TRIM COLOR "GAUNTLET GRAY" SW 7019
- P1 LOGO ACCENT COLOR 1 BRONZE
- P2 LOGO ACCENT COLOR 2 PANTONE 3252 HEX#10FCF9
- P3 LOGO ACCENT COLOR 2 PANTONE 3252 HEX#10FCF9
- E. INLAY WALL ACCENT SIDING NICHHA VINTAGEWOOD ASH COLOR
- F. UPPER PARAPET CAP NICHHA FIBER CEMENT GLOSSY MIRRA - GLACIER
- G. TOWER FASCIA CAP NICHHA FIBER CEMENT GLOSSY MIRRA - SNOW

Hierarchy	Tag	NAME	Code No.	Manufacturer
a. Primary Color	A	High Reflective White	SW 7757	SHERWIN WILLIAMS
b. Secondary Color	B	Rhinestone	SW 7656	SHERWIN WILLIAMS
c. Trims				
Tower Roof Fascia Cap	G	Snow - Hi Gloss	Miraia - Fiber Cement	NICHHA
Upper Parapet Cap	F	Glacier - Hi Gloss	Miraia - Fiber Cement	NICHHA
Lower Parapet Stucco	A	High Reflective White	SW 7757	SHERWIN WILLIAMS
d. Ornamentation				
Inlay Accents	E	Ash	Vintagewood-Fiber Cement	NICHHA
Doors	C	Evening Shadow	SW 7662	SHERWIN WILLIAMS
Louvers	C	Evening Shadow	SW 7662	SHERWIN WILLIAMS
Stucco Base / Metal Awings	D	Gauntlet Gray	SW 7019	SHERWIN WILLIAMS
Window Frames		Sunrise Silver Metallic II	PVDF 3; 25-35 Gloss	

EXTERIOR FINISHES	Color
1 PAINTED SMOOTH STUCCO	A, B, C
2 1/4 PLASTIC REVEAL	B & C
3 PAINTED METAL LOUVER	C
4 INLAY HORIZONTAL SIDING	E
7 ROOF OVERHANG NICHHA	G
8 RECESSED COLOR	B & C
9 PARAPET TRIM COLOR	A & F
10 WINDOW FRAMES	D
11 STOREFRONT FRAME	D
12 METAL AWINGS	D
13 TUBULAR VACUUM ARCHES	C
14 OVERHEAD DOOR	C
15 PAINTED METAL DOORS	C

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SCALE : 1" = 20'

LEGEND

	EXISTING ELEVATION
	PROPOSED ELEVATION
	PROPOSED ASPHALT
	EXIST. ASPHALT

**PROP. AUTOMATIC CAR WASH FACILITY**  
 8601 NW 27th ST.  
 FIN. FLOOR, ELEV.-8.55 (NGVD)

**ENGINEER'S NOTES:**

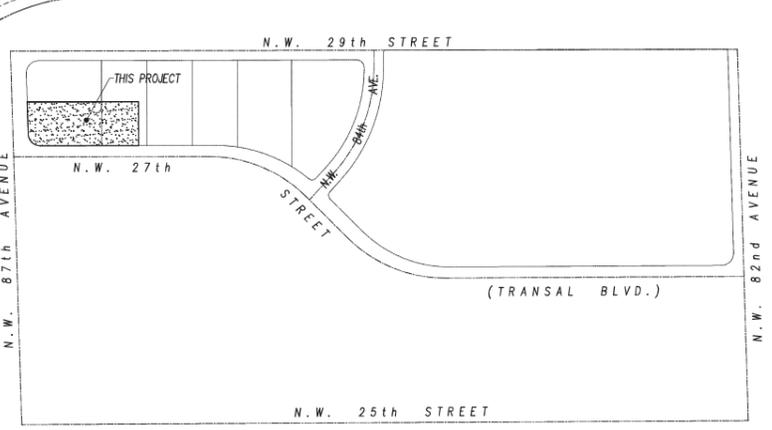
- A. All existing pavement, utilities (above & below ground) or surface features disturbed during construction of this project shall be restored to equal or better condition by the contractor in accordance with City of Doral Public Works Standards and Specifications or as directed by the City of Doral Public Works Inspector.
- B. Underground Contractor shall comply with the Trench Safety Act, HB 3183, Florida Statutes, which incorporates, but is not limited to, the following:
  - a. OSHA Standard 29 C.F.R. Part 1926, Subpart P, Excavation and Trenches.
  - b. Contract bids for trench excavations (in excess of 5 feet deep) shall include reference to the safety standards, written assurance of compliance, and a separate item identifying the cost of compliance.
  - c. Adhere to any special shoring requirements of the state or other governmental agency.
- C. Engineer is not responsible for the safety of the excavation or design and construction of any shoring.
- D. All existing utilities and features (above and below ground) have been shown in accordance with the best available information, utility atlases and records obtained by Develotec. **THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO VERIFY THE LOCATION OF ALL UTILITIES AND FEATURES (ABOVE AND BELOW GROUND) WHETHER SHOWN OR NOT, AND MUST NOTIFY THE ENGINEER OF ANY DISCREPANCIES WHICH MAY AFFECT DESIGN AND/OR INSTALLATION PRIOR TO BEGINNING CONSTRUCTION.**
- E. **CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFYING PLATTED OR DEDICATED RIGHTS-OF-WAY, EASEMENTS, PROPERTY LINES, ZONED STREET AND/OR SETBACK LINES PRIOR TO THE START OF CONSTRUCTION. OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY RIGHTS-OF-WAY AND/OR EASEMENTS NECESSARY TO COMPLETE THE WORK.**

**Ricardo Herrera**  
 Digitally signed by Ricardo Herrera  
 Date: 2022.02.14 15:10:02 -05'00'

**ENGINEER'S CERTIFICATION:**

I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", as adopted by the State of Florida legislature, Chapter 72-328 FS.

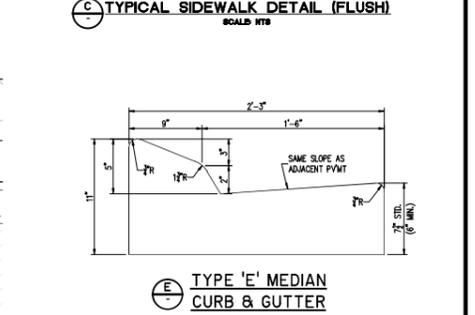
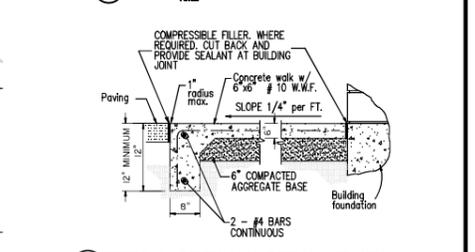
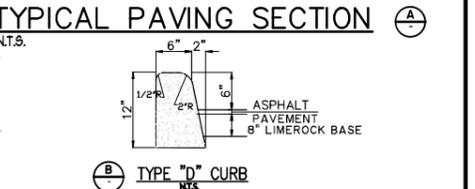
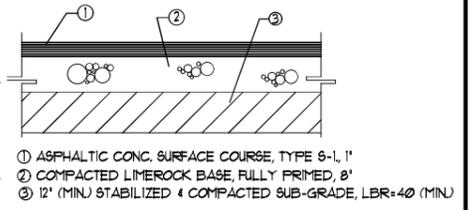
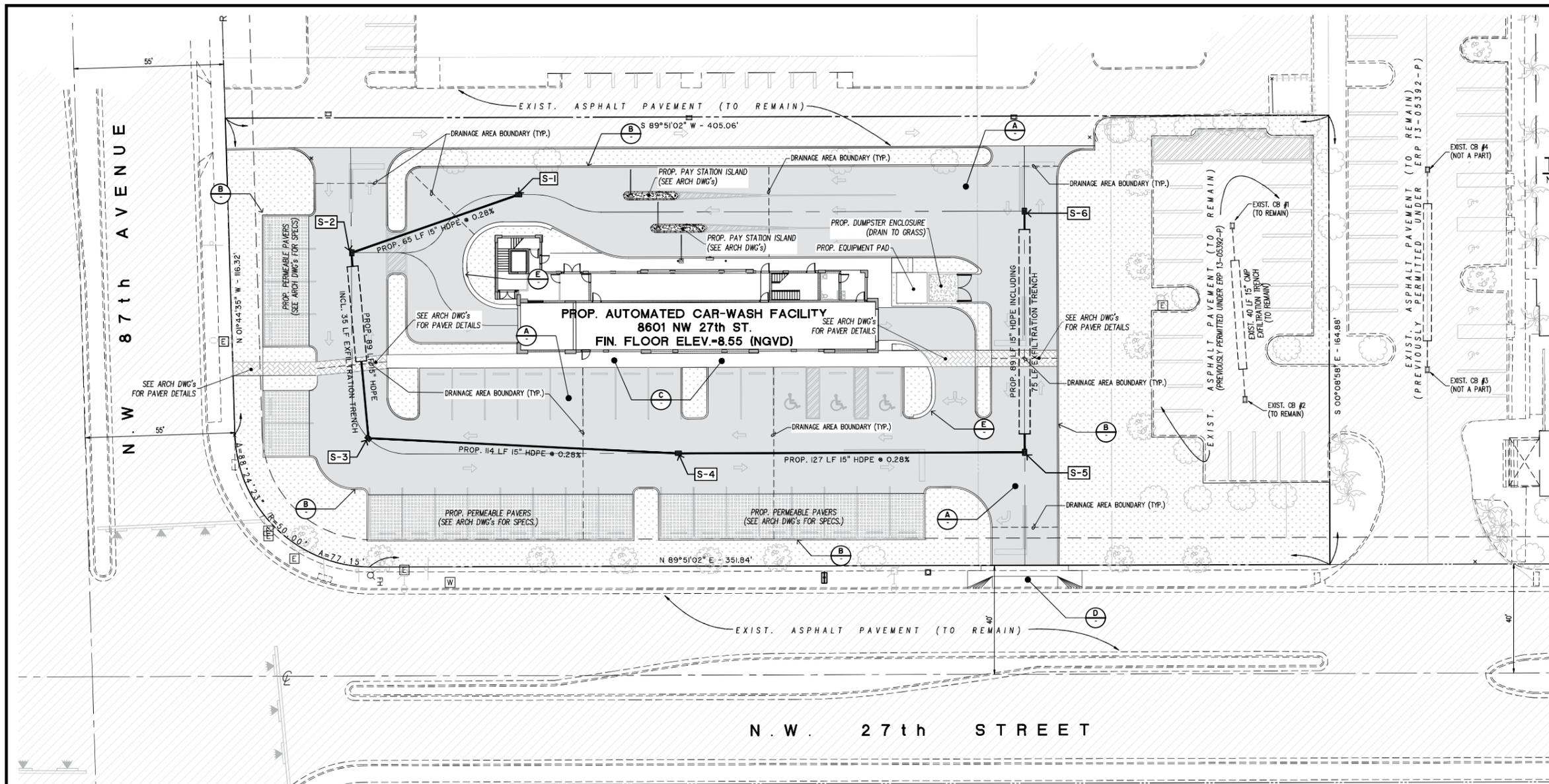
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RICARDO HERRERA, P.E. ON THE DATE ADJACENT TO THE SEAL.  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



**LOCATION SKETCH**  
 A PORTION OF SECTION 27,  
 TOWNSHIP 53 SOUTH, RANGE 40 EAST  
 CITY OF DORAL, FLORIDA  
 SCALE: 1" = 300'

**CONTACT PERSON INFORMATION**  
 Name: Art Acuña  
 Telephone number: 305-663-9650  
 e-mail address: mail@develotec.net

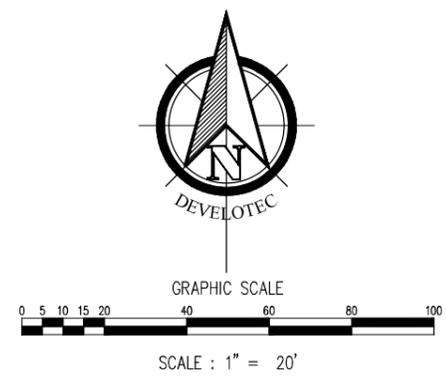
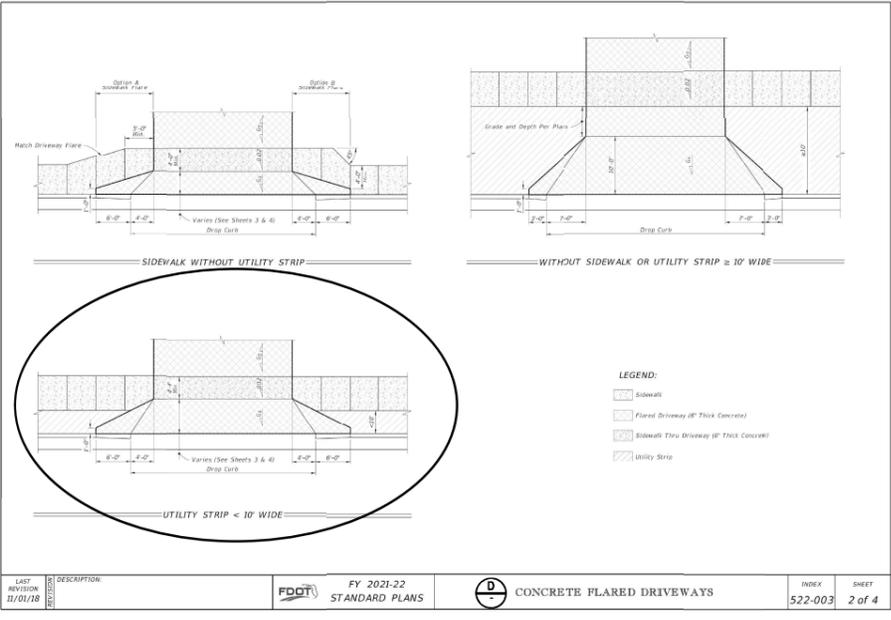
<b>DEVELOTEC, INC.</b> Consulting Engineers - Land Planners 6494 Coral Way, Miami, FL. 33155 Tel: 305.663.9650 - E-Mail: mail@develotec.net			
<b>EL CAR WASH - DORAL GRADING PLAN</b>			
DRAWN: RH	DATE: 02/14/2022	PROJECT NO.: 2070	APPROVED: RH
SCALE: HORIZONTAL: 1"=20' VERTICAL: N/A	LAST REVISED: Feb 14, 2022 - 2:51pm	PLOT: Feb 14, 2022 - 3:00pm	CLIENT: ECW
			SHEET <b>C-1.0</b>



**DRAINAGE STRUCTURE TABLE**

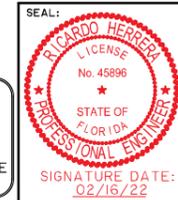
INLET NO.	GRATE TYPE	INLET TYPE	INVERT ELEVATION				GRATE ELEV.	BOTTOM ELEV.	PIPE DIAMETER (inches)				PIPE LENGTH (LF)	BAFFLE (E,W,N,S)
			NORTH	SOUTH	EAST	WEST			NORTH	SOUTH	EAST	WEST		
S-1	SD-2.3	SD-2.7(P)	-	-	-	3.55	7.30	1.55	-	-	-	15	65	-
S-2	SD-2.3	SD-2.7(P)	-	3.37	3.37	-	7.30	-0.13	-	15	-	15	54	35
S-3	SD-2.3	SD-2.7(P)	3.37	-	3.37	-	7.30	-0.13	15	-	15	-	114	-
S-4	SD-2.3	SD-2.7(P)	-	-	3.73	3.73	7.93	1.73	-	-	15	15	127	-
S-5	SD-2.3	SD-2.7(P)	3.37	-	-	3.37	7.30	-0.13	15	-	-	15	14	75
S-6	SD-2.3	SD-2.7(P)	-	3.37	-	-	7.25	-0.13	-	15	-	-	-	-

TOTALS: 374 110



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Date: 2022.02.16 09:21:48 -05'00'

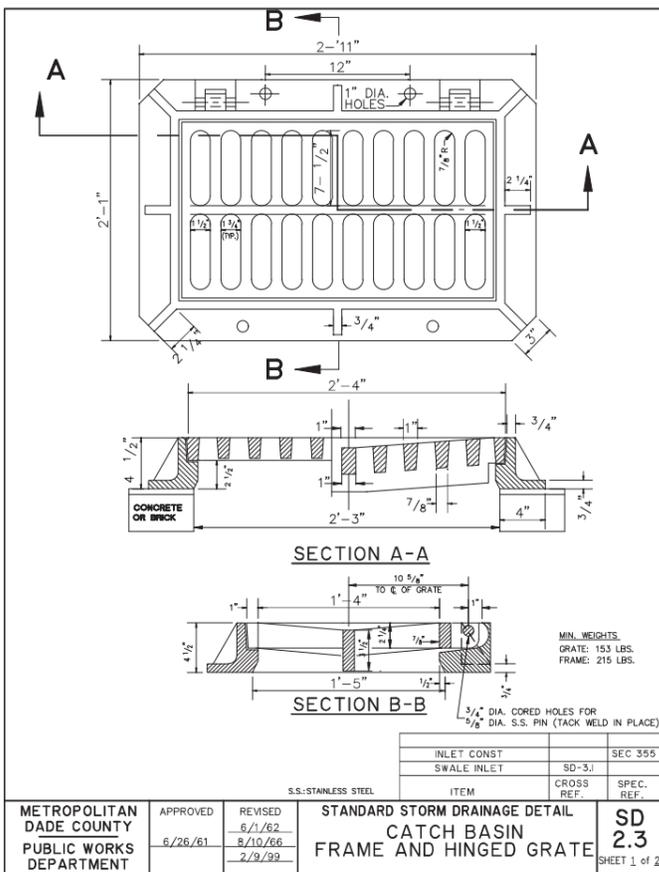
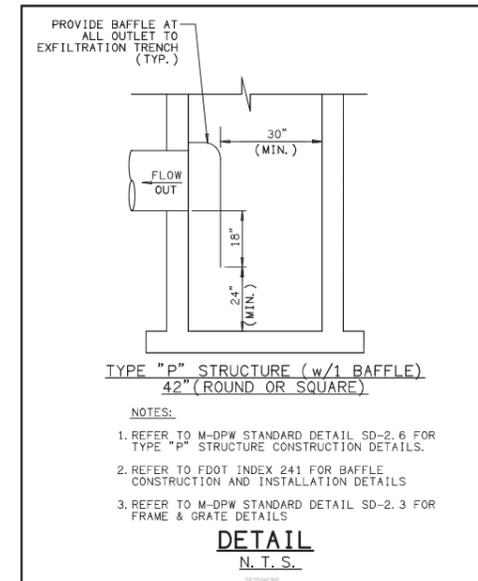
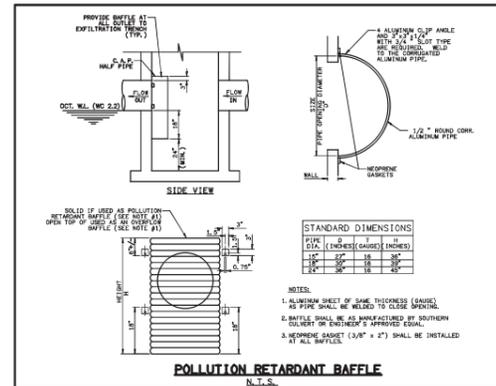
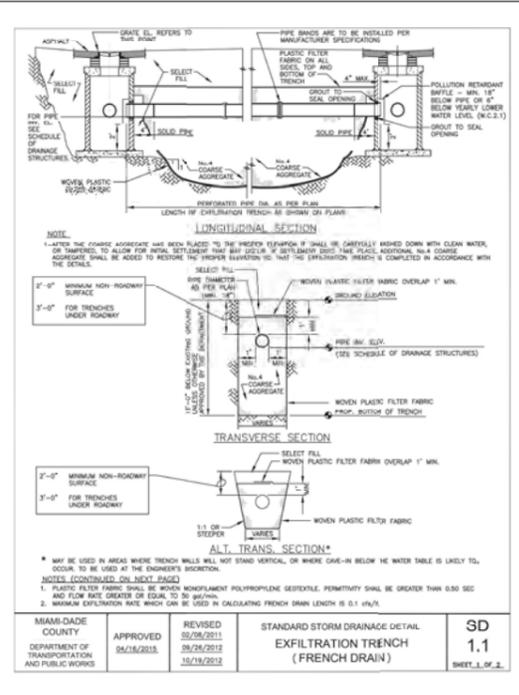
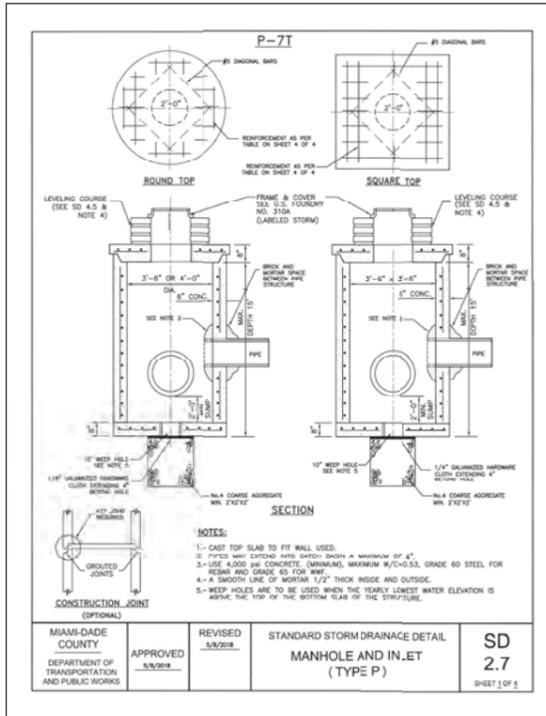


**DEVELOTEC, INC.**  
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6494 Coral Way, Miami, FL. 33155  
Tel: 305.663.9650 - E-Mail: mail@develotec.net

**EL CAR WASH - DORAL DRAINAGE PLAN**

DRAWN: <b>HH</b>	DATE: <b>02/14/2022</b>	PROJECT NO.: <b>2070</b>	APPROVED: <b>RH</b>	FILE: <i>ECW-Doral.dwg</i>
SCALE: <b>HORIZONTAL: 1"=20'</b>	<b>VERTICAL: N/A</b>	LAST REVISED: <b>Feb 16, 2022 - 8:58am</b>	PLOT: <b>Feb 16, 2022 - 8:58am</b>	CLIENT: <b>ECW</b>
			SHEET: <b>C-2.0</b>	

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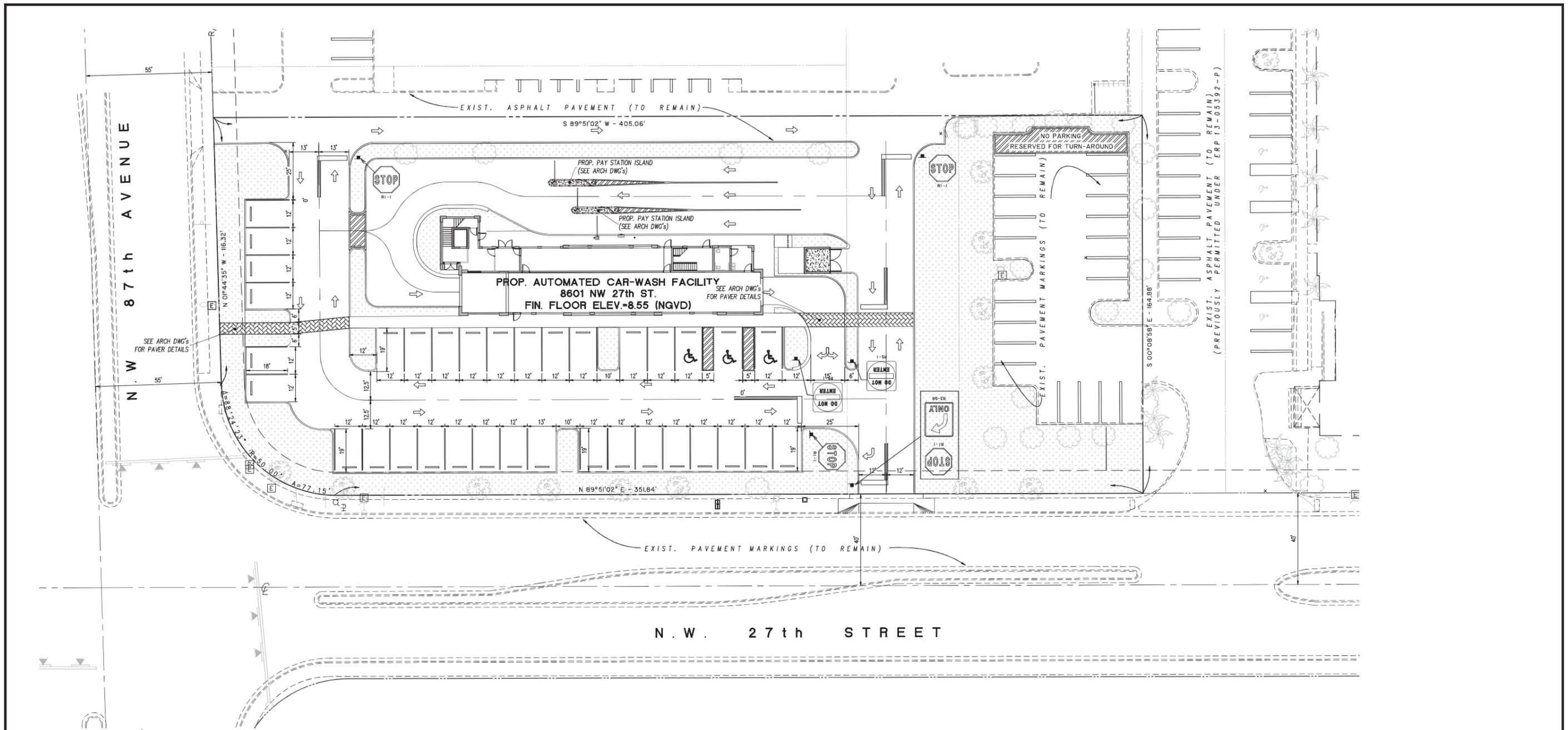


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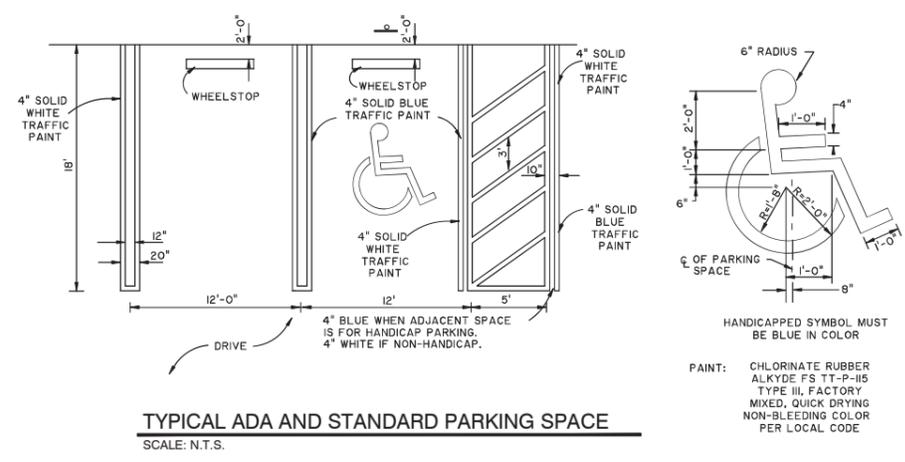
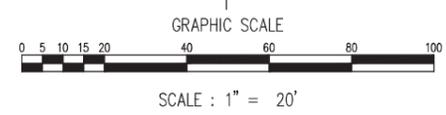
**EL CAR WASH - DORAL DRAINAGE DETAILS**

DRAWN	DATE: 02/14/2022	PROJECT NO. 2070	APPROVED: RH	FILE: ECW-Doral.dwg
SCALE	HORIZONTAL: 1"=20' VERTICAL: N/A	LAST REVISED: Feb 14, 2022 - 3:00pm	PLOT: Feb 14, 2022 - 3:00pm	CHEAT: ECW

SHEET C-2.1



N . W . 2 7 t h S T R E E T



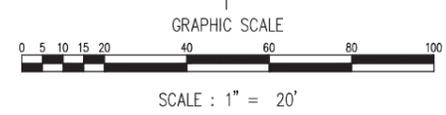
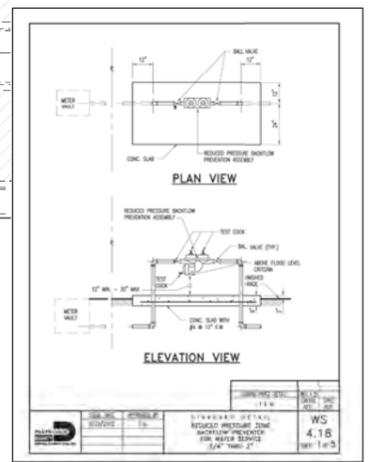
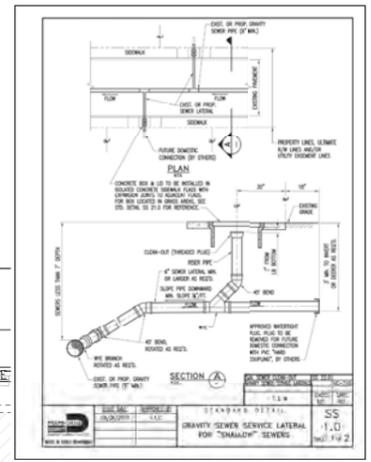
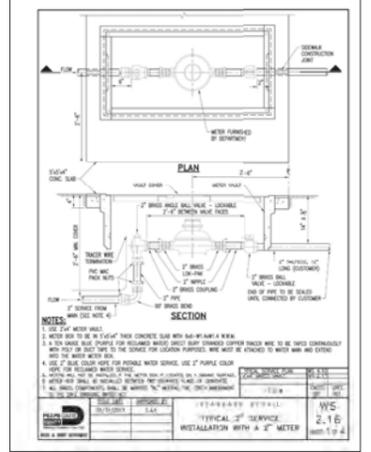
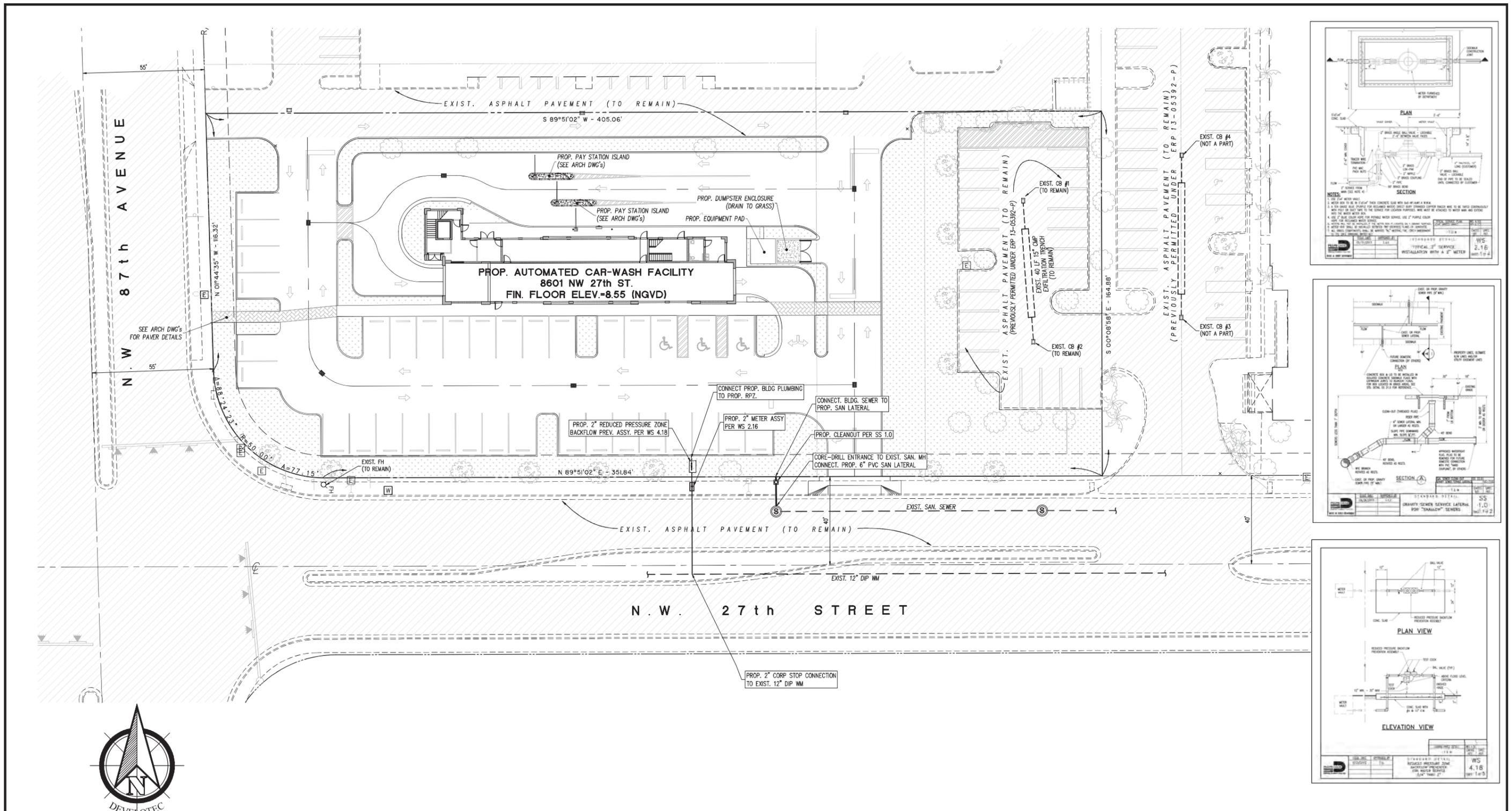
**TYPICAL ADA AND STANDARD PARKING SPACE**  
SCALE: N.T.S.

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Date: 2022.02.14 15:09:08 -05'00'

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<b>EL CAR WASH - DORAL</b> <b>PAVEMENT MARKINGS &amp; SIGNS</b> PLAN			
DRAWN: <b>HH</b>	DATE: <b>02/14/2022</b>	PROJECT NO.: <b>2070</b>	APPROVED: <b>RH</b>
SCALE: <b>HORIZONTAL: 1"=20'</b> <b>VERTICAL: N/A</b>	LAST REVISED: Feb 14, 2022 - 3:04pm PLOT: Feb 14, 2022 - 3:05pm		FILE: <i>ECW-Doral.dwg</i> CLIENT: <b>ECW</b> SHEET <b>C-3.0</b>



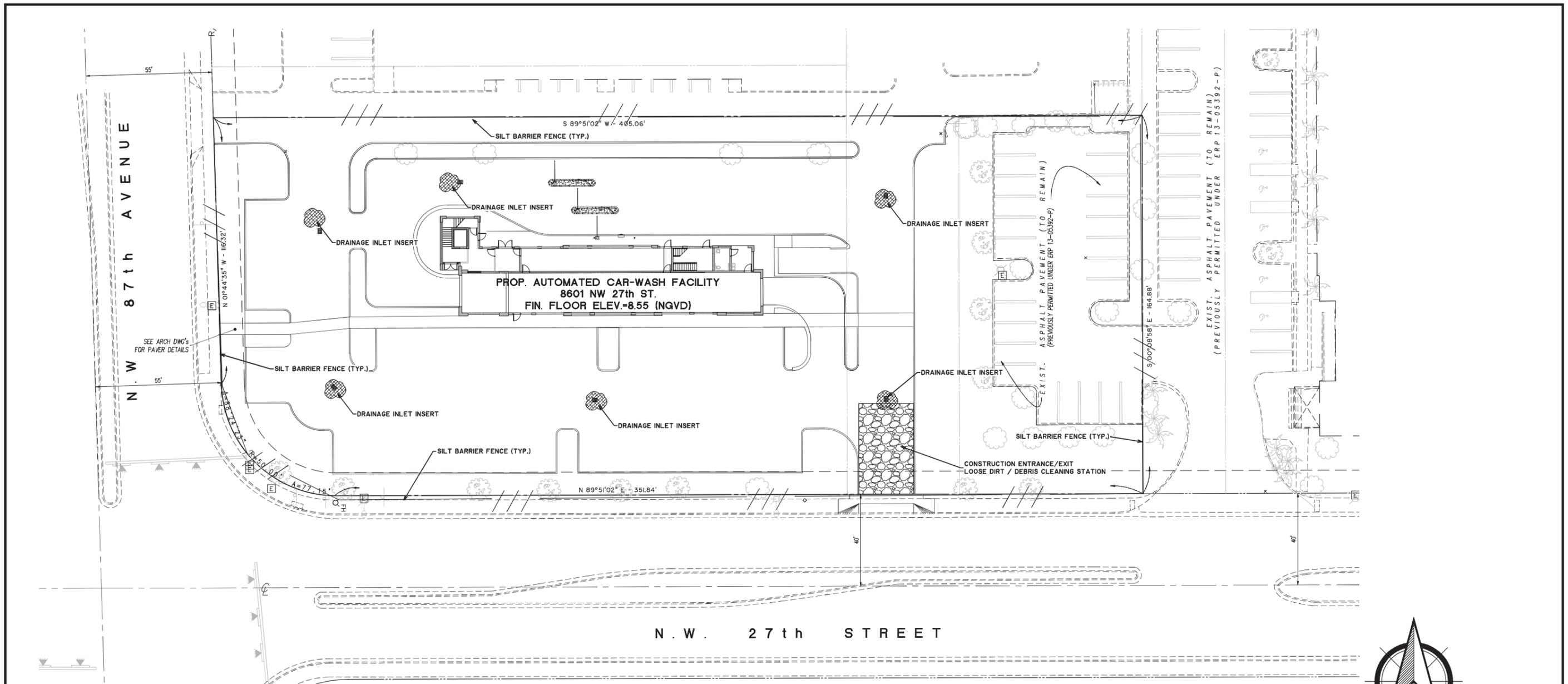
**Sunshine**  
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 Date: 2022.02.14  
 15:09:36 -05'00'

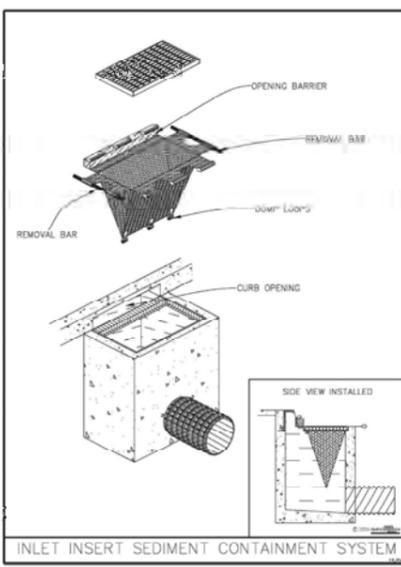
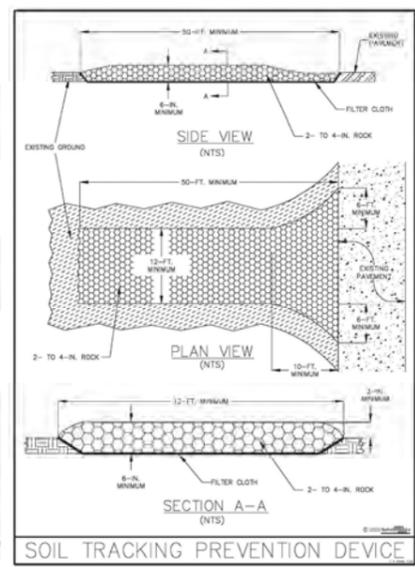
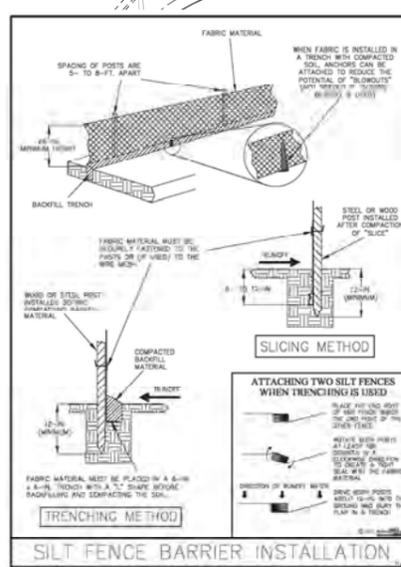
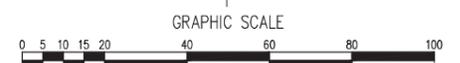
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<b>EL CAR WASH - DORAL</b> <b>WATER &amp; SEWER CONNECTION</b> PLAN			
DRAWN: <b>RH</b>	DATE: <b>02/14/2022</b>	PROJECT NO: <b>2070</b>	APPROVED: <b>RH</b>
SCALE: <b>HORIZONTAL: 1"=20'</b> <b>VERTICAL: N/A</b>	LAST REVISED: <b>Feb 14, 2022 - 3:00pm</b>	PLOT: <b>Feb 14, 2022 - 3:00pm</b>	FILE: <b>ECW-Doral.dwg</b> CLIENT: <b>ECW</b> SHEET: <b>C-4.0</b>



N . W . 2 7 t h S T R E E T



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<b>EL CAR WASH - DORAL</b> STORM WATER POLLUTION PREVENTION PLAN			
DRAWN	DATE: 02/14/2022	PROJECT NO. 2070	APPROVED: RH
SCALE	HORIZONTAL: 1"=20' VERTICAL: N/A	LAST REVISED: Feb 14, 2022 - 3:00pm PLOT: Feb 14, 2022 - 3:00pm	FILE: ECW-Doral.dwg CLIENT: ECW SHEET C-5.0

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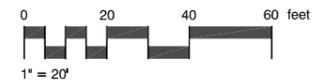
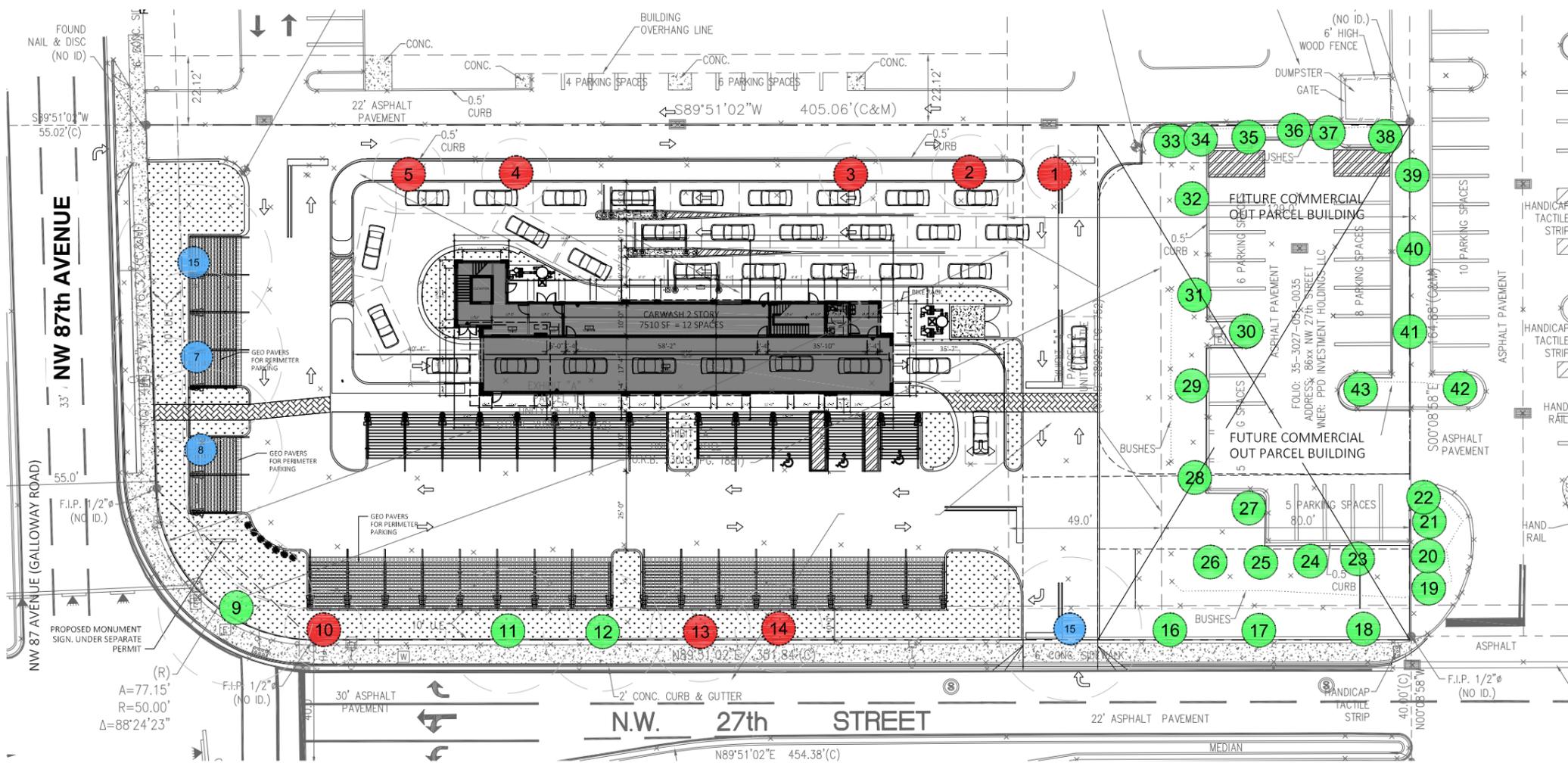
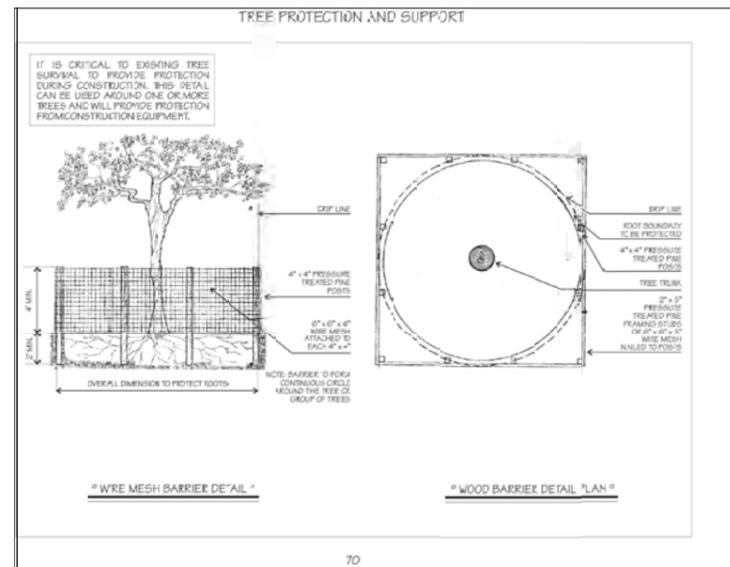
ID#	Botanical Name	Common Name	DBH (in)	Height (ft)	Spread (ft)	Specimen (Y/N)	Canopy Remove (sqft)	Condition	TPZ (ft)	Disposition	Remarks	Specimen Trust Fund Payment
1	Conocarpus erectus series	Silver Buttonwood	7	13	18	N	254	Good	5	Remove		
2	Conocarpus erectus series	Silver Buttonwood	13	15	24	N	452	Good	5	Remove		
3	Conocarpus erectus series	Silver Buttonwood	13	15	20	N	314	Good	5	Remove		
4	Conocarpus erectus series	Silver Buttonwood	13	14	22	N	380	Good	5	Remove		
5	Conocarpus erectus series	Silver Buttonwood	16	16	23	N	415	Good	5	Remove		
6	Quercus virginiana	Live Oak	22	40	50	Y	1,964	Good	18	Relocate		
7	Quercus virginiana	Live Oak	23	40	55	Y	2,376	Good	18	Relocate		
8	Quercus virginiana	Live Oak	24	40	52	Y	2,124	Good	18	Relocate		
9	Quercus virginiana	Live Oak	23	35	50	Y	1,964	Good	18	Remain		
10	Quercus virginiana	Live Oak	13	20	25	N	491	Poor	12	Remove	Per Arborist report	
11	Quercus virginiana	Live Oak	15	35	40	N	1,257	Good	14	Remain		
12	Quercus virginiana	Live Oak	17	22	32	N	1,134	Good	12	Remain		
13	Quercus virginiana	Live Oak	17	22	32	N	804	Poor	14	Remove	Per Arborist report	
14	Quercus virginiana	Live Oak	13	25	28	N	616	Moderate	12	Remove		
15	Quercus virginiana	Live Oak	19	30	46	Y	1,662	Good	15	Relocate		
16	Quercus virginiana	Live Oak	18	30	38	Y	1,134	Good	15	Remain	Not part of project	
17	Quercus virginiana	Live Oak	15	30	32	N	804	Good	12	Remain	Not part of project	
18	Quercus virginiana	Live Oak	21	35	42	Y	1,385	Moderate	18	Remain	Not part of project	
19	Roystonia Regia	Royal Palm	17	22	26	N	531	Moderate	5	Remain	Not part of project	
20	Roystonia Regia	Royal Palm	16	21	18	N	254	Moderate	5	Remain	Not part of project	
21	Roystonia Regia	Royal Palm	14	14	13	N	133	Poor	4	Remain	Not part of project	
22	Roystonia Regia	Royal Palm	17	15	26	N	531	Moderate	5	Remain	Not part of project	
23	Coccoloba Diversifolia	Pigeon Plum	9	18	18	N	254	Moderate	5	Remain	Not part of project	
24	Coccoloba Diversifolia	Pigeon Plum	10	14	12	N	113	Moderate	5	Remain	Not part of project	
25	Coccoloba Diversifolia	Pigeon Plum	5	14	12	N	113	Good	5	Remain	Not part of project	
26	Coccoloba Diversifolia	Pigeon Plum	5	18	15	N	177	Good	5	Remain	Not part of project	
27	Delonix regia	Royal poinciana	10	24	45	N	1,590	Good	8	Remain	Not part of project	
28	Quercus virginiana	Live Oak	7	26	25	N	491	Good	6	Remain	Not part of project	
29	Quercus virginiana	Live Oak	8	26	25	N	491	Good	6	Remain	Not part of project	
30	Conocarpus erectus series	Silver buttonwood	11	15	16	N	201	Good	5	Remain	Not part of project	
31	Quercus virginiana	Live Oak	7	26	22	N	380	Good	5	Remain	Not part of project	
32	Quercus virginiana	Live Oak	6	22	20	N	314	Good	5	Remain	Not part of project	
33	Conocarpus erectus series	Silver buttonwood	10	16	16	N	201	Good	5	Remain	Not part of project	
34	Bursera simaruba	Gumbo limbo	14	16	22	N	380	Good	8	Remain	Not part of project	
35	Conocarpus erectus series	Silver buttonwood	7	15	16	N	201	Good	5	Remain	Not part of project	
36	Bursera simaruba	Gumbo limbo	10	20	25	N	491	Good	8	Remain	Not part of project	
37	Lycium latifolium	False tamarind	10	26	30	N	707	Good	8	Remain	Not part of project	
38	Lycium latifolium	False tamarind	12	26	30	N	707	Good	8	Remain	Not part of project	
39	Lycium latifolium	False tamarind	9	20	30	N	707	Good	8	Remain	Not part of project	
40	Quercus virginiana	Live Oak	6	22	20	N	314	Good	5	Remain	Not part of project	
41	Quercus virginiana	Live Oak	6	22	24	N	452	Good	5	Remain	Not part of project	

Total Non Specimen Canopy Removed	3,728
Total Specimen Canopy Removed (Times 2)	0
Total Specimen Palm Canopy Removed	0
Total Canopy Removed	3,728
Total Number of Shade Tree 1 (500 sqft replacement canopy tree) required for mitigation	7

Note: Protective barriers shall be placed around each tree, cluster of trees, or edge of the preservation area no less than six feet (6 ft) radius from the trunk of any protected tree cluster, or preservation area unless a lesser distance is specified by the administrative official.

**SYMBOL LEGEND**

- TREE TO REMAIN
- TREE TO REMOVE
- TREE TO RELOCATE
- TREE CANOPY - DIA.



**L-100**



FANJUL & ASSOCIATES, LLC  
ARCHITECTURE, PLANNING & INTERIOR DESIGN

AA26000725

ARTURO G. FANJUL, RA  
PRESIDENT

165 MADEIRA AVENUE, SUITE 7  
CORAL GABLES, FLORIDA 33134

PH. 305 726.8313  
FAX 305 356.3686

arturo@fanjularchitects.com

"A BETTER LIFE THROUGH DESIGN"

DESIGN CONSULTANTS



Digitally signed by Andrew M. Witkin  
Date: 2022.02.14 11:13:49 -05'00'



CONCEPTUAL SITE PLAN DESIGN

NATIONAL EXPRESS WASH DORAL

2753 NW 87 AVE  
DORAL, FL

TREE DISPOSITION PLAN

REVISION	NO.
ZONING 12-24-21	
ZONING 02-14-22	2

DATE:	9/20/2021
SCALE:	As NOTED
DRAWN:	EVD
CHECKED:	EVD
JOB NO.:	21-0508
PERMIT NO.:	

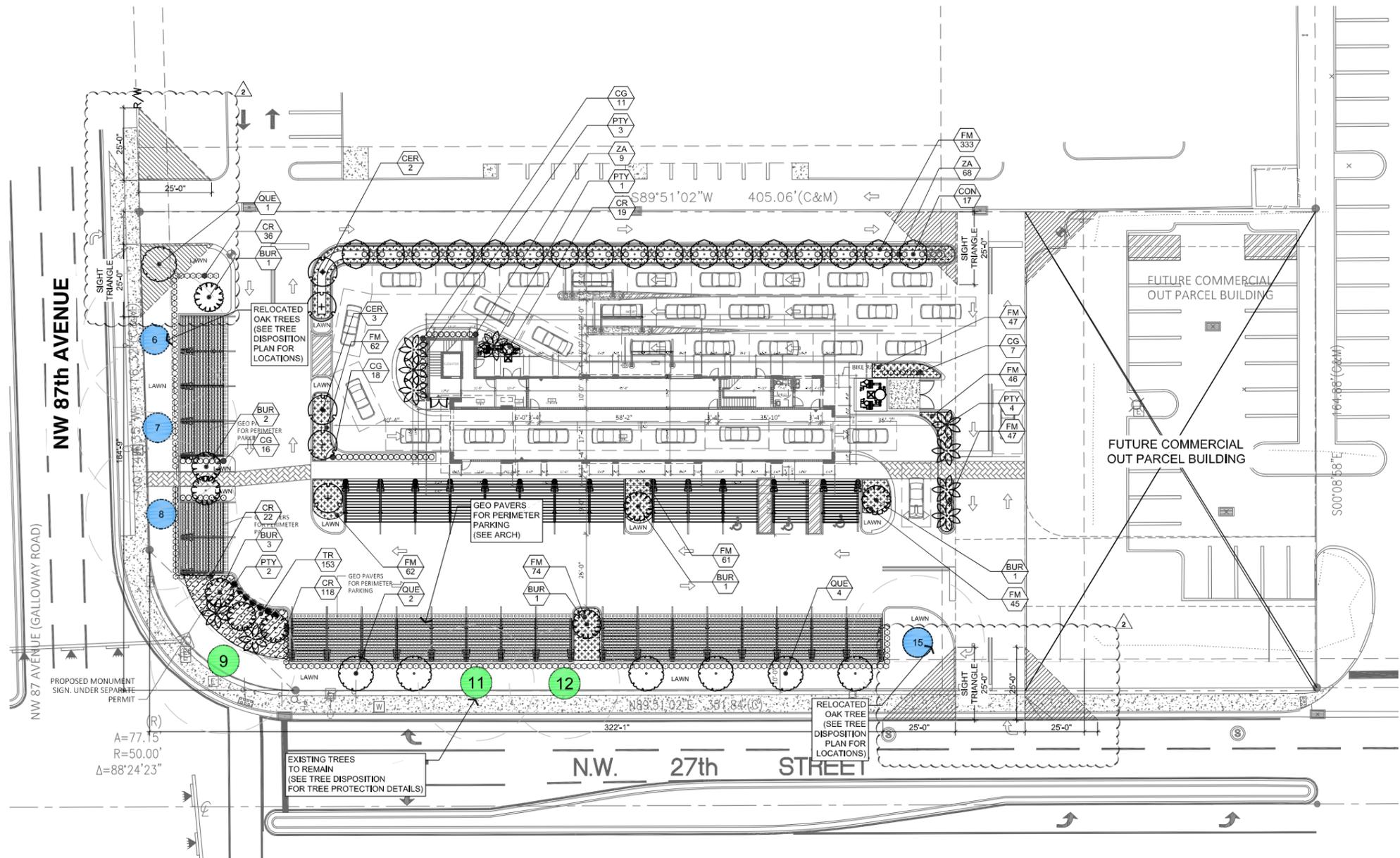
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CITY OF DORAL			
Landscape Requirements			
Zoning District:	CC	Lot Area: .1513 acres	Square Feet: 65,905
OPEN SPACE	REQUIRED/ALLOWED	PROVIDED	
A Square feet of open space required by Sec. 71 as indicated on site plan: Lot Area: 65,905 x 20% =	13,181	17,083	
B Square feet of parking lot open space required by Article 71 as indicated on site plan: No. of Parking Spaces 44 x 10 Parking Lot Trees 1/80 sf 440 / 80 = 5.5	440	440	
C Total square feet of landscape open space required" A=B	13,621	17,523	
TREES			
A Number of trees per net lot acre, trees meeting minimum requirements: 22 Trees per net lot acres .1513 acres x 22 (minus 1 existing)	33	35	
B Palms 10' x 3" Caliper, 30% minimum tree requirements may be met by palm trees 2 Palms = 1 Tree 33 required trees x 30% = 10 / 2 = 5	10	10	
C 50% of required trees and palms must be native species	17	17	
D Street trees (maximum average spacing of 35' O.C.) linear feet along NW 87th Ave = 165' + Along NW 27th St = 322' =	14	13	
SHRUBS			
A Number of shrubs required: Number of trees required x 10	330	343	
B 50% of required shrubs must be native species	165	343	

LANDSCAPE SCHEDULE							
Botanical/Common	Height	Spread	DBH	Native	Spacing	Quantity	
<b>TREES</b>							
BUR	Bursera simaruba / Gumbo Limbo	14' Ht.	5'	2.5"	Y	Per plan	9
CER	Conocarpus erectus / Green Buttonwood	8' Ht.	4'	2.5"	Y	Per plan	5
CON	Conocarpus erectus sericeus / Silver Buttonwood	10' Ht.	5'	2.5"	Y	Per plan	17
QUE	Quercus virginiana / Southern Live Oak (street tree)	14' Ht.	7'	2.5"	Y	Per plan	7
PTY	Ptychosperma elegans / Alexander Palm	12' Ht.	7'	3"	N	Per plan	10
<b>SHRUBS</b>							
CR	Chrysobalanus icaco 'Green Tip' / Green Tip Coco Plum	18" Ht.	18"	3 Gal	Y	24" O.C	200
CG	Clusia guttifera / Small Leaf Clusia	18" Ht.	18"	3 Gal	Y	24" O.C	52
ZA	Zamia pumila / Coontie Cycad	18" Ht.	20"	3 Gal	Y	24" O.C	77
<b>GROUND COVERS</b>							
FM	Ficus microcarpa 'Green Island' / Green Island Fig	15" Ht.	15"	3 Gal	N	15" O.C	730
TR	Tripsacum dactyloides nana / Dwarf Fakahatchee Grass	18" Ht.	18"	3 Gal	Y	24" O.C	153
<b>LAWN</b>							
Stenotaphrum secundatum 'Floratum' As Required - Solid even SOD - see planting details							

**SYMBOL LEGEND**

- TREE TO REMAIN
- TREE TO REMOVE
- RELOCATED TREE
- TREE CANOPY - DIA.



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Date: 2022.02.14 11:16:14 -05'00'

CONCEPTUAL SITE PLAN DESIGN  
**NATIONAL EXPRESS WASH DORAL**

2753 NW 87 AVE  
DORAL, FL

LANDSCAPE PLAN

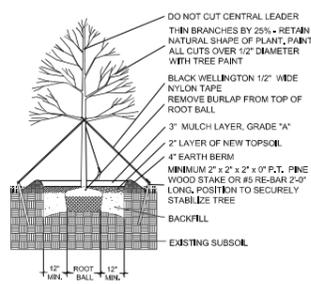
REVISION	NO.
ZONING 12-24-21	
ZONING 02-14-22	2

DATE: 9/20/2021  
SCALE: AS NOTED  
DRAWN: EVD  
CHECKED: EVD  
JOB NO. 21-0508  
PERMIT NO.

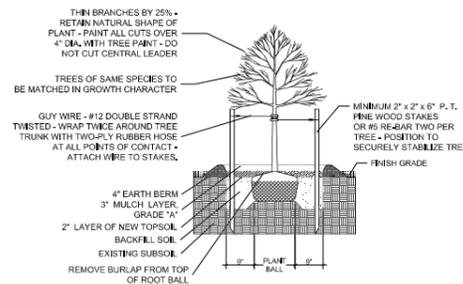
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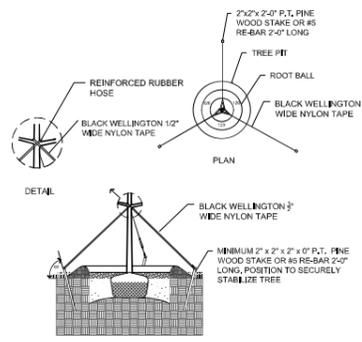
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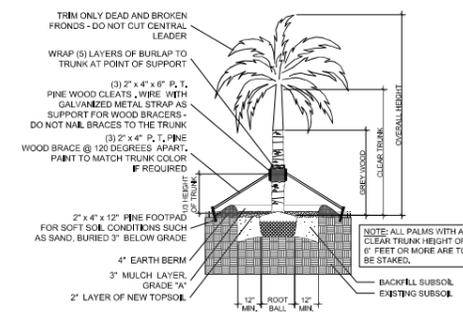
LARGE TREE PLANTING DETAIL



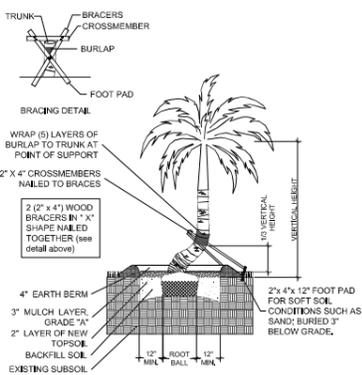
SMALL TREE PLANTING DETAIL



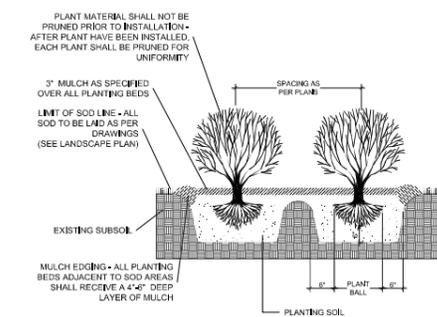
TYPICAL TREE GUYING DETAIL



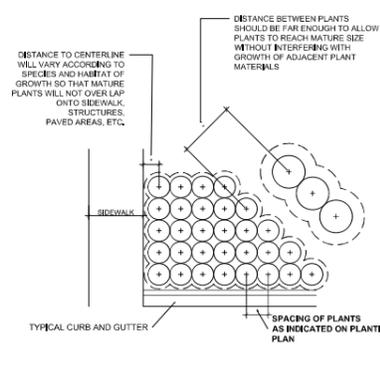
STRAIGHT TRUNK PALM PLANTING DETAIL



CURVED TRUNK PALM PLANTING DETAIL

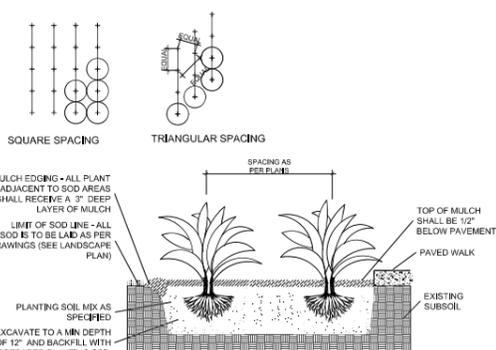


TYPICAL SHRUB PLANTING DETAIL



TYPICAL CONTAINER SPACING DETAIL

NOTE: IN MOST CASES, TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.



TYPICAL GROUND COVER PLANTING DETAIL

**PLANTING NOTES:**

- All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.
- Planting plans shall take precedence over plant list in case of discrepancies.
- No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approved by the project engineer.
- Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.
- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.
- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.
- Tree and shrub pits will be supplemented with "Agriform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

**SOD NOTES:**

- Sod is to be grade "A" weed free.
- All areas marked "LAWN" shall be solid sodded with St. Augustine 'Floritam' solid sod. See limit on plan. All areas marked 'Bahia Grass' shall be solid sodded with Paspalum.
- Provide a 2" deep blanket of planting soil as described in planting notes this sheet. Prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.
- Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes.
- Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" away from trees, measured from center of plant.
- Sod Shall be watered immediately after installation to uniformly wet the soil to at least 2" below the bottom of the sod strips.
- Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

**GENERAL NOTES:**

- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).
- Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.
- All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.



FANJUL & ASSOCIATES, LLC  
ARCHITECTURE, PLANNING & INTERIOR DESIGN

AA26000725

ARTURO G. FANJUL, RA  
PRESIDENT

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CORAL GABLES, FLORIDA 33134

PH. 305.726.8313  
FAX 305.356.3686

arturo@fanjularchitects.com

"A BETTER LIFE THROUGH DESIGN"

DESIGN CONSULTANTS



Digitally signed by  
Andrew M Witkin  
Date: 2022.02.14  
11:16:41 -05'00'



CONCEPTUAL SITE PLAN DESIGN

NATIONAL  
EXPRESS WASH  
DORAL

2753 NW 87 AVE  
DORAL, FL

LANDSCAPE DETAILS

REVISION	NO.
ZONING 12-24-21	

DATE: 9/20/2021  
SCALE: N.T.S.  
DRAWN: EVD  
CHECKED: EVD  
JOB NO. 21-0508  
PERMIT NO.

OWNERSHIP  
OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

L-201



FANJUL & ASSOCIATES, LLC  
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Digitally signed  
by Andrew M  
Witkin  
Date: 2022.02.14  
11:17:17 -05'00'



CONCEPTUAL SITE PLAN DESIGN

NATIONAL EXPRESS WASH  
DORAL

2753 NW 87 AVE  
DORAL, FL

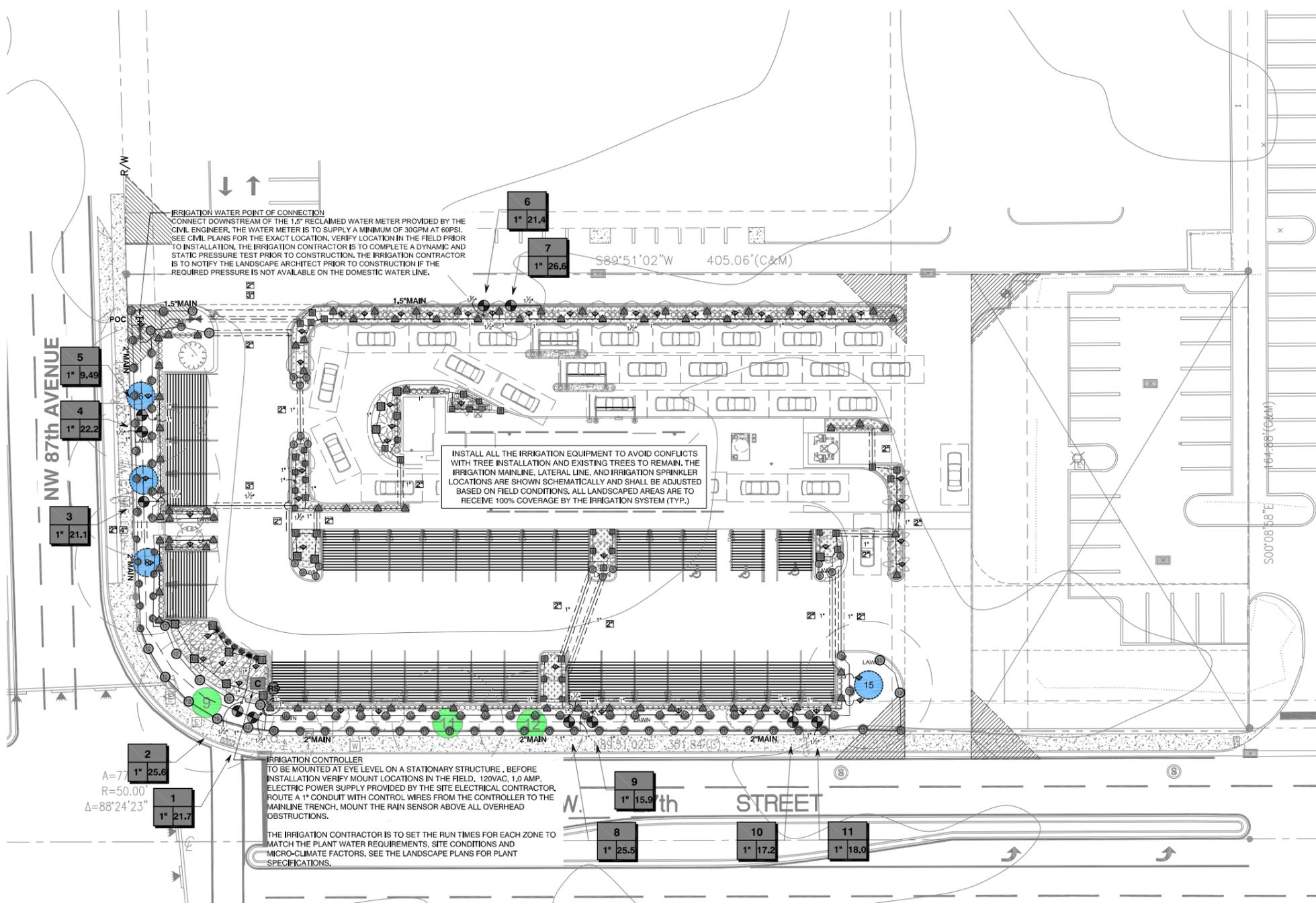
IRRIGATION PLAN

REVISION	NO.
ZONING 12-24-21	
ZONING 02-14-22	2

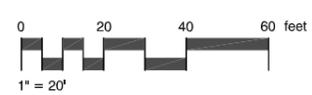
DATE:	9/20/2021
SCALE:	AS NOTED
DRAWN:	EVD
CHECKED:	EVD
JOB NO:	21-0508
PERMIT NO.	

OWNERSHIP  
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L-300



THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVE 100% COVERAGE. INSTALL THIS IRRIGATION SYSTEM PER THE SITE CONDITIONS, AVAILABLE FLOW/PRESSURE AND MANUFACTURERS RECOMMENDATIONS.



**IRRIGATION NOTES**

- THE PLANS AND DRAWINGS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. INSTALL THIS IRRIGATION SYSTEM PER THE SITE CONDITIONS AND AVAILABLE FLOW/PRESSURE. SOME COMPONENTS MAY BE SHOWN OUTSIDE THE WORK AREA FOR CLARITY. THE WORK SHALL BE EXECUTED IN A MANNER TO AVOID CONFLICTS WITH UTILITIES AND OTHER ELEMENTS OF CONSTRUCTION, INCLUDING LANDSCAPE MATERIALS. ALL DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE BEFORE BEING INSTALLED.
- THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT LOCAL CODES, ORDINANCES, AND REGULATIONS.
- ALL IRRIGATION MAINLINE AND LATERAL LINES ARE TO NOT EXCEED A VELOCITY OF 5FPS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY ASPECT OF THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS AND DRAWINGS, WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES EXIST THAT MIGHT NOT HAVE BEEN KNOWN DURING THE DESIGN OF THE IRRIGATION SYSTEM. IN THE EVENT THAT NOTIFICATION OF THE CONFLICT IS NOT APPROVED BY THE OWNERS REPRESENTATIVE, THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE ROOT BALLS WHEN INSTALLING IRRIGATION EQUIPMENT. CALL 811 AND REFER TO UTILITY PLANS PRIOR TO TRENCHING.
- IRRIGATION CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, INCLUDING UTILITY LOCATIONS BEFORE INSTALLATION OF THE IRRIGATION SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION WITH ALL OTHER CONSTRUCTION ON SITE, ESPECIALLY LANDSCAPE INSTALLATION. THE IRRIGATION SYSTEM SHALL BE RELOCATED AT NO ADDITIONAL COST FOR ANY CONFLICT WITH LANDSCAPE INSTALLATION OR ANY OTHER SITE CONSTRUCTION OR EXISTING CONDITIONS.
- VERIFY THE MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE IRRIGATION DESIGN CONSULTANT AND LANDSCAPE ARCHITECT IN WRITING IF THE MINIMUM STATIC WATER PRESSURE OR WATER VOLUME IS NOT AVAILABLE.
- WHERE EXISTING OR NEW TREES, LIGHT FIXTURES, SIGNS, ELECTRONIC CONTROLLERS AND/OR OTHER OBJECTS ARE AN OBSTRUCTION TO AN IRRIGATION SPRINKLER'S PATTERN, THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN PROPER COVERAGE OF AN IRRIGATION SPRINKLER'S PATTERN. THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN THE PROPER COVERAGE WITHOUT DAMAGING THE OBSTRUCTION.
- 100% HEAD TO HEAD COVERAGE IS REQUIRED. ASSURE THAT ANY MODIFIED SPACING DOES NOT EXCEED THE SPACING SHOWN IN THE PLANS.
- IRRIGATION CONTRACTOR SHALL ADJUST ALL SPRINKLERS TO AVOID OVER SPRAY ONTO IMPERVIOUS AREAS.
- ALL MATERIALS AND EQUIPMENT SHOWN SHALL BE NEW. IF THE DRAWINGS DO NOT THOROUGHLY DESCRIBE THE TECHNIQUES TO BE USED, THE INSTALLER SHALL FOLLOW THE INSTALLATION METHODS AND INSTRUCTIONS RECOMMENDED BY THE PRODUCT MANUFACTURER.
- THE LOCATION OF THE IRRIGATION MAINLINE SHALL BE IDENTIFIED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE BEFORE INSTALLATION.
- CONTRACTOR IS TO SUBMIT PRODUCT SPECIFICATION SHEETS FOR ALL IRRIGATION EQUIPMENT TO BE USED FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE QUANTITIES SHOWN IN THE LEGEND SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS.
- ALL TRENCHES SHALL BE BACKFILLED WITH CLEAN DEBRIS-FREE MATERIALS.
- IRRIGATION CONTRACTOR IS TO INSTALL CHRISTY ZONE TAGS WITH THE CORRESPONDING CONTROLLER ZONE NUMBER AT EACH CONTROL VALVE.
- AS BUILT DOCUMENTS ARE TO BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT, THE MAINLINE, CONTROL VALVES, ISOLATION VALVES, GROUND RODS AND SPICE BOXES SHALL BE LOCATED WITH A MEASUREMENT FROM TWO FIXED POINTS.
- IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF ON-SITE OPERATIONS.
- A MAINLINE PRESSURE TEST IS TO BE CONDUCTED BEFORE BACKFILLING. ALL FINDINGS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT WITHIN TWENTY FOUR HOURS POST TEST.
- ALL SLEEVES ARE TO BE TWO TIMES THE SIZE OF THE PIPE. COORDINATE ALL SLEEVES WITH THE APPROPRIATE CONTRACTOR PRIOR TO CONSTRUCTION. NOT ALL NECESSARY VERTICAL SLEEVES MAY BE SHOWN ON THESE PLANS. FIELD VERIFY. ALL SLEEVE LOCATIONS ARE TO BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.
- THE IRRIGATION INSTALLER IS TO INSTALL THIS SYSTEM PER THE AVAILABLE FLOW AND PRESSURE AT THE SITE. FIELD ADJUST AS NECESSARY.
- FOLLOW ALL LOCAL DORAL IRRIGATION CODES.

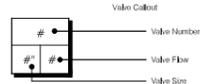
**VALVE SCHEDULE**

NUMBER	MODEL	SIZE	TYPE	GPM	PRECIP
1	RAIN BIRD PESBR-PRS-D	1"	TURF SPRAY	21.72	1.49 in/h
2	RAIN BIRD PESBR-PRS-D	1"	SHRUB SPRAY	25.58	2.07 in/h
3	RAIN BIRD PESBR-PRS-D	1"	SHRUB SPRAY	21.11	1.9 in/h
4	RAIN BIRD PESBR-PRS-D	1"	TURF SPRAY	22.22	1.48 in/h
5	RAIN BIRD PESBR-PRS-D	1"	SHRUB SPRAY	9.49	2.04 in/h
6	RAIN BIRD PESBR-PRS-D	1"	SHRUB SPRAY	21.45	2.8 in/h
7	RAIN BIRD PESBR-PRS-D	1"	SHRUB SPRAY	26.56	3.05 in/h
8	RAIN BIRD PESBR-PRS-D	1"	TURF SPRAY	25.49	1.47 in/h
9	RAIN BIRD PESBR-PRS-D	1"	SHRUB SPRAY	15.85	2.03 in/h
10	RAIN BIRD PESBR-PRS-D	1"	SHRUB SPRAY	17.23	1.9 in/h
11	RAIN BIRD PESBR-PRS-D	1"	TURF SPRAY	16.02	1.34 in/h

\*THE IRRIGATION CONTRACTOR IS TO SET THE RUN TIMES FOR EACH ZONE TO MATCH THE PLANT WATER REQUIREMENTS, SITE CONDITIONS AND MICRO-CLIMATE FACTORS. SEE THE LANDSCAPE PLANS FOR PLANT SPECIFICATIONS.

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1806-U-PRS-NP 15 STRIP SERIES TURF SPRAY 6" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, PRESSURE REGULATING, WITH NON POTABLE PURPLE CAP.	4	30
	RAIN BIRD 1806-U-PRS-NP U8 SERIES TURF SPRAY 6" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, PRESSURE REGULATING, WITH NON POTABLE PURPLE CAP.	9	30
	RAIN BIRD 1806-U-PRS-NP U10 SERIES TURF SPRAY 6" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, PRESSURE REGULATING, WITH NON POTABLE PURPLE CAP.	60	30
	RAIN BIRD 1806-U-PRS-NP U12 SERIES TURF SPRAY 6" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, PRESSURE REGULATING, WITH NON POTABLE PURPLE CAP.	1	30
	RAIN BIRD 1806-U-PRS-NP U15 SERIES TURF SPRAY 6" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, PRESSURE REGULATING, WITH NON POTABLE PURPLE CAP.	5	30
	RAIN BIRD 1806-U-PRS-NP HE-VAN SERIES TURF SPRAY 6" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, PRESSURE REGULATING, WITH NON POTABLE PURPLE CAP.	33	30
	RAIN BIRD 1812-PRS-NP-U SQ SERIES SHRUB SPRAY, 12" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, WITH PRESSURE REGULATING DEVICE AND NON-POTABLE PURPLE CAP.	1	30
	RAIN BIRD 1812-PRS-NP-U 15 STRIP SERIES SHRUB SPRAY, 12" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, WITH PRESSURE REGULATING DEVICE AND NON-POTABLE PURPLE CAP.	81	30
	RAIN BIRD 1812-PRS-NP-U 8 SERIES SHRUB SPRAY, 12" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, WITH PRESSURE REGULATING DEVICE AND NON-POTABLE PURPLE CAP.	19	30
	RAIN BIRD 1812-PRS-NP-U 10 SERIES SHRUB SPRAY, 12" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, WITH PRESSURE REGULATING DEVICE AND NON-POTABLE PURPLE CAP.	3	30
	RAIN BIRD 1812-PRS-NP-U HE-VAN SERIES SHRUB SPRAY, 12" POP-UP SPRINKLER WITH CO-MOLDED W/PER SEAL, SIDE AND BOTTOM INLET, 1/2" NPT FEMALE THREADED INLET, WITH PRESSURE REGULATING DEVICE AND NON-POTABLE PURPLE CAP.	31	30
	RAIN BIRD 1804-NP-1400 FLOOD FLOOD BUBBLER 4" POPUP WITH NON-POTABLE PURPLE CAP.	53	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PESBR-PRS-D 1", 1-1/2", 2" DURABLE CHLORINE-RESISTANT VALVES FOR RECLAIMED WATER APPLICATIONS, WITH SCRUBBER MECHANISM TECHNOLOGY, PURPLE FLOW CONTROL HANDLE, AND PRESSURE REGULATOR MODULE.	11	
	LANDSCAPE PRODUCTS INC. BGV 1/2", 3/4", 1", 1-1/4", 1-1/2", 2", 2-1/2", 3", 4" BRASS GATE VALVE, THREADED BONNET, NON-RISING STEM, PRESSURE RATED TO 200 PSI, SAME SIZE AS MAINLINE.	2	
	RAIN BIRD ESP-AME3 WITH (2) ESP-SMS (1) ESP-SMS6 16 STATION, HYBRID MODULAR OUTDOOR CONTROLLER, FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI MODULE AND FLOW SENSOR READY.	1	
	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.	1	
	POINT OF CONNECTION 1 1/2"	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21-NP	2,697 L.F.	
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21-NP	507.3 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40	343.4 L.F.	



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PRESIDENT

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PH. 305 726.8313  
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DESIGN CONSULTANTS



Digitally signed  
by Andrew M  
Witkin  
Date: 2022.02.14  
11:17:41 -05'00'



CONCEPTUAL SITE PLAN DESIGN

NATIONAL  
EXPRESS WASH  
DORAL

2753 NW 87 AVE  
DORAL, FL

**IRRIGATION NOTES  
& LEGEND**

REVISION	NO.
ZONING 12-24-21	

DATE:	9/20/2021
SCALE:	AS NOTED
DRAWN:	IDS
CHECKED:	EVD
JOB NO.:	21-0508
PERMIT NO.:	

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**L-301**



Professional (Individual or Corporation)

PROFESSIONAL PREPARER'S STATEMENT OF LANDSCAPING COMPLIANCE

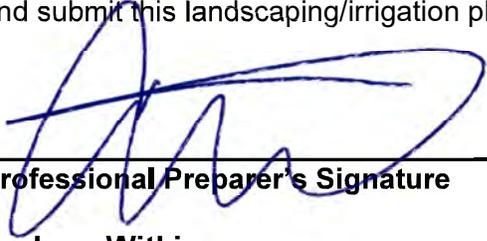
PROCESS NUMBER:

Legal description: Lot: \_\_\_\_\_ Block \_\_\_\_\_ Subdivision: \_\_\_\_\_  
P.B. \_\_\_\_\_ Page: \_\_\_\_\_ Development name: National Express Wash – Doral El Car Wash  
Located at (address) \_\_\_\_\_

I/We hereby certify that the landscaping/irrigation plan being submitted for the above captioned complies with the requirements of Ordinance 98-13 (landscaping ordinance) and Chapter 71 of the City of the Doral Land Development Code as to species, height, trunk width and location at time of planting, and that the species as shown are in accordance with the accepted species approved by Miami-Dade County and that none of the species are from the prohibited list.

Additionally, automatic sprinkler system (if applicable) comply with requirement of said ordinance as to type of heads, spray system, location, etc.

I/We further certify that I/we am/are authorized under Chapter 481, Florida statutes to prepare and submit this landscaping/irrigation plan.

  
\_\_\_\_\_  
Professional Preparer's Signature Seal:

**Andrew Witkin**  
**Witkin Hults + Partners**  
**307 S. 21st Avenue**  
**Hollywood, FL 33020**  
**License #0000889**



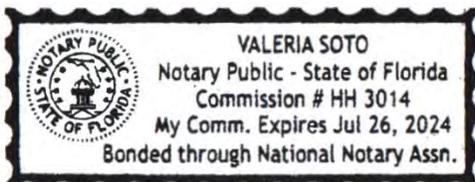
**STATE OF FLORIDA**  
**COUNTY OF BROWARD**

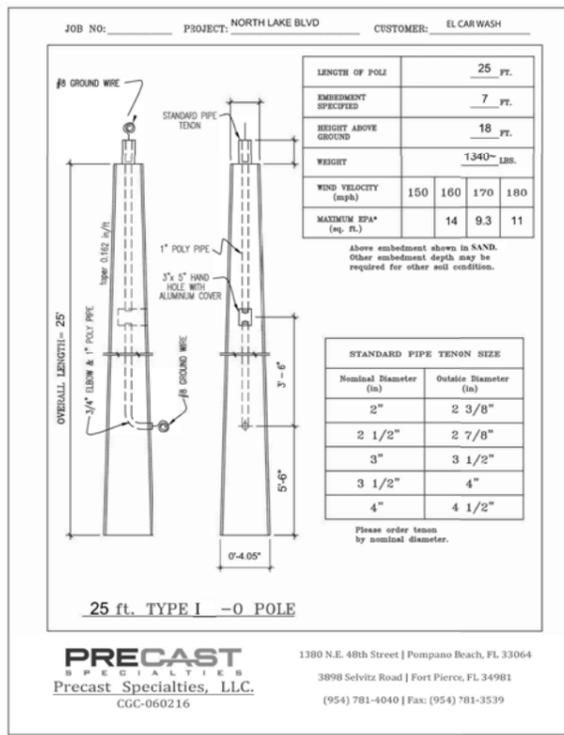
The foregoing instrument was acknowledged before me this **14<sup>th</sup> of February, 2022**, by *Andrew Witkin*, of *Witkin Hults + Partners*, a Florida corporation, on behalf of the corporation. He is personally known to me and did not take an oath.

Witness my signature and official seal this **14<sup>th</sup> of February, 2021** in the County and State aforesaid, the date and year last aforesaid.

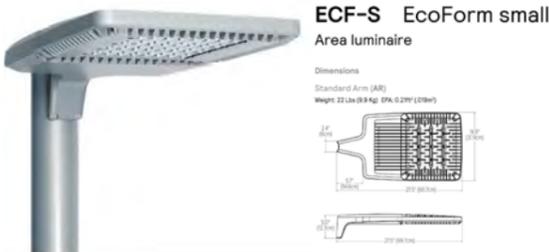
My commission expires: July 26, 2024

  
\_\_\_\_\_  
**Valeria S. Soto**  
Notary Public Signature





3 VACUUM ARCH LIGHTS



NOTE ON THIS DESIGN:

THIS REPORT MAKES NO REPRESENTATIONS IN REGARD TO LIGHTING DESIGN OR SPECIFICATION, RATHER ATTEMPTS TO ACCURATELY REFLECT THE PHOTOMETRIC RESULTS OF A DESIGN BY OTHERS.

NOTE ON THESE PHOTOMETRIC CALCULATIONS:

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD PARTY SOFTWARE AND THE STANDARDS USED. ALL DIGITAL CAD DATA APPEAR TO BE EXTREMELY ACCURATE, HOWEVER, THIS APPARENT ACCURACY IS AN ARTIFACT OF THE TECHNIQUES USED TO GENERATE IT, AND IS IN NO WAY INTENDED TO IMPLY ACCURACY IN THE REAL WORLD. THERE ARE MANY FACTORS THAT WILL IMPACT THE ACTUAL PERFORMANCE OF LIGHTING IN THE CONSTRUCTED SPACE, INCLUDING: THE ACCURACY OF THE ORIGINAL SOURCE (IES) FILES SUPPLIED BY THE MANUFACTURER, INPUT VOLTAGE BALLAST VARIANCES, ACTUAL FINISH VALUES IN THE CONSTRUCTED ENVIRONMENT, MANUFACTURING VARIATIONS IN BOTH THE SOURCE (LAMP) AND THE LUMINAIRE, FINAL LUMINAIRE PLACEMENT, OBSTRUCTIONS, AND INSTALLATION QUALITY. FURTHER, FIELD MEASUREMENT ITSELF IS SUBJECT TO ERRORS ARISING FROM MEASURING METHODS AND/OR TECHNOLOGY SELECTED, AND THE KNOWLEDGE/ABILITY OF THE MEASURING PARTY.

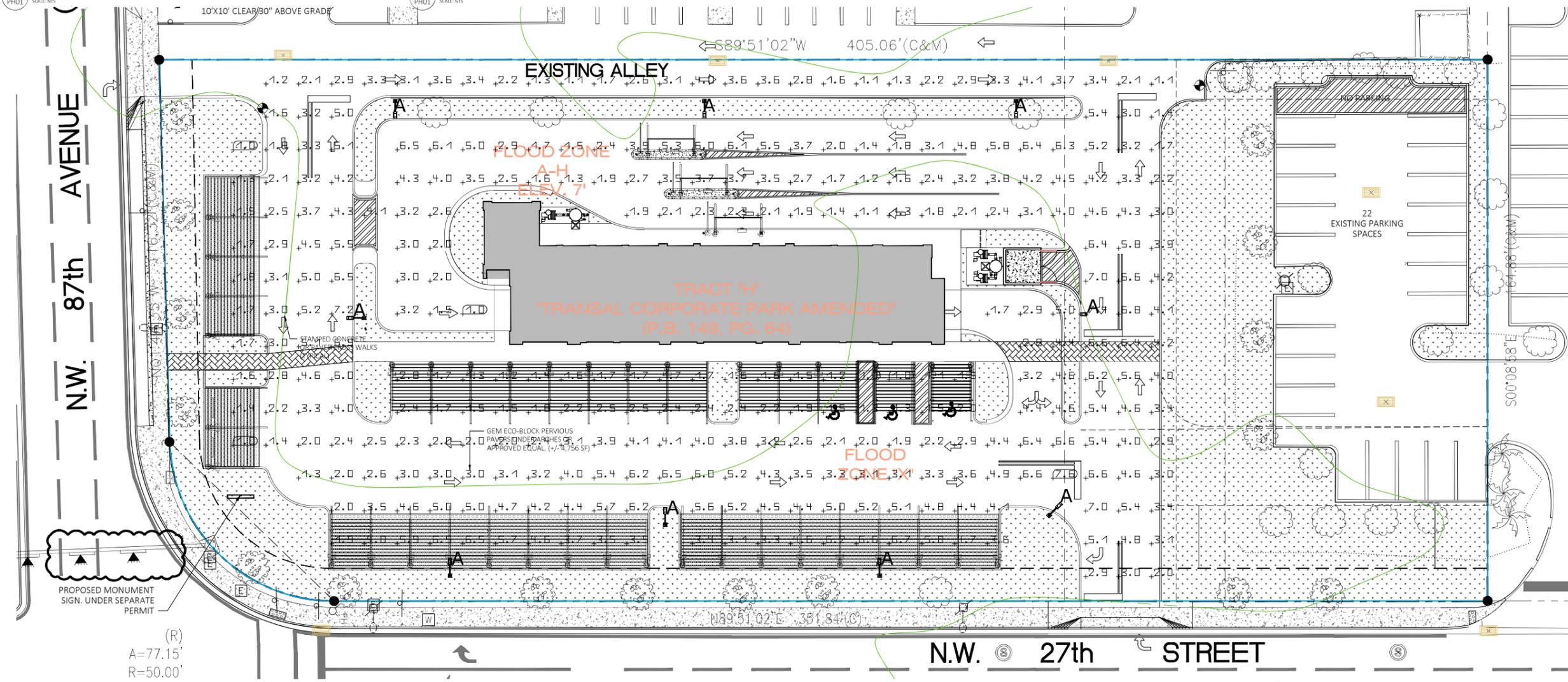
#	Name	Parameter	Min	Max	Average	Min/average	Min/max
1	Parking	Perpendicular illuminance	1.00 fc	7.63 fc	3.43 fc	0.292	0.131

Luminaire list (Site 1)

Index	Manufacturer	Article name	Item number	Mounting Height	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
A	WSD LED INC	WSD-SB15W27-50K-D-T3	WSD-SB15W27-50K-D-T3	25 ft	1x	21447 lm	0.90	149 W	9

2 LIGHT POLE

4 PARKING LOT LIGHT POLES



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FAX: 305 356.3686

arturo@fanjularchitects.com

"A BETTER LIFE THROUGH DESIGN"

Arturo G Fanjul 2022.02.14 18:30:32 -0500



ARTURO G. FANJUL AR0017585  
STATE OF FLORIDA REGISTERED ARCHITECT

DESIGN CONSULTANTS



CONCEPTUAL SITE PLAN DESIGN

NATIONAL EXPRESS WASH DORAL

2753 NW 87 AVE  
DORAL, FL

SITE PHOTOMETRY

REVISION	NO.
REWORK 12.22.2021	
REWORK 2.10.2022	

DATE: 9/20/2021  
SCALE: As Noted  
DRAWN: AGF  
CHECKED: AGF  
JOB NO. 21-0508  
PERMIT NO.

OWNERSHIP  
OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

PHO 1

1 SITE PLAN  
SCALE: 1/16"=1'-0"

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