

RESOLUTION Z05-42

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA AUTHORIZING AND APPROVING A SITE PLAN FOR EXPRESSWAY CORPORATE PARK, LLC, GENERALLY LOCATED AT THE NORTHWEST AND SOUTHWEST CORNERS OF NW 12 STREET AND NW 97 AVENUE AND COMPRISING ± 9.42 ACRES, DORAL, FLORIDA; ADDITIONALLY APPROVING A NON-USE VARIANCE TO PERMIT REPAIR/SERVICE BAYS TO OCCUPY 54.3% OF THE BUILDING AREA WHERE A MAXIMUM OF 15% IS PERMITTED UNDER THE CODE; PROVIDING FOR RECORDATION; PROVIDING AN EFFECTIVE DATE

WHEREAS, Expressway Corporation Park, LLC ("Applicants") has requested approval of a site plan for a car dealership facility with associated service/repair facilities on property generally located at the northwest and southwest corners of NW 12 Street and NW 97 Avenue, Doral, Florida as depicted on Exhibit "A" attached hereto; and

WHEREAS, Applicant has further requested a non-use variance to allow up to 54.3% of the building area to be devoted to repair/service bays where 15% of the building area is permitted by right; and

WHEREAS, the City Council, after careful review of the testimony and evidence, and after reviewing the recommendation of staff and deliberating on same, has determined it to be in the best interests of the citizens of the City of Doral to approve the site plan and authorize a non-use variance related to the size of repair/service bays on the property;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA THAT:

Section 1. The foregoing “WHEREAS” clauses are hereby ratified and confirmed as being true and correct and are hereby made a part of this Resolution upon adoption hereof.

Section 2. The City Council of the City of Doral hereby approves Applicants' request to approve the site plan proffered before the Council at its August 25, 2005 zoning meeting, which site plan is incorporated fully herein, for the property generally located at the northwest and southwest corners of NW 12 Street and NW 97 Avenue, Doral, Florida

Section 3. The request for the non-use variance maintains the basic intent and purpose of the zoning subdivision and other land use regulations, protects the general welfare of the public and is otherwise compatible with the surrounding land uses and not detrimental to the community consistent with Section 33-311(a) (4) (b) of the Miami-Dade County Code as adopted by the City of Doral.

Section 4. The approval of the site plan and the non-use variance is expressly conditioned and subject to the following:

(1) The Applicants must obtain approval of the proposed site plan entitled “Expressway Toyota” dated/stamped received July 15, 2005; as prepared by Architecture 6400, Inc., from the Department of Environmental Resources Management (DERM) and from the Miami-Dade County Fire Department prior to the issuance of a building permit.

(2) That all conditions outlined in the International Corporate Park (ICP) Development of Regional Impact (DRI), as fully incorporated herein, remain in full force and effect unless modified in writing and approved by the City.

Section 5. This Resolution shall be recorded in the Public Records of Dade County, Florida, with the Applicant to pay the costs thereof.

Section 6. This resolution shall become effective upon its passage and adoption by the City Council.

WHEREAS, a motion to approve the Resolution was offered by Councilman DiPietro, who moved its adoption. The motion was seconded by Councilman Van Name and upon being put to a vote, the vote was as follows:

Mayor Juan Carlos Bermudez	yes
Vice Mayor Peter Cabrera	absent
Councilmember Michael DiPietro	yes
Councilwoman Sandra Ruiz	yes
Councilmember Robert Van Name	yes

PASSED AND ADOPTED this 24th day of August, 2005.



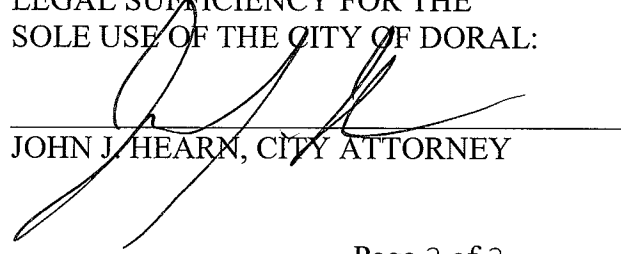
JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:



CITY CLERK

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY FOR THE
SOLE USE OF THE CITY OF DORAL:

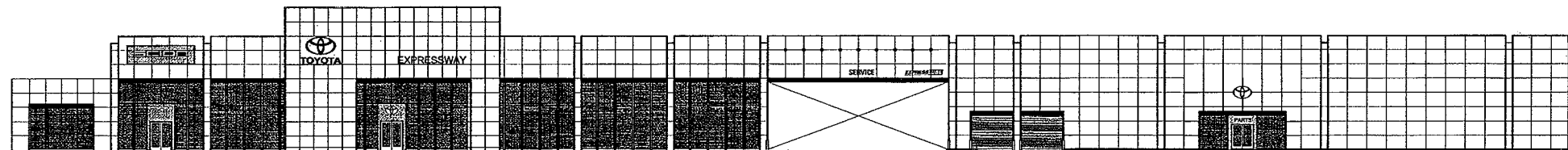
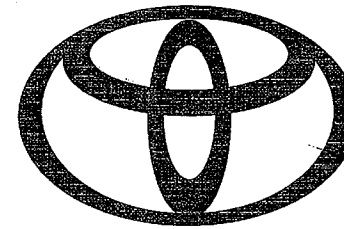


JOHN J. HEARN, CITY ATTORNEY

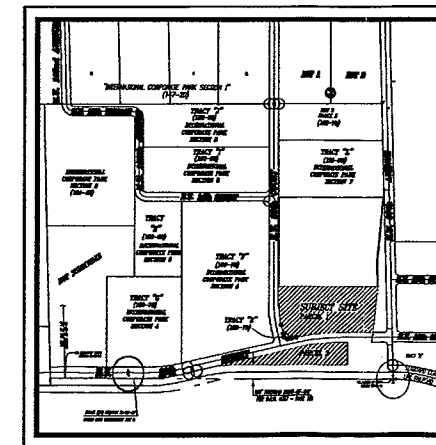
A PROPOSED NEW DEALERSHIP FOR:

EXPRESSWAY TOYOTA

CITY OF DORAL, DADE COUNTY, FLORIDA



SITE PLAN APPROVAL SET - JULY 15, 2005.



VICINITY MAP
NOT TO SCALE

INDEX OF DRAWINGS

A-0 INDEX / COVER SHEET
 BREVET
 SHEET 1 OF 3 LOCATION MAP/COVER SHEET
 SHEET 2 OF 3 SKETCH OF SURVEY

ARCHITECTURAL
 A-1 OVERALL SITE PLAN
 A-2 VEHICLE CARRIER SITE STUDY
 A-3 ENLARGED SITE PLAN - PARCEL 1
 A-4 ENLARGED SITE PLAN - PARCEL 2
 A-5 SITE DETAILS
 A-6 OVERALL FLOOR PLAN
 A-7 EXTERIOR ELEVATIONS
 A-8 EXTERIOR FINISH SCHEDULE
 A-9 SIGNAGE PLAN

LANDSCAPE
 LA-1 EXISTING VEGETATION PLAN
 LA-2 PLANTING PLAN
 LA-3 PLANTING PLAN
 LA-4 PLANTING PLAN
 LA-5 PLANT DETAILS & NOTES

CONSULTANTS

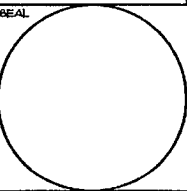
ARCHITECTURAL
 ARCHITECTURE 6400 INC.
 300 S.E. 2ND STREET
 FORT LAUDERDALE, FLORIDA 33301
 (764) 621-1880

LANDSCAPING
 ECOPLAN
 808 S.E. 10th AVENUE
 FORT LAUDERDALE, FLORIDA 33306
 (764) 554-3723

SURVEYORS
 SCHMIDTKE-SCHMIDT & ASSOC. INC.
 2548 CORPORATE WAY
 TEMPAH, FLORIDA 33603
 (764) 422-1212

REVISIONS:

05/31/05	CITY OF DORAL
P & Z SUBMITTAL	

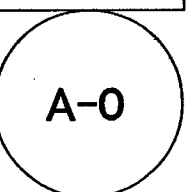


CONSULTANT

Architecture 6400 Inc.
 A Division of Stiles Corporation
 300 S.E. 2nd Street
 Fort Lauderdale, Florida
 33301
 954 - 621- 9180
 FL. REG # AA-C000081

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
 N.W. 12th STREET AND N.W. 98th COURT
 CITY OF DORAL, FLORIDA

COVER SHEET



PROJECT NO.
 13358
 DRAWN BY:
 ECG
 CHECKED BY:
 ECG
 DATE:
 05-31-05

THE CITY OF DORAL, FLORIDA, IS THE OWNER OF THIS PROJECT. THE CITY OF DORAL, FLORIDA, IS THE OWNER OF THIS PROJECT. THE CITY OF DORAL, FLORIDA, IS THE OWNER OF THIS PROJECT.

TENTATIVE PLAT "EXPRESSWAY TOYOTA"

A PORTION OF SECTION 32, TOWNSHIP 53 SOUTH, RANGE 40 EAST MIAMI-DADE COUNTY, FLORIDA

NOTES:

- 1) Bearings shown hereon are based on an assumed bearing of N 01°49'48" W along the East line of the S.E.1/4 of Section 32-53-40 (Plat Book 147-20)
- 2) Elevations shown hereon refer to National Geodetic Vertical Datum of 1929 (N.G.V.D.).
- 3) Bench Marks:
B.M.#1 Dade County B.M. N-455; P.K. nail & brass washer in culvert headwall, 40 feet west of centerline of N.W. 97th Avenue and 35 feet North of centerline of N.W. 25th Street, 7 feet north of guardrail. Elevation = 7.29 (N.G.V.D.)
B.M.#2 North rim manhole at intersection of N.W. 14th Street and N.W. 98th Court. Elevation = 7.29 (N.G.V.D.)
- 4) This Sketch represents a "BOUNDARY SURVEY"
- 5) This Survey reflects the plottable easements and rights of way per Title Commitment No. PA-C-NCS-24474-FIL having and effective date of Feb. 26, 2003 by First American Title Insurance Company.
- 6) Property shown hereon falls within Special Food Hazard Zone "AH" Elevation 7.00', per F.L.R.M. Community Panel No. 120635 0160 J, Dated: March 2, 1994.
- 7) Dade County Flood Criteria = 7.1 per Plat Book 120, Page 13.
- 8) Unless otherwise noted, this firm has made no attempt to locate underground utility lines, foundations and/or footings
- 9) Distances along boundary of subject property are record and measured, unless otherwise stated.
- 10) Property described herein contains 9.4141 acres

DEVELOPMENT INFORMATION:

OWNER: EXPRESSWAY CORPORATE PARK, L.L.C.
150 N.W. 79th AVENUE
MIAMI, FLORIDA 33126

Number of Tracts: 2
TRACT "A" = 6.947±ACRES
TRACT "B" = 2.467±ACRES
Property Zoned = IU-1
Utilities = Miami Dade Water & Sewer Authority Department.
Flood Criteria Elevation: 7.1 per Plat Book 120, Page 13

PROPOSED USE:

TRACT "A": Auto Showroom- One Story Building=19,118 S.F.
Service Building-Two Story Building=33,882 S.F.
Total=53,000 S.F.
TRACT "B": Vehicle Storage

CONTACT PERSON INFORMATION

NAME : DAVID E. SACKS
TELEPHONE NUMBER: (305) 379-2425
FAX NUMBER: (305) 379-2420
E-MAIL ADDRESS: dsacks@pathmanlewis.com

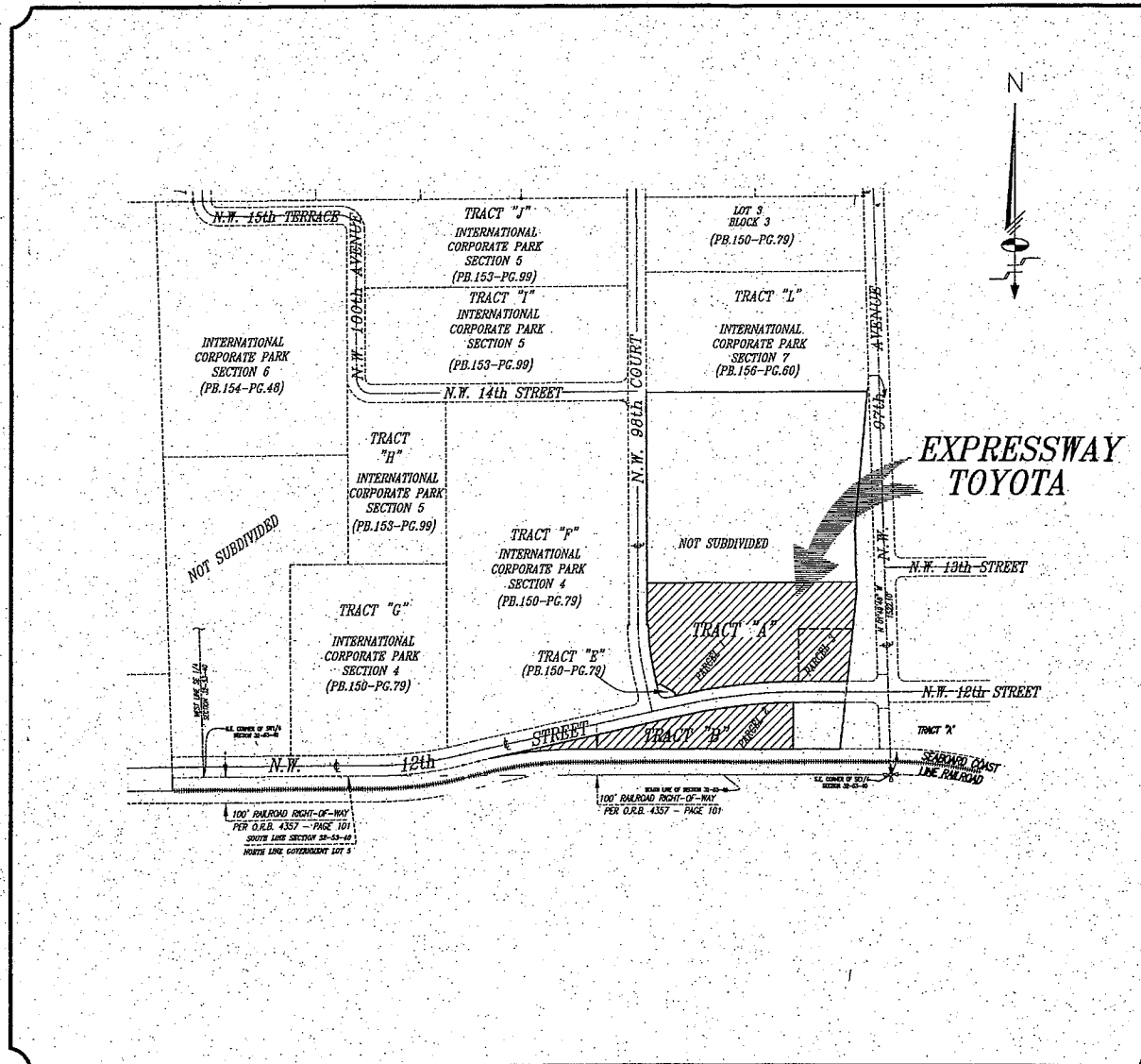
I HEREBY CERTIFY: That this "TENTATIVE PLAT" of the property described hereon is true and correct to the best of my knowledge and belief as recently surveyed and drawn under my supervision and direction. This survey complies with the Minimum Technical Standards adopted by the Florida State Board of Surveyors and Mappers pursuant to Chapter 61G17-6, Florida Administrative Code.

SCHWEBKE-SHISKIN, & ASSOCIATES, INC.

By: *Robert F. Jackson*
Robert F. Jackson, President
Professional Land Surveyor #2408
State of Florida (Business license no. Lb87)

INDEX TO DRAWINGS

DESCRIPTION	SHEET NO.
LOCATION MAP/COVER SHEET	1 OF 2
TENTATIVE PLAT	2 OF 2



LOCATION MAP

SCALE: 1" = 300'

SCHWEBKE-SHISKIN & ASSOCIATES, INC.

3240 CORPORATE WAY MIRAMAR, FLORIDA 33025

LAND PLANNERS - ENGINEERS - LAND SURVEYORS

LEGAL DESCRIPTION:

PARCEL 1
A portion of land in the Southeast 1/4 of Section 32, Township 53 South, Range 40 East, being more particularly described as follows:

Begin at the Point of Intersection of the Northerly boundary of Tract "E" with the Easterly Right of Way line of N. W. 98th Court as shown on the Plat of "INTERNATIONAL CORPORATE PARK SECTION 4" as recorded in Plat Book 150, Page 79 of the Public Records of Dade County, Florida; thence North 77 degrees 32 minutes 20 seconds East for 15.00 feet; thence South 59 degrees 23 minutes 30 seconds East for 62.97 feet; thence South 12 degrees 27 minutes 40 seconds East for 12.00 feet (the previous three courses were coincident with a portion of the boundary of said Tract "E"); thence North 77 degrees 32 minutes 20 seconds East for 36.52 feet to a Point of Curvature; thence Easterly along a circular curve to the right having a radius of 2040.00 feet and a central angle of 12 degrees 22 minutes 22 seconds for an arc distance of 440.53 feet to the Point of Tangency; thence North 89 degrees 54 minutes 42 seconds East for 47.61 feet (the previous three courses were coincident with the Northerly Right of Way line of N. W. 12th Street as shown on said Plat of "INTERNATIONAL CORPORATE PARK SECTION 4"); thence North 00 degrees 05 minutes 18 seconds West for 261.09 feet; thence North 89 degrees 54 minutes 42 seconds East for 167.21 feet; thence North 05 degrees 51 minutes 42 seconds East for 83.74 feet; thence North 01 degrees 49 minutes 48 seconds West for 31.85 feet (the previous two courses were coincident with the Westerly Right of Way line of N. W. 97th Avenue as recorded in Official Records Book 17500 at Page 3719 of the Public Records of Dade County, Florida); thence South 89 degrees 40 minutes 09 seconds West for 805.87 feet; thence South 00 degrees 19 minutes 51 seconds East for 155.40 feet; thence North 89 degrees 40 minutes 09 seconds East, radial to the next described circular curve, for 5.00 feet; thence Southeasterly along a circular curve to the left having a radius of 760.00 feet and a central angle of 12 degrees 07 minutes 49 seconds for an arc distance of 160.90 feet to the Point of Tangency; thence South 12 degrees 27 minutes 40 seconds East for 74.07 feet to the Point of Beginning (the previous four courses were coincident with said Easterly Right of Way line of N.W. 98th COURT), lying and being in Miami-Dade County, Florida.

TOGETHER WITH:

PARCEL 2
A portion of land in the Southeast 1/4 of Section 32, Township 53 South, Range 40 East, being more particularly described as follows:

Commence at the Point of Intersection of the Westerly Right of Way line of N. W. 97th Avenue as recorded in Official Records Book 17500 at Page 3719 with the North Right of Way line of the Seaboard Coast Line Railroad as recorded in Official Records Book 4357 at Page 101, both of the Public Records of Dade County, Florida; thence South 89 degrees 54 minutes 42 seconds West for 179.83 feet to the Point of Beginning; thence continue South 89 degrees 54 minutes 42 seconds West for 850.70 feet to a Point of Curvature; thence Southwesterly along a circular curve to the left having a radius of 1482.69 feet and a central angle of 12 degrees 14 minutes 16 seconds for an arc distance of 316.69 feet (the previous three courses were coincident with the said North Railroad Right of Way Line); thence North 77 degrees 32 minutes 20 seconds East for 784.14 feet to a Point of Curvature; thence Northwesterly along a circular curve to the right having a radius of 1960.00 feet and a central angle of 11 degrees 45 minutes 41 seconds for an arc distance of 402.34 feet (the previous two courses were coincident with the Southerly Right of Way line of N. W. 12th Street as shown on the Plat of "INTERNATIONAL CORPORATE PARK SECTION 4" as recorded in Plat Book 150, at Page 79 of the Public Records of Dade County, Florida; thence South 0 degrees 05 minutes 18 seconds East for 179.74 feet to the Point of Beginning, lying and being in Miami-Dade County, Florida.

AND

PARCEL 3
A portion of the Southeast 1/4 of Section 32, Township 53 South, Range 40 East, Miami-Dade County, Florida, being more particularly described as follows:

Commence at the intersection of the Northerly Right-of-Way line of N.W. 12th Street, as shown on the plat of "INTERNATIONAL CORPORATE PARK SECTION 4", as recorded in Plat Book 150, at Page 79, with the Westerly Right-of-Way line of N.W. 97th Avenue, as recorded in Official Records Book 17500, at Page 3719, both of the Public Records of Dade County, Florida; thence South 89 degrees 54 minutes 42 seconds West, along said Northerly Right-of-Way line of N.W. 12th Street, for 22.53 feet to the Point of Beginning; thence continue, along the last described course, for 117.47 feet; thence North 00 degrees 05 minutes 18 seconds West for 261.09 feet; thence North 89 degrees 54 minutes 42 seconds East for 167.21 feet; thence South 05 degrees 51 minutes 42 seconds West, along said Westerly Right-of-Way line of N.W. 97th Avenue, for 239.97 feet to a Point of Curvature; thence Southwesterly, along a circular curve to the right, having a radius of 25.00 feet and a central angle of 84 degrees 03 minutes 00 seconds, for an arc distance of 36.67 feet to the Point of Beginning.

LEGEND:

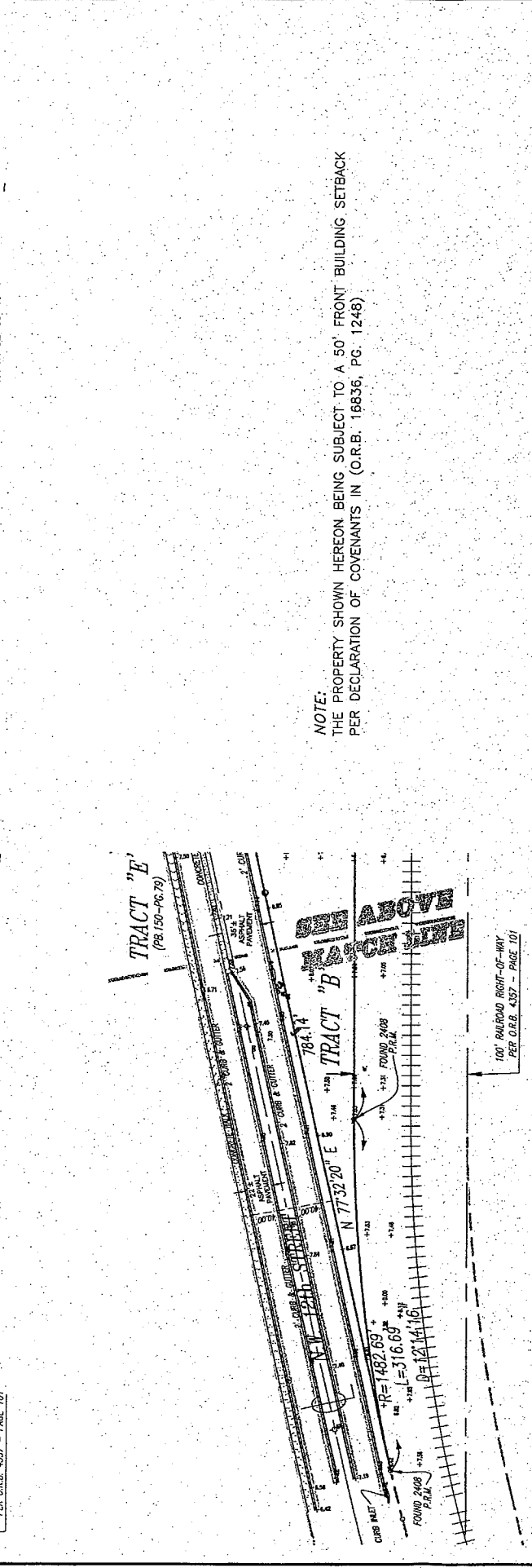
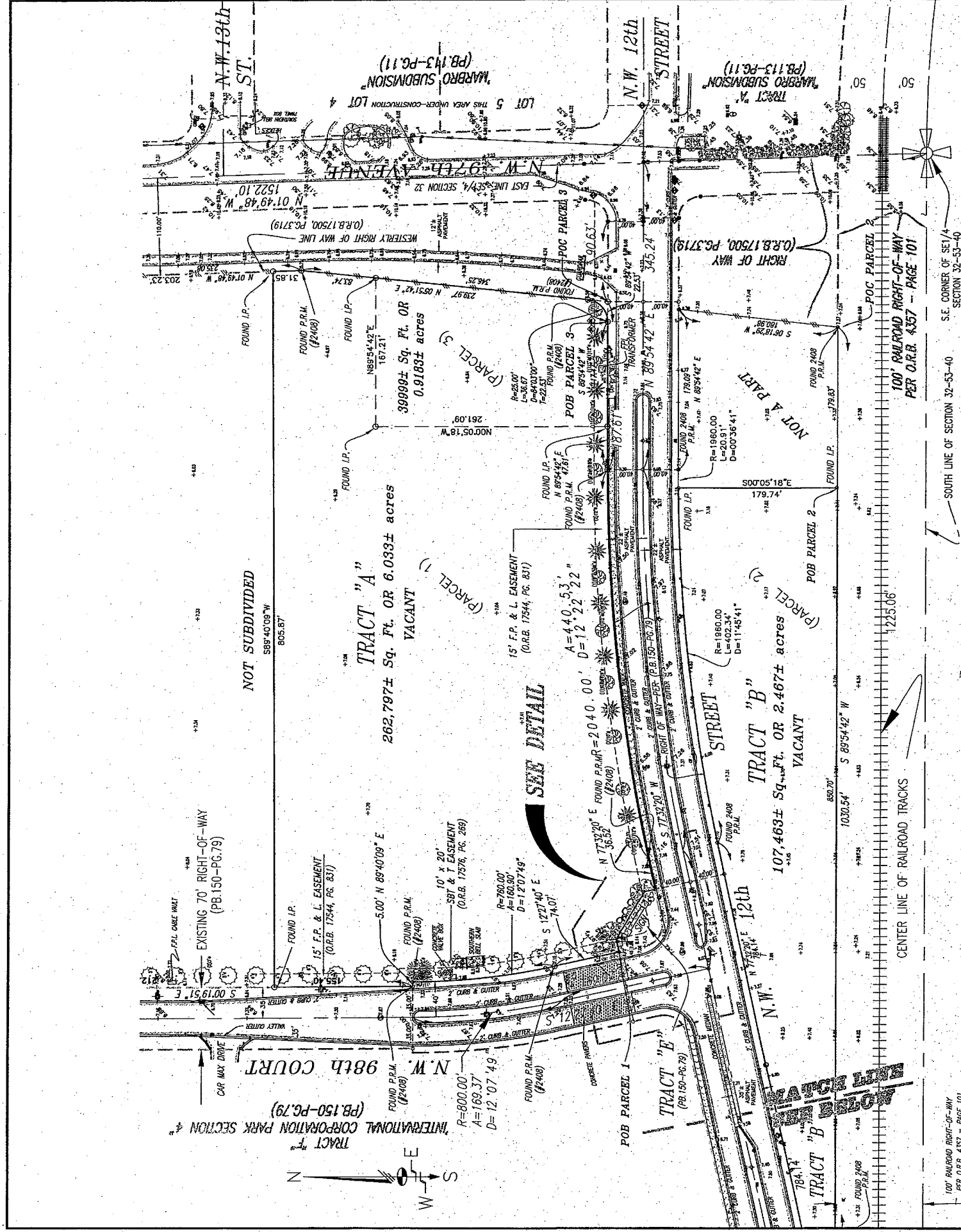
- P.R.M. DENOTES PERMANENT REFERENCE MONUMENT
- P.O.B. DENOTES POINT OF BEGINNING
- P.O.C. DENOTES POINT OF COMMENCEMENT
- S.I.P. DENOTES SET 1/2" IRON PIPE LEG/ST
- W.P. DENOTES WOOD POWER POLE
- L.P. DENOTES LIGHT POLE
- C.W. DENOTES CULVERT
- C.P.P. DENOTES CONCRETE POWER POLE
- W.V. DENOTES WATER VALVE
- W.M. DENOTES WATER METER
- P.B. DENOTES PULL BOX
- F.H. DENOTES FIRE HYDRANT
- C.B. DENOTES CATCH BASIN
- S.D.M. DENOTES STORM DRAINAGE MANHOLE
- S.S.M. DENOTES SANITARY SEWER MANHOLE
- S.S.C. DENOTES SANITARY SEWER CLEANOUT
- C.L.F. DENOTES CHAIN LINK FENCE
- O.H.W. DENOTES OVERHEAD WIRE
- C.L. DENOTES CENTER LINE
- M. DENOTES MEASURED
- R. DENOTES RECORD
- R. DENOTES RADIUS
- L. DENOTES ARC LENGTH
- D. DENOTES DELTA OF CURVE
- P.R.M. DENOTES PERMANENT REFERENCE MONUMENT
- P.O.C. DENOTES POINT OF COMMENCEMENT
- P.O.B. DENOTES POINT OF BEGINNING
- L.A.R. DENOTES LIMITED ACCESS RIGHT-OF-WAY LINE
- E.C. DENOTES EXISTING CONCRETE
- E.A. DENOTES EXISTING ASPHALT

- REV: 10-13-04- UP-DATE SURVEY AND MODIFY TENTATIVE ORDER #189999
- REV: 08-24-04- PREPARE TENTATIVE ORDER #189999
- REV: 04-18-03- UP-DATE SURVEY ORDER #187994
- REV: 01-14-03- UP-DATE SURVEY ORDER #187207

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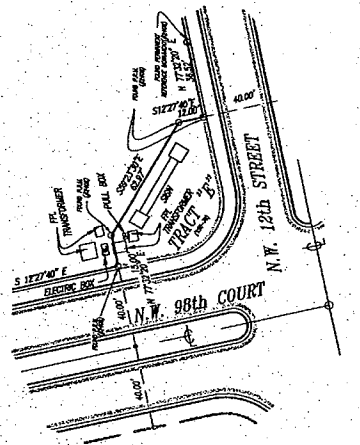
SHEET 1 OF 2

FILE NO: AJ-4301



NOTE:
THE PROPERTY SHOWN HEREON BEING SUBJECT TO A 50' FRONT BUILDING SETBACK PER DECLARATION OF COVENANTS IN (O.R.B. 18636, PG. 1248)

- TREE LEGEND:**
- PINK TABEBUIA
 - ROYAL PALM
 - ROBELLINI PALM
 - MAHOGANY
 - DATE PALM
 - OAK
 - SABAL PALM
 - CUMBO LIMBO



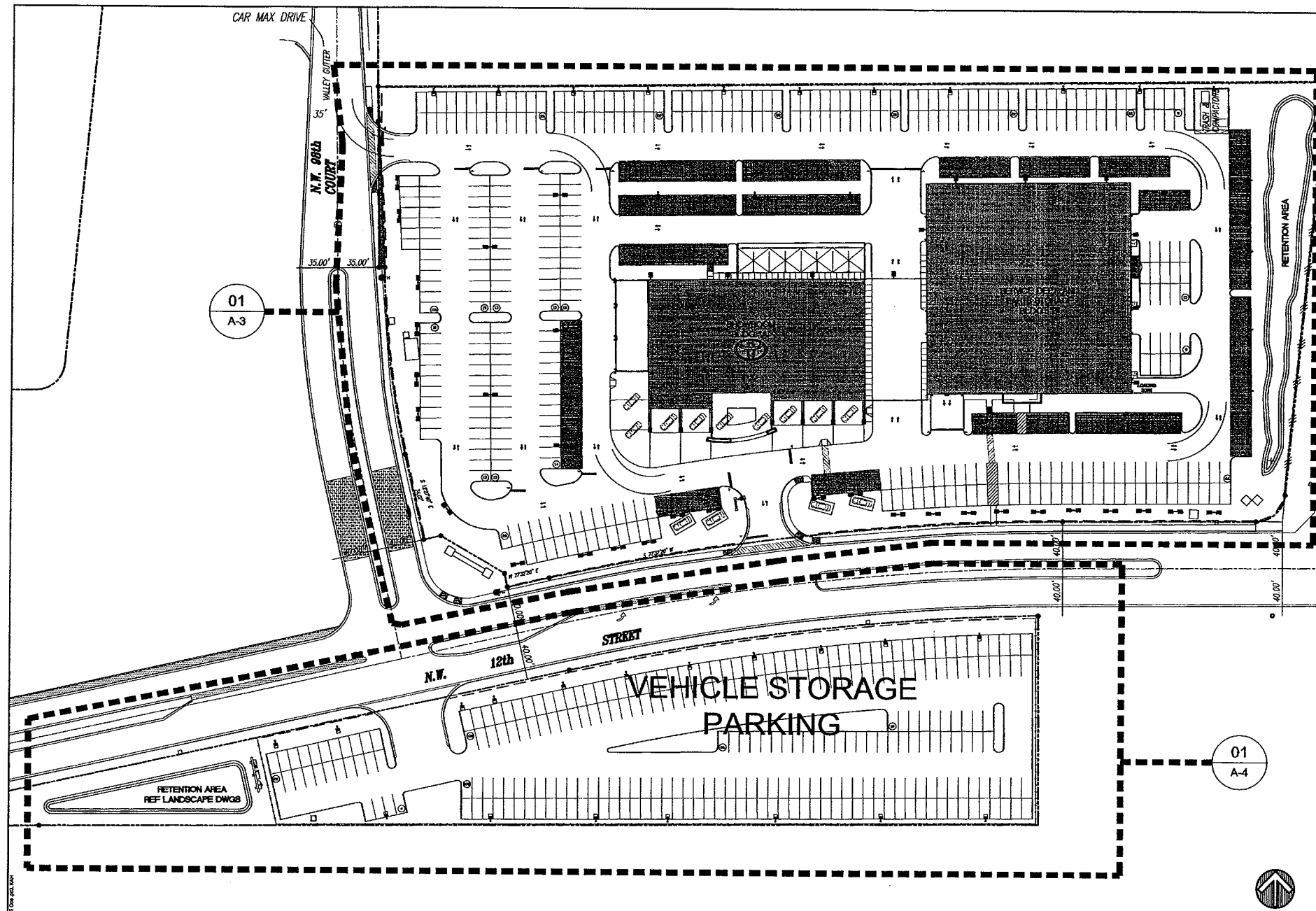
DETAIL
Scale: 1" = 40'

TENTATIVE PLAT
"EXPRESSWAY TOYOTA"
PORTION OF EXISTING POWER LINE RIGHT-OF-WAY TO LOT 40 EAST PALM BEACH COUNTY, FLORIDA

Schwelbe-Shislin & Associates, Inc.
LAND PLANNERS • ENGINEERS • ARCHITECTS • LAND SURVEYORS (LF#87)
3240 CORPORATE WAY
MIAMI, FLORIDA 33025

Drawn By: E.L.C.	Date: 6-11-2001	Checked By: RFP	Sheet: 1 of 1
Order No: 08340	Project: F2408E-2	Scale: 1" = 60'	Sheet No. 2 of 2
Plat No. AJ-4301	State of Florida		

REV: 10-13-04 - UP-DATE SURVEY AND MODIFY TENTATIVE ORDER #189999
REV: 08-24-04 - PREPARE TENTATIVE ORDER #189999
REV: 04-18-03 - UP-DATE SURVEY ORDER #187994
REV: 01-14-03 - UP-DATE SURVEY ORDER #187207



OVERALL SITE PLAN

BUILDING
STRUCTURE BUILDINGS "A"
 1ST FLOOR AREA = 34,800 SF. (84.8% OF NET AREA)
 2ND FLOOR AREA = 2,440 SF. (5.9% OF NET AREA)
 TOTAL GROSS BLDG. AREA = 37,240 SF.
 SERVICE AREA = 28,940 SF. (70.2% OF GROSS BLDG. AREA)
 TOTAL AREA PROVIDED = 36,240 SF.

LANDSCAPE OPEN SPACE AREA - PARCEL 1
 4,197 SF. (10.5% OF NET AREA)
 5,335 SF. (13.4% OF NET AREA)
 34,460 SF. (85.8% OF NET AREA)
 LANDSCAPE OPEN SPACE TOTAL AREA = 39,962 SF. (100% OF NET AREA)

LANDSCAPE OPEN SPACE TOTAL AREA - PARCEL 2
 2,440 SF. (6.1% OF NET AREA)
 2,440 SF. (6.1% OF NET AREA)
 LANDSCAPE OPEN SPACE TOTAL AREA = 4,880 SF. (12.2% OF NET AREA)

NET AREA TOTAL OF PROPERTY
 48,256 SF. (1.24 ACRES)

FLOOD ZONE
 ZONE X, PANEL D2650 - 6200 F
 MINIMUM LANDSCAPE REQ. OPEN REG. SUBAREA (1.54 ACRES) THEREFORE:
 20% OF LOT AREA = 82,291 SF.
 10 SF. OF OPENED SPACE / 500 SF. SUBAREA = 1,645 SF.
 TOTAL AREA REQUIRED = 83,936 SF.
 TOTAL AREA PROVIDED = 36,240 SF.

FLOOR AREA RATIO CALCULATION
 FLOOR AREA RATIO SHALL BE 1.40 = ONE STORY AND SHALL BE INCREASED BY .01 FOR EACH ADDITIONAL STORY.
 MAXIMUM ALLOWABLE FLOOR AREA RATIO = 0.18
 TOTAL BUILDING FLOOR AREA = 37,240 SF.
 FLOOR AREA RATIO PROVIDED = 0.23

PARKING CALCULATIONS
 PER SECTION 33.4 OFF STREET PARKING STANDARDS OF MIAMI - DADE COUNTY LOCAL PARKING CALCULATIONS WERE BASED ON THE FOLLOWING:
 • AUTO DEALERSHIP SHOWROOM, SERVICE & STORAGE GARAGE (3 PARKING SPACES FOR THE FIRST 2340 SF. OF FLOOR AREA AND ONE SPACE FOR EACH ADDITIONAL 500 SF.)
 TOTAL AREA = 37,240 SF.
 RETAINING ADDITIONAL AREA = 56,744 SF.
 TOTAL AREA = 93,984 SF.
 1,120 REG. SPACES

OFFICE AREAS REQUIRE 1 PARKING SPACE FOR EVERY 200 SF.
 TOTAL OFFICE AREA = 34,800 SF.
 1,740 REG. SPACES

RETAIL AREAS REQUIRE 1 PARKING SPACE FOR EVERY 200 SF.
 TOTAL RETAIL AREA = 2,440 SF.
 12 REG. SPACES

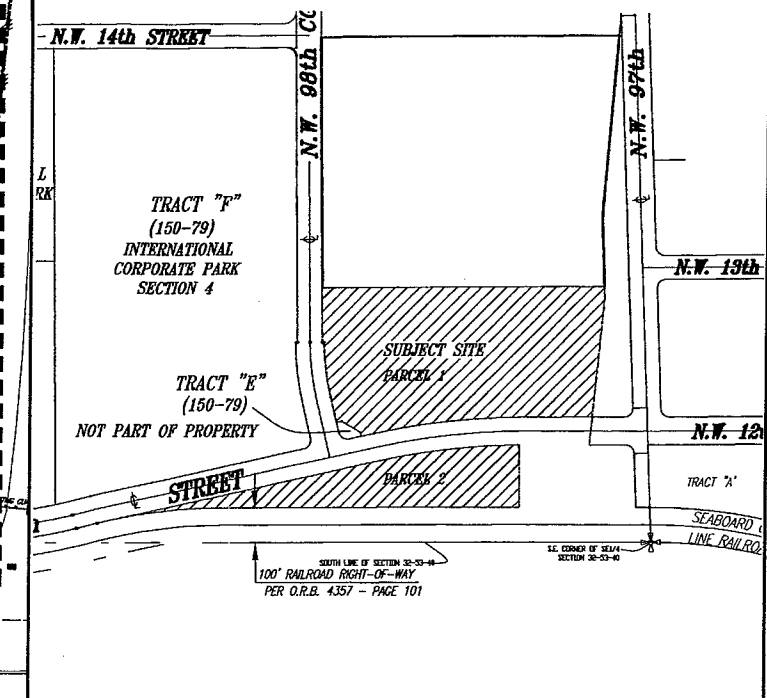
BUILDING HEIGHTS
 • BUILDING "A" - 40'-3" (T.O. ENTRY PORTAL PARAPET) / 35'-3" (T.O. ROOF AT ENTRY WAY)
 • BUILDING "A" - 30'-0" (T.O. ROOF PARAPET) / 25'-0" (HP. OF ROOF)
 • BUILDING "B" - 30'-0" (T.O. PARAPET) / 25'-0" (HP. OF ROOF)

VEHICLE STORAGE PARKING

RETENTION AREA
 REF. LANDSCAPE DWGS

SCALE: 1" = 50'-0"

SITE PLAN DATA SCALE: NTS 03



LOCATION MAP SCALE: NTS 02

A portion of land in the Southeast 1/4 of Section 32, Township 53 South, Range 40 East, being more particularly described as follows:

Begin at the Point of Intersection of the Northerly boundary of Tract "E" with the Easterly Right of Way line of N. W. 98th Court as shown on the Plat of "INTERNATIONAL CORPORATE PARK SECTION 4" as recorded in Plat Book 150, Page 79 of the Public Records of Dade County, Florida; thence North 77 degrees 32 minutes 20 seconds East for 15.00 feet; thence South 59 degrees 23 minutes 30 seconds East for 62.97 feet; thence South 12 degrees 27 minutes 40 seconds East for 12.00 feet (the previous three courses were coincident with a portion of the boundary of said Tract "E"); thence North 77 degrees 32 minutes 20 seconds East for 36.52 feet to a Point of Curvature; thence Easterly along a circular curve to the right having a radius of 2040.00 feet and a central angle of 12 degrees 22 minutes 22 seconds for an arc distance of 440.53 feet to the Point of Tangency; thence North 89 degrees 54 minutes 42 seconds East for 47.81 feet (the previous three courses were coincident with the Northerly Right of Way line of N. W. 12th Street as shown on said Plat of "INTERNATIONAL CORPORATE PARK SECTION 4"); thence North 00 degrees 05 minutes 18 seconds West for 261.09 feet; thence North 89 degrees 54 minutes 42 seconds East for 167.21 feet; thence North 05 degrees 51 minutes 42 seconds East for 83.74 feet; thence North 01 degrees 49 minutes 48 seconds West for 31.85 feet (the previous two courses were coincident with the Westerly Right of Way line of N. W. 97th Avenue as recorded in Official Records Book 17500 at Page 3719 of the Public Records of Dade County, Florida); thence South 89 degrees 40 minutes 09 seconds West for 805.87 feet; thence South 00 degrees 19 minutes 51 seconds East for 155.40 feet; thence North 89 degrees 40 minutes 09 seconds East, radial to the next described circular curve, for 5.00 feet; thence Southeastly along a circular curve to the left having a radius of 760.00 feet and a central angle of 12 degrees 07 minutes 49 seconds for an arc distance of 160.90 feet to the Point of Tangency; thence South 12 degrees 27 minutes 40 seconds East for 74.07 feet to the Point of Beginning (the previous four courses were coincident with said Easterly Right of Way line of N.W. 98th COURT), lying and being in Miami-Dade County, Florida. The bearings mentioned herein are based upon an assumed South 00 degrees 19 minutes 51 seconds East along a portion of the Easterly Right of Way line of N. W. 98th Court.

TOGETHER WITH:
 A portion of land in the Southeast 1/4 of Section 32, Township 53 South, Range 40 East, being more particularly described as follows:

Commence at the Point of Intersection of the Westerly Right of Way line of N. W. 97th Avenue as recorded in Official Records Book 17500 at Page 3719 with the North Right of Way line of the Seaboard Coast Line Railroad as recorded in Official Records Book 4357 at Page 101, both of the Public Records of Dade County, Florida; thence South 89 degrees 54 minutes 42 seconds West for 179.83 feet to the Point of Beginning; thence continue South 89 degrees 54 minutes 42 seconds West for 850.70 feet to a Point of Curvature; thence Southwesterly along a circular curve to the left leaving a radius of 1482.69 feet and a central angle of 12 degrees 14 minutes 16 seconds for an arc distance of 316.89 feet (the previous three courses were coincident with the said North Railroad Right of Way Line); thence North 77 degrees 32 minutes 20 seconds East for 784.14 feet to a Point of Curvature; thence Northeastly along a circular curve to the right having a radius of 1050.00 feet and a central angle of 11 degrees 45 minutes 41 seconds for an arc distance of 402.34 feet (the previous two courses were coincident with the Southerly Right of Way line of N. W. 12th Street as shown on the Plat of "INTERNATIONAL CORPORATE PARK SECTION 4" as recorded in Plat Book 150, at Page 79 of the Public Records of Dade County, Florida; thence South 0 degrees 05 minutes 18 seconds East for 179.74 feet to the Point of Beginning, lying and being in Miami-Dade County, Florida.

The bearings mentioned herein were based upon an assumed North 77 degrees 32 minutes 20 seconds East along a portion of the Southerly Right-of-Way line of N. W. 12th Street.

...and to include

A portion of the Southeast 1/4 of Section 32, Township 53 South, Range 40 East, Miami-Dade County, Florida being more particularly described as follows:

Commence at the intersection of the Northerly Right of Way line of N.W. 12th Street as shown on the Plat of "INTERNATIONAL CORPORATE PARK SECTION 4" as recorded in Plat Book 150 at Page 79 with the Westerly Right of Way line of N.W. 97th Avenue as recorded in Official Records Book 17500 at Page 3719 both of the Public Records of Dade County, Florida; thence South 89 degrees 54 minutes 42 seconds West, along said Northerly Right of Way of N. W. 12th Street, for 22.53 feet to the Point of Beginning; thence continue along the last described course, degrees 54 minutes 42 seconds East for 167.21 feet; thence South 05 degrees 51 minutes 42 seconds West, along said Westerly Right of Way line of N.W. 97th Avenue, for 239.97 feet to a Point of Curvature; thence Southwesterly along a circular curve of the right having a radius of 25.00 feet and a central angle of 84 degrees 03 minutes 00 seconds for an arc distance of 36.67 feet to the Point of Beginning.

LEGAL DESCRIPTION SCALE: NTS 01

REVISIONS

05/13/09 CITY OF DORAL P. 4 Z SUBMITTAL
 07/13/09 CITY OF DORAL P. 4 Z REVIEW COMMENTS

CONSULTANT

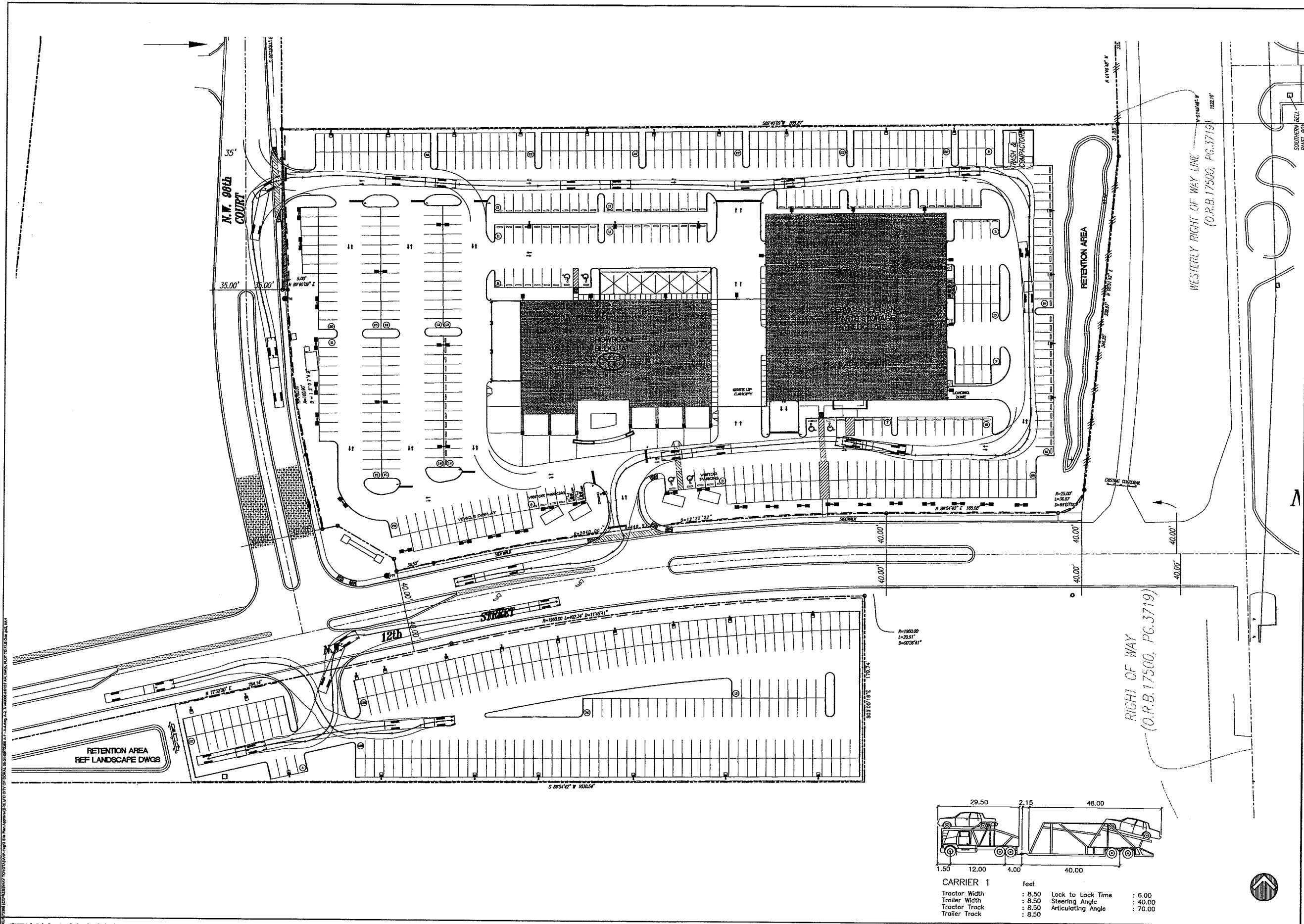
Architect 6400 Inc.
 A Division of Stiles Corporation
 300 S.E. 2nd Street
 Fort Lauderdale, Florida 33301
 954 - 621 - 9100
 FL. REG. # AA-C000091

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
 N.W. 12th STREET AND N.W. 98th COURT
 CITY OF DORAL, FLORIDA

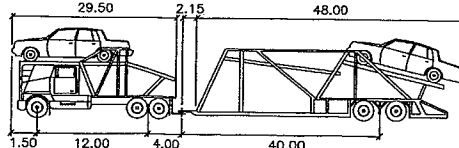
OVERALL SITEPLAN & GENERAL NOTES

A-1

PROJECT NO. 13356
DRAWN BY: ECG
CHECKED BY: ECG
DATE: 05-31-05



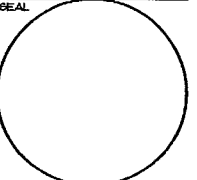
TRUCK PATH STUDY



CARRIER 1		feet	
Tractor Width	: 8.50	Lock to Lock Time	: 6.00
Tractor Track	: 8.50	Steering Angle	: 40.00
Tractor Offset	: 4.00	Articulating Angle	: 70.00
Trailer Width	: 8.50		
Trailer Track	: 8.50		

SCALE: 1" = 40'-0"

REVISIONS:
 09/21/05 CITY OF DORAL
 P & Z SUBMITTAL

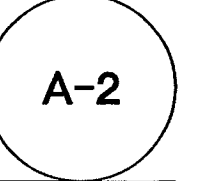


CONSULTANT

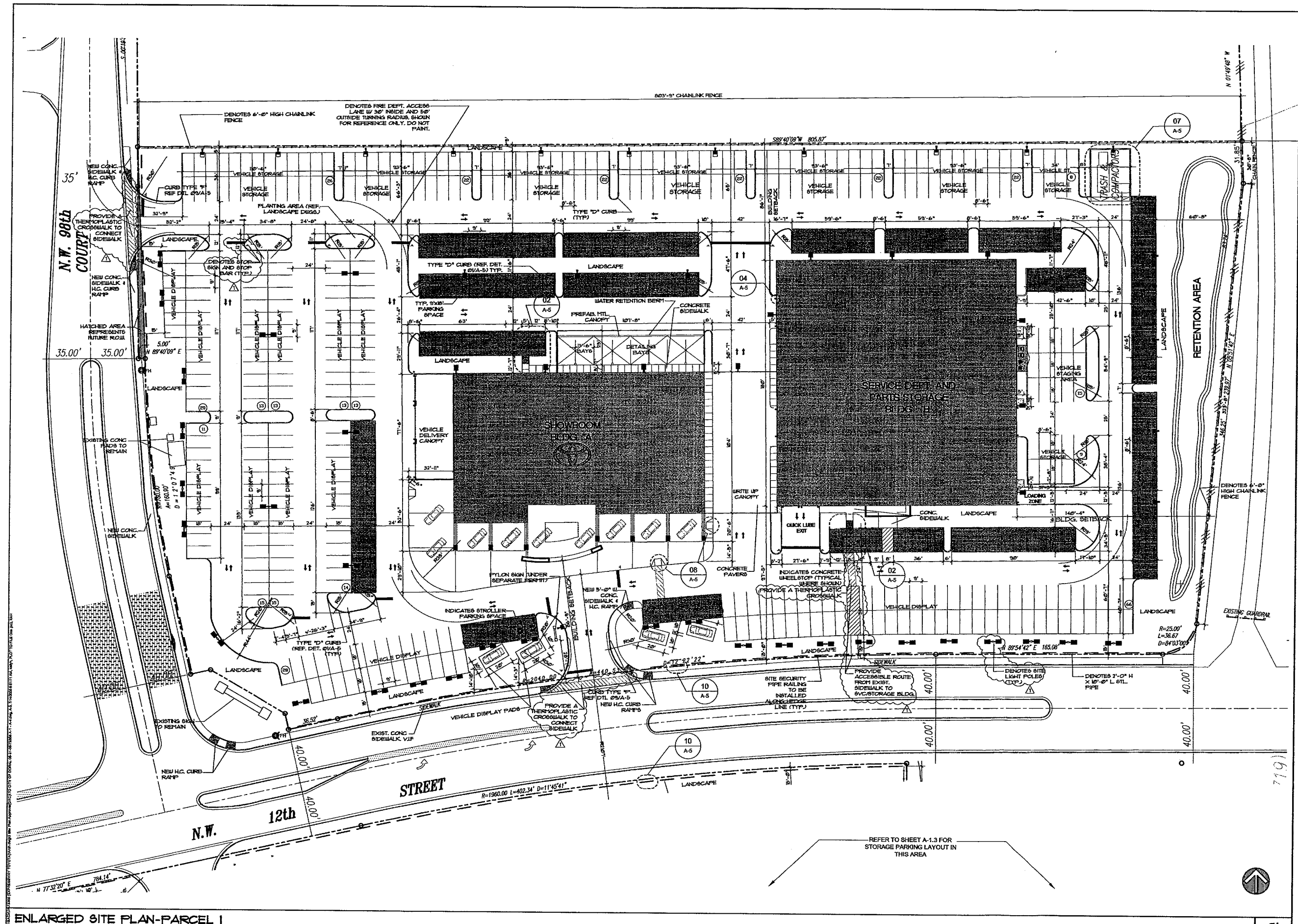
Architecture 6400 Inc.
 A Division of Stiles Corporation
 300 S.E. 2nd Street
 Fort Lauderdale, Florida
 954 - 627- 9180
 FL. REG # AA-C000891

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
 N.W. 12th STREET AND N.W. 98th COURT
 CITY OF DORAL, FLORIDA

TRUCK RADIUS



PROJECT NO.
 13356
 DRAIN BY:
 ECG
 CHECKED BY:
 ECG
 DATE:
 05-31-05

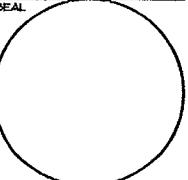


ENLARGED SITE PLAN-PARCEL 1

SCALE: P. 3/8" = 1'-0"

REVISIONS:

01	08/31/06 CITY OF DORAL P. 4 Z. SUBMITTAL
02	07/13/06 CITY OF DORAL P. 4 Z. REVIEW COMMENTS

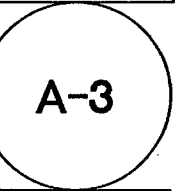


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 300 S.E. 2nd Street
 Fort Lauderdale, Florida 33301
 954 - 627 - 9100
 FL. REG # AA-C000891

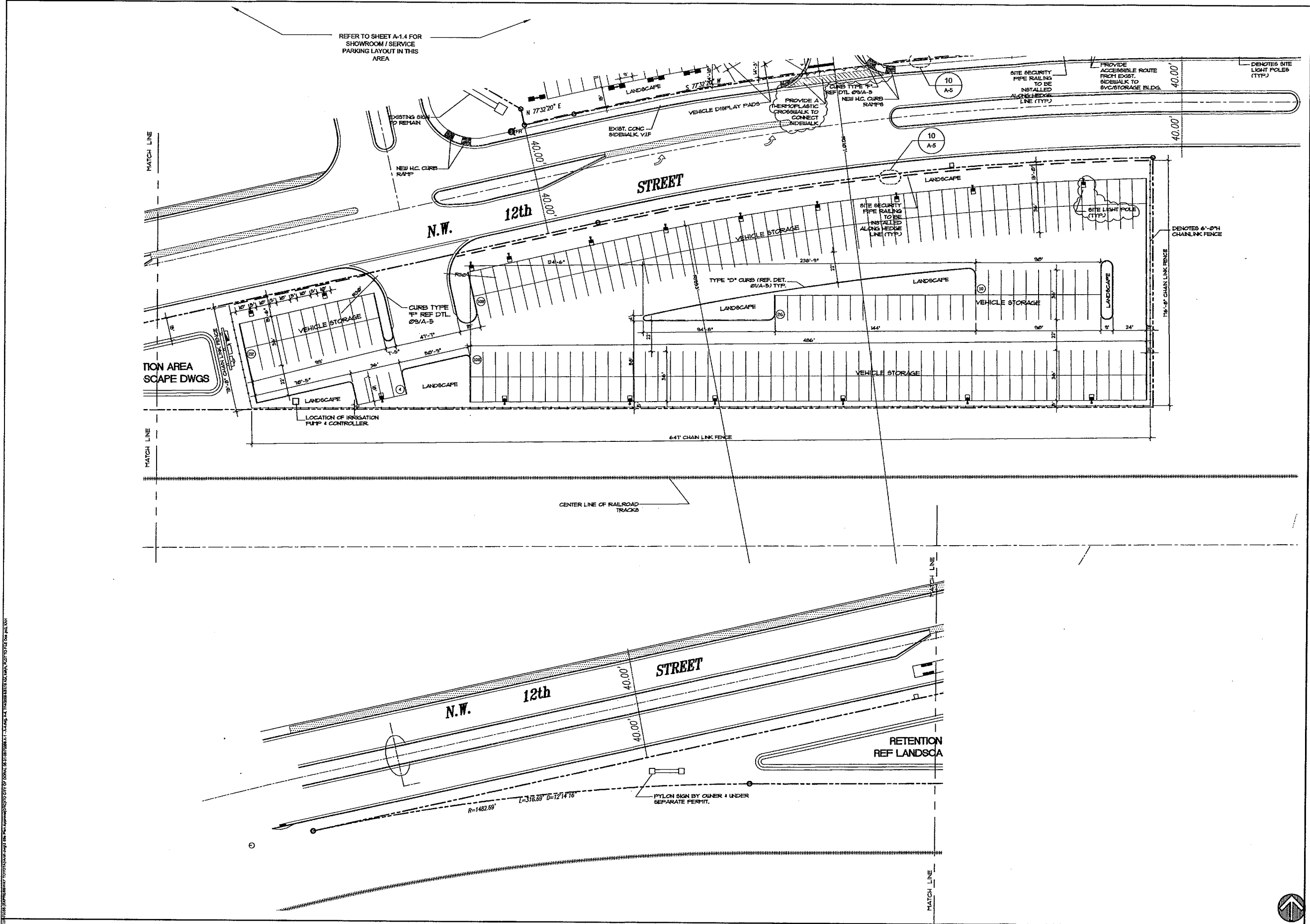
NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
 N.W. 12th STREET AND N.W. 98th COURT
 CITY OF DORAL, FLORIDA

PARTIAL SITE PLAN



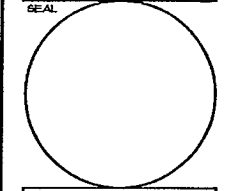
PROJECT NO. 13366
 DRAWN BY: ECG
 CHECKED BY: ECG
 DATE: 05-31-05

REFER TO SHEET A-1.3 FOR STORAGE PARKING LAYOUT IN THIS AREA



ENLARGED SITE PLAN-PARCEL 2

REVISIONS:	
05/31/05	CITY OF DORAL P 4 Z SUBMITTAL
07/27/05	CITY OF DORAL P 4 Z REVIEW COMMENTS



CONSULTANT

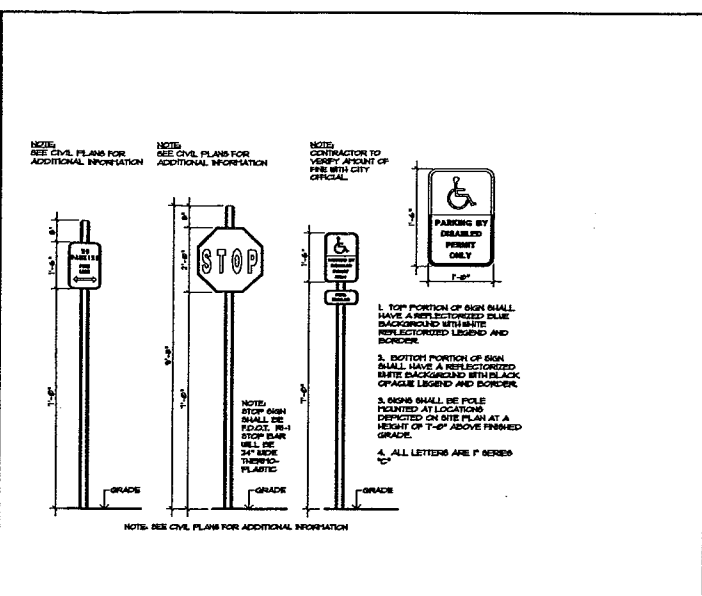
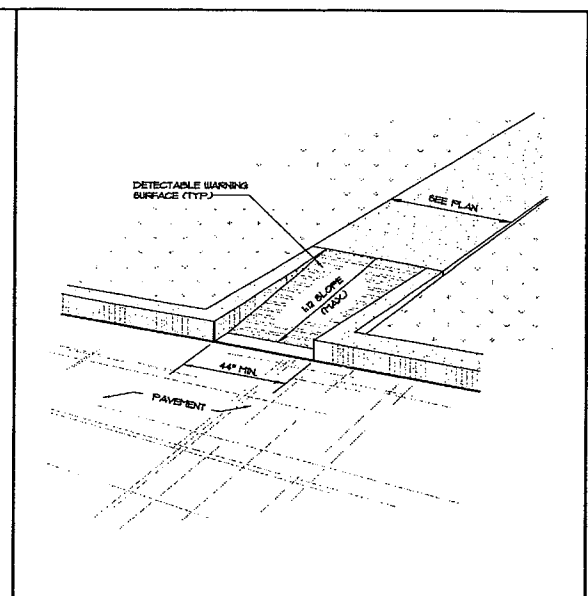
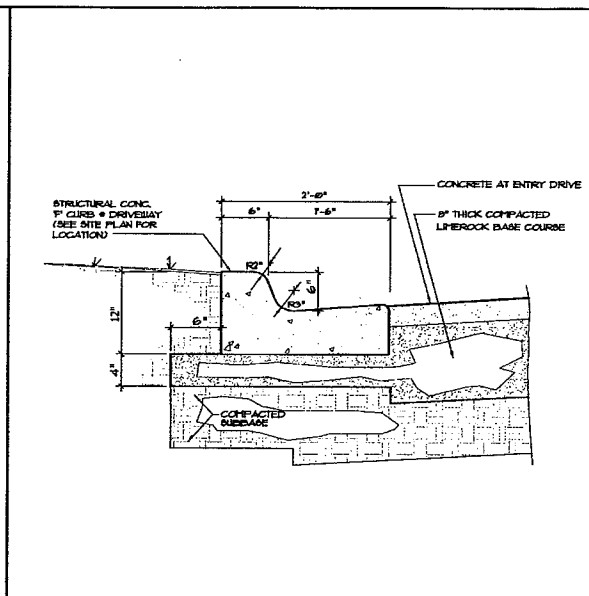
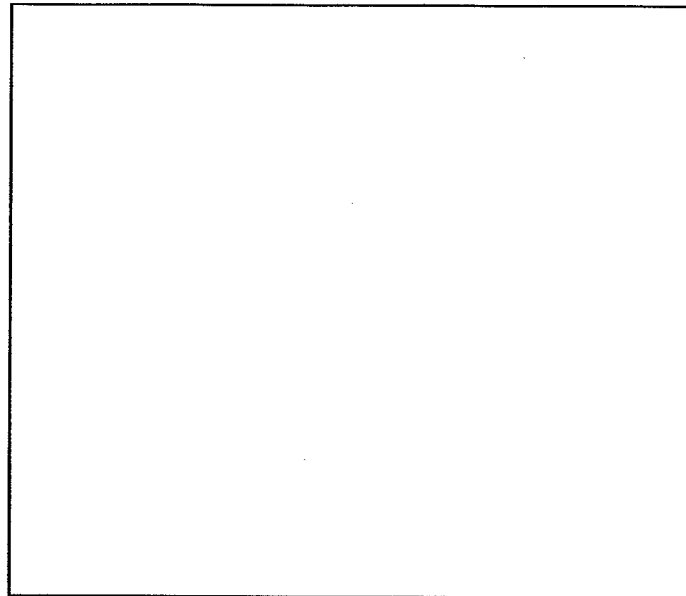
Architecture 6400 inc.
 A Division of Stiles Corporation
 300 S.E. 2nd Street
 Fort Lauderdale, Florida 33301
 954 - 627- 9100
 FL. REG # AA-C000881

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
 N.W. 12th STREET AND N.W. 98th COURT
 CITY OF DORAL, FLORIDA

PARTIAL SITE PLAN

A-4

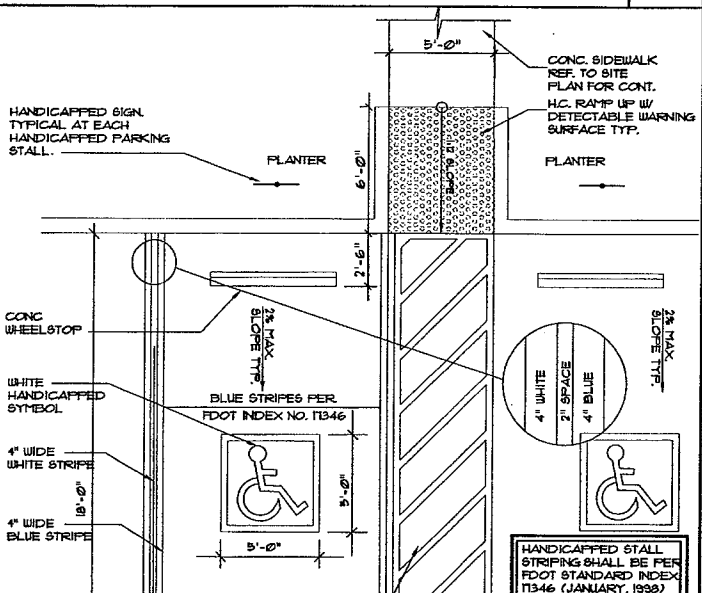
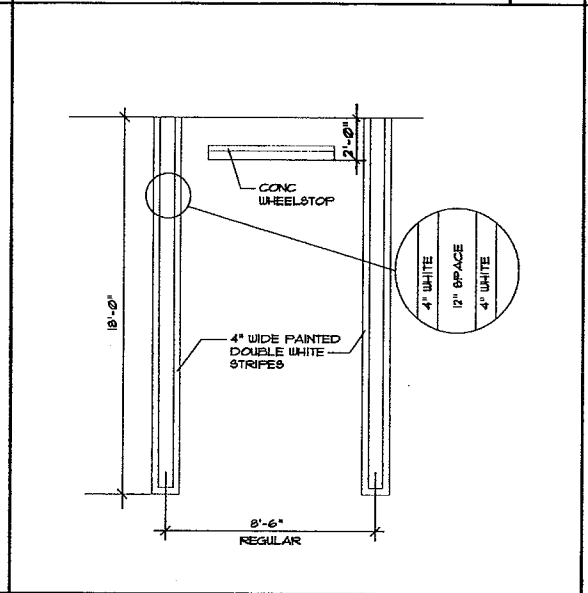
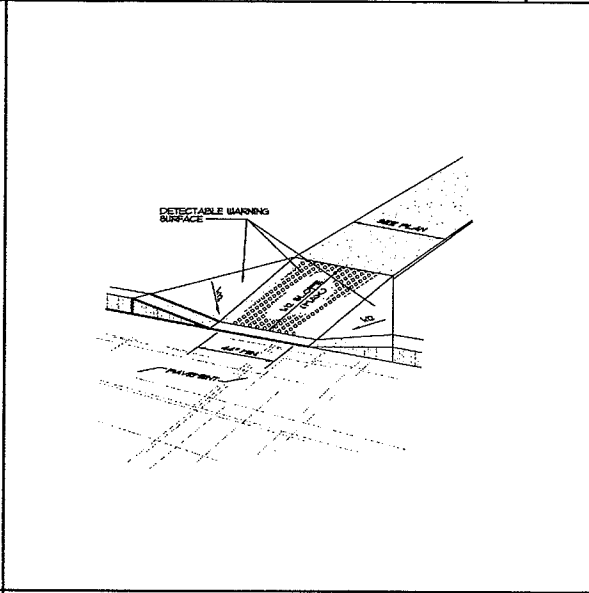
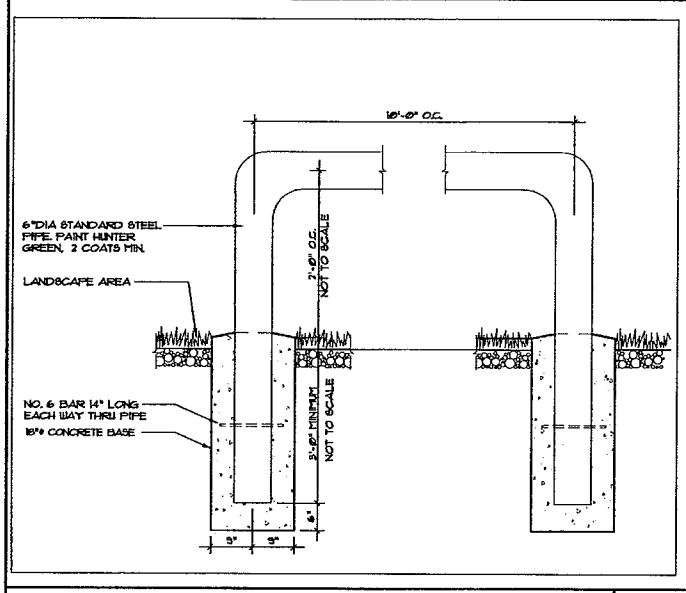
PROJECT NO. T3398
 DRAWN BY: ECG
 CHECKED BY: ECG
 DATE: 05-31-05



TYPE "F" CURB DETAIL SCALE: N.T.S. 03

H.C. CURB RAMP SCALE: N.T.S. 06

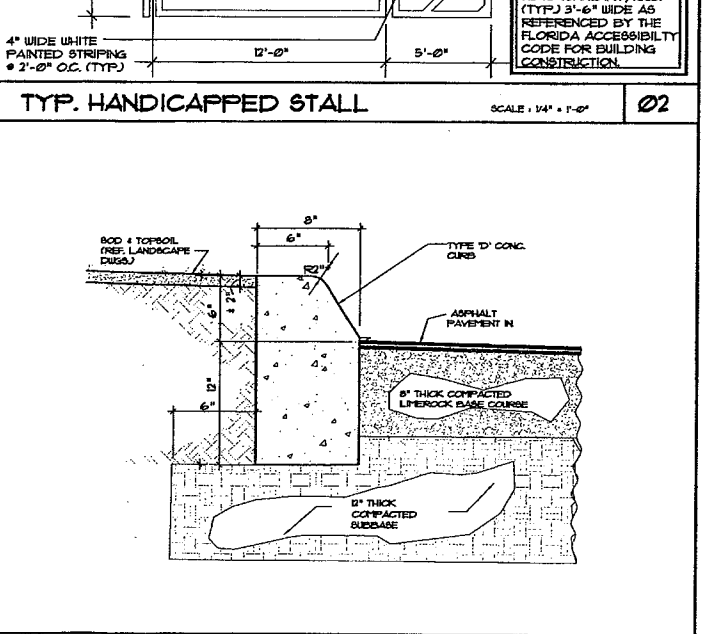
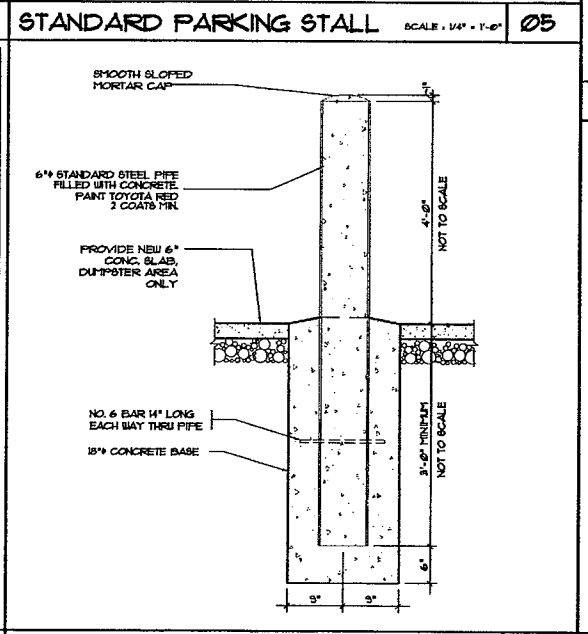
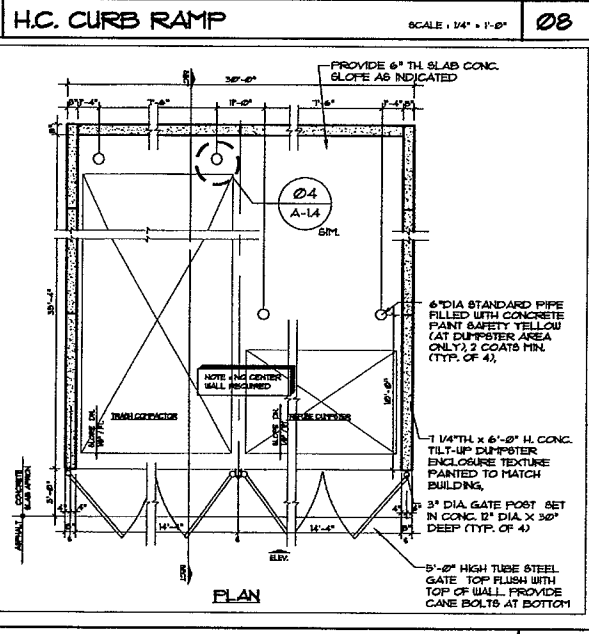
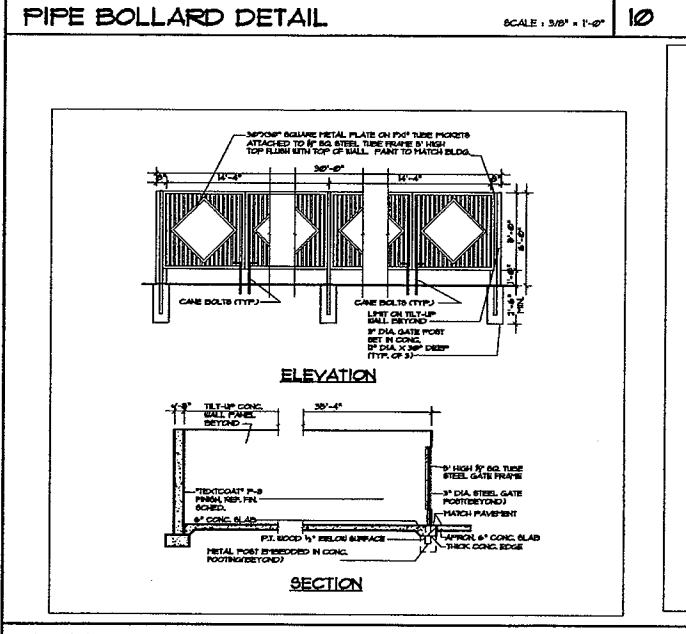
SIGNAGE DETAIL SCALE: 3/8" = 1'-0" 03



H.C. CURB RAMP SCALE: 1/4" = 1'-0" 08

STANDARD PARKING STALL SCALE: 1/4" = 1'-0" 05

TYP. HANDICAPPED STALL SCALE: 1/4" = 1'-0" 02

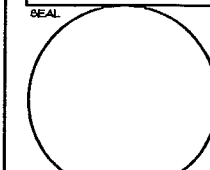


TRASH COMPACTOR/DUMPSTER SCALE: 3/16" = 1'-0" 01

PIPE BOLLARD DETAIL SCALE: 1/2" = 1'-0" 04

TYPE "D" CURB DETAIL SCALE: N.T.S. 01

REVISIONS:
05/31/05 CITY OF DORAL P & Z SUBMITTAL

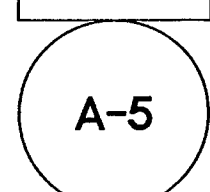


CONSULTANT

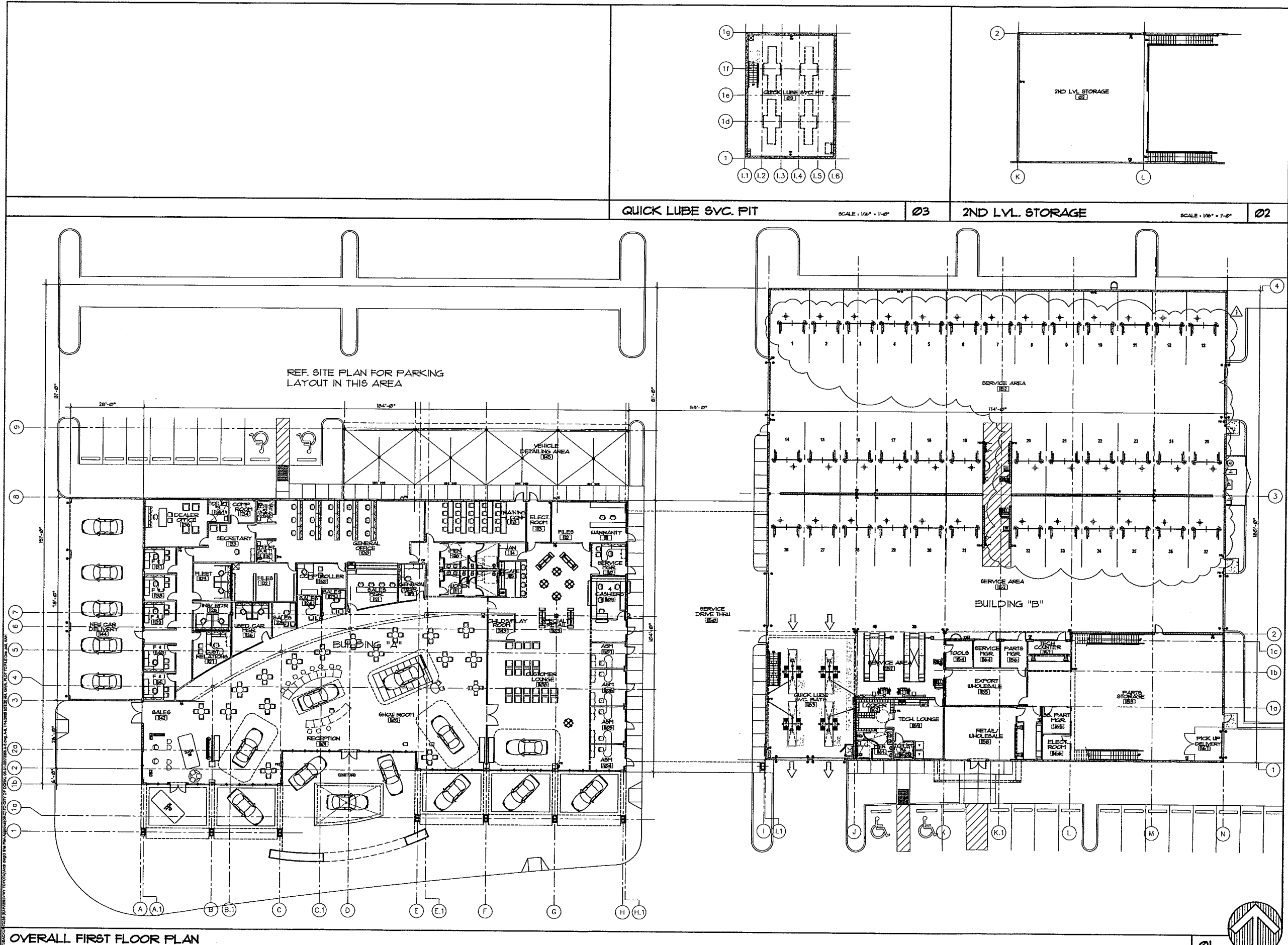
Architecture 6400 Inc.
A Division of Stiles Corporation
300 S.E. 2nd Street
Fort Lauderdale, Florida 33301
954 - 621-9180
FL REG # AA-C000881

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
N.W. 12th STREET AND N.W. 98th COURT
CITY OF DORAL, FLORIDA

SITE DETAILS



PROJECT NO. 13056
DRAIN BY: ECG
CHECKED BY: ECG
DATE: 05-31-05



OVERALL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

01

QUICK LUBE SVC. PIT

SCALE: 1/8" = 1'-0"

03

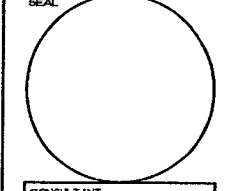
2ND LVL. STORAGE

SCALE: 1/8" = 1'-0"

02

REVISIONS:

08/31/08	CITY OF DORAL	F & Z SUBMITTAL
07/18/08	CITY OF DORAL	F & Z REVIEW COMMENTS



CONSULTANT

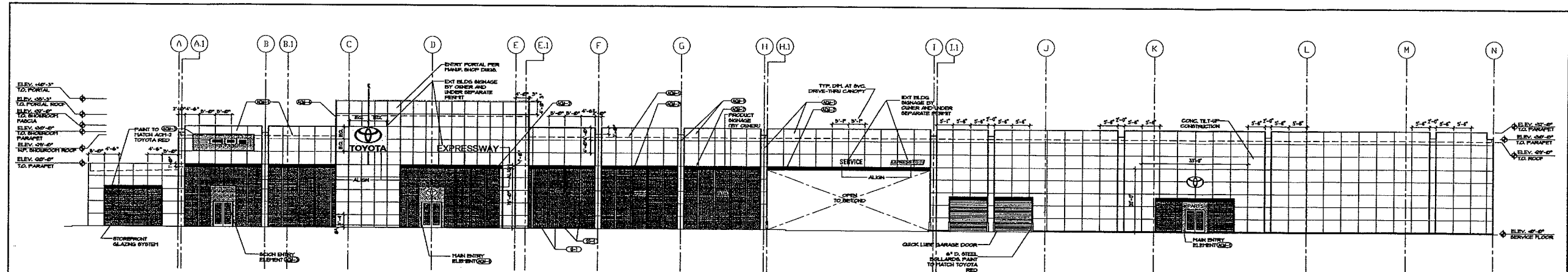
Architecture 6400 inc.
 A Division of Stiles Corporation
 300 S.E. 2nd Street
 Fort Lauderdale, Florida 33301
 954 - 621- 9180
 FL REG # AA-C000881

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
 N.W. 12th STREET AND N.W. 98th COURT
 CITY OF DORAL, FLORIDA

OVERALL FLOOR PLAN

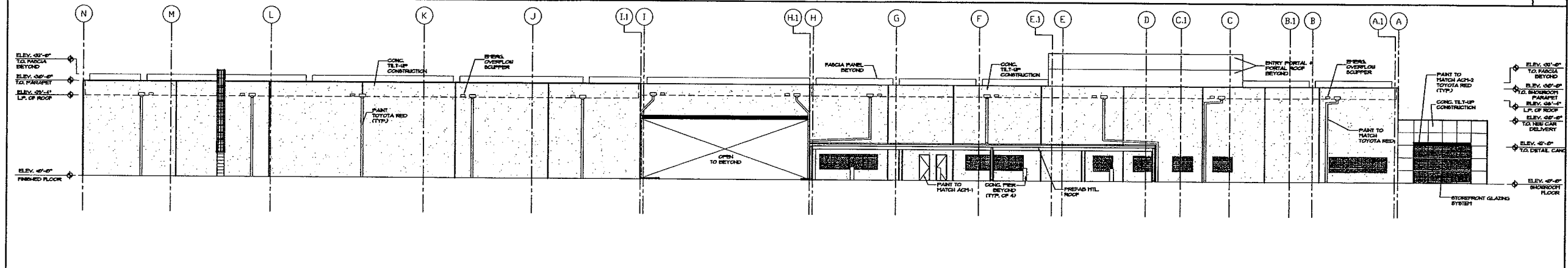
A-6

PROJECT NO. T3399
 DRAWN BY: ECG
 CHECKED BY: ECG
 DATE: 08-31-08



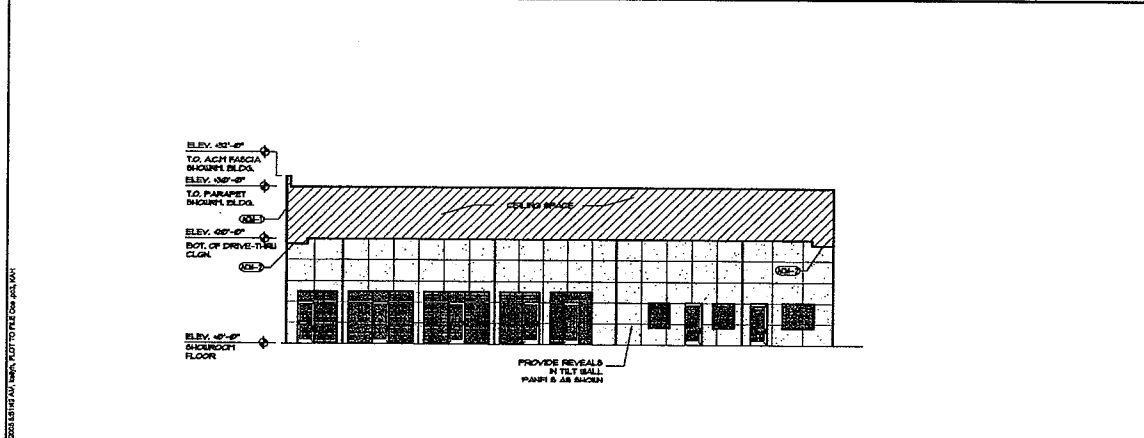
SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0" **04**



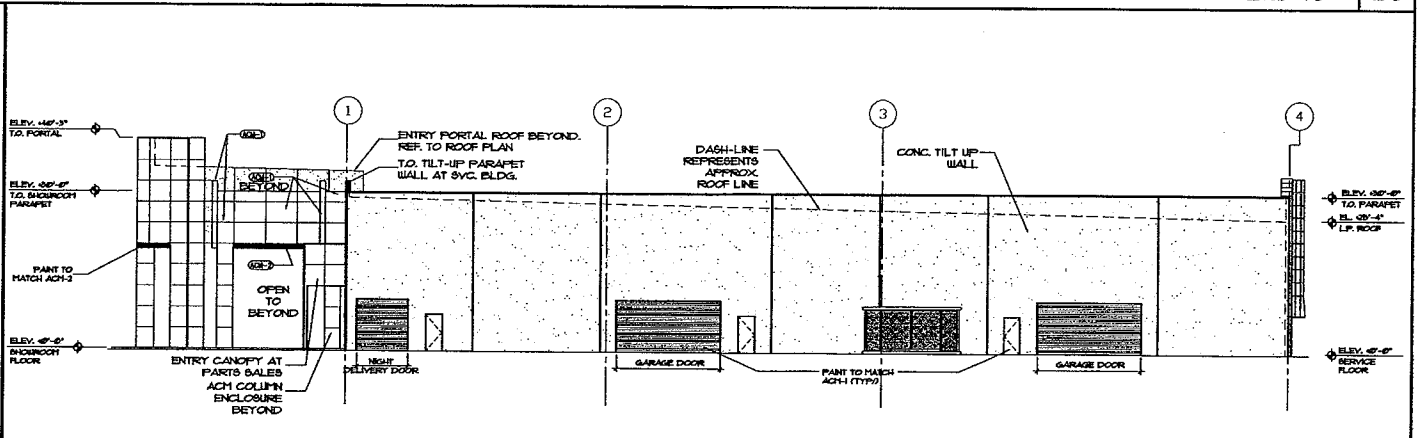
NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0" **03**



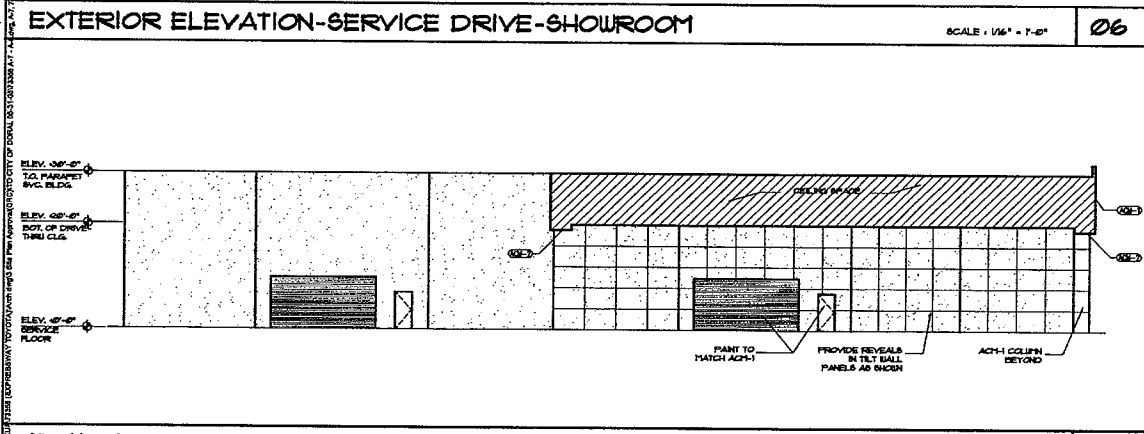
EXTERIOR ELEVATION-SERVICE DRIVE-SHOWROOM

SCALE: 1/8" = 1'-0" **06**



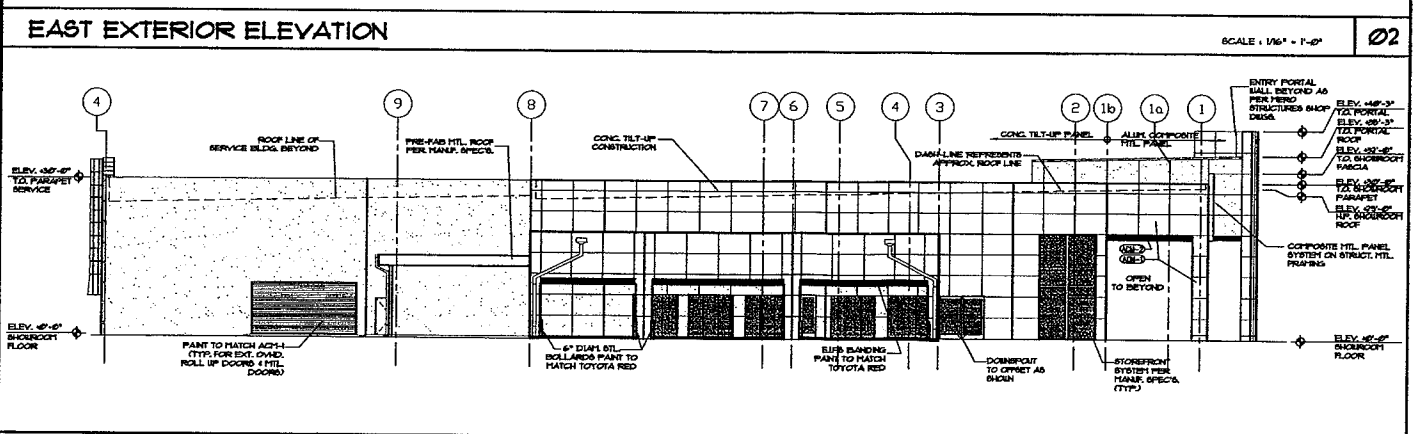
EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0" **02**



EXTERIOR ELEVATION-SERVICE DRIVE-SERVICE BLDG

SCALE: 1/8" = 1'-0" **05**



WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0" **01**

REVISIONS:

05/31/05	CITY OF DORAL
P & Z	SUBMITTAL

BEAL
CONSULTANT

Architect: **6400 inc.**
A Division of Stiles Corporation
300 S.E. 2nd Street
Fort Lauderdale, Florida
954 - 627- 9180
FL REG # AA-C000881

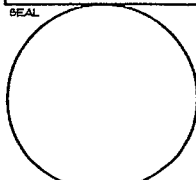
NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
N.W. 12th STREET AND NW 98th COURT
CITY OF DORAL, FLORIDA

EXTERIOR ELEVATION

A-7

PROJECT NO. 13358
DRAWN BY: ECG
CHECKED BY: ECG
DATE: 05-31-05

REVISIONS:
 05/31/06 CITY OF DORAL
 P. 4.2 SUBMITTAL

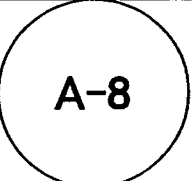


CONSULTANT

Architecture 6400 Inc.
 A Division of Stiles Corporation
 300 S.E. 2nd Street
 Fort Lauderdale, Florida 33301
 954 - 627-9180
 FL. REG. # AA-C0000881

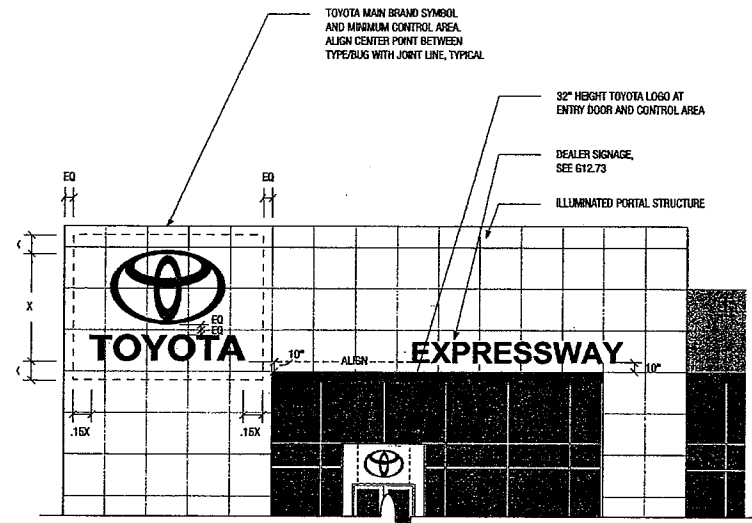
NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
 N.W. 12th STREET AND N.W. 98th COURT
 CITY OF DORAL, FLORIDA

SPECIALTY
 FINISH SCHEDULE

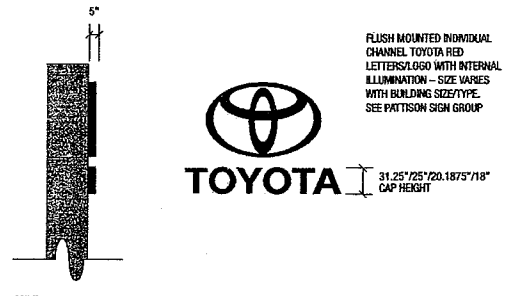


PROJECT NO.
 13358
 DRAWN BY:
 ECG
 CHECKED BY:
 ECG
 DATE:
 05-31-06

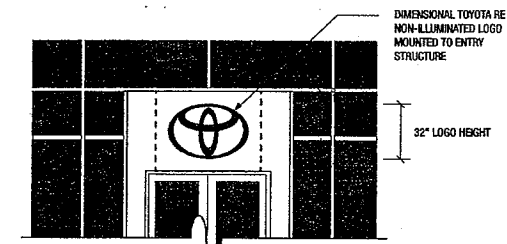
SPECIALTY FINISH SCHEDULE			
SYM.	MANUFACTURER/ DESCRIPTION	SYM.	MANUF. / DESCRIPTION
ACM-1	ALUMINUM COMPOSITE PANEL MANUFACTURER: RETNOBOND, ALUCOBOND OR ALPOLIC STYLE: 4/11 THICK BONDED METAL PANEL WITH NON RADIUS 90 DEGREE BEND. METALLIC PANELS TO HAVE KYNAR ALUMINUM CLEARCOAT FINISH. JOINTS TO BE 3/4" DRY SYSTEM WITH EXTRUSION TO MATCH PANELS. COLOR: RETNOBOND - UMC2023XL, MEGARLON MC40G, TOYOTA SILVER W/ UMC10000000 CLEAR ALUCOBOND - UMC2023XL, MEGARLON MC40G, TOYOTA SILVER II 5720 W/ UMC10000000 CLEAR ALPOLIC - UMC2023XL, MEGARLON MC40G, TOYOTA SILVER W/ UMC10000000 CLEAR LOCATION: EXTERIOR FACADE AND COLLUMS NOTE: USE FACTORY APPROVED FABRICATOR AND INSTALLER. WARRANTY PASS THROUGH TO DEALER. FLASHING TO MATCH ADJACENT WALL FINISH PER PANEL MANUFACTURER'S STANDARD.	SS-1	STOREFRONT SYSTEM MANUFACTURER: ARCH ALUM. 3000 SERIES OR EQUAL STYLE: 5'-0" x 10'-0" MODULE WITH A 1-3/4" 6" PROFILE AND GLAZING. OFFSET FROM EXTERIOR FACE. LOW E CLEAR GLASS. COLOR: CLEAR ANODIZED ALUMINUM NOTE: INSTALLATION PER MANUF. SHOP DRGS.
	ALUCOBOND - UMC2023XL, MEGARLON MC40G, TOYOTA SILVER W/ UMC10000000 CLEAR ALPOLIC - UMC2023XL, MEGARLON MC40G, TOYOTA SILVER W/ UMC10000000 CLEAR LOCATION: EXTERIOR FACADE AND COLLUMS NOTE: USE FACTORY APPROVED FABRICATOR AND INSTALLER. WARRANTY PASS THROUGH TO DEALER. FLASHING TO MATCH ADJACENT WALL FINISH PER PANEL MANUFACTURER'S STANDARD.		G-1
ACM-2	ALUMINUM COMPOSITE PANEL MANUFACTURER: RETNOBOND, ALUCOBOND OR ALPOLIC STYLE: 4/11 THICK BONDED METAL PANEL WITH NON RADIUS 90 DEGREE BEND. METALLIC PANELS TO HAVE KYNAR ALUMINUM CLEARCOAT FINISH. JOINTS TO BE 3/4" DRY SYSTEM WITH EXTRUSION TO MATCH PANELS. COLOR: RETNOBOND - UMC4016S, MEGARLON MC10G, TOYOTA RED USA ALUCOBOND - UMC4016S, MEGARLON MC10G, TOYOTA RED USA ALPOLIC - UMC4016S STD. * 007, MEGARLON MC10G TOYOTA RED USA LOCATION: EXTERIOR BEAM AT FASCIA 4 SOFFIT CONDITION NOTE: USE FACTORY APPROVED FABRICATOR AND INSTALLER. WARRANTY PASS THROUGH TO DEALER. FLASHING TO MATCH ADJACENT WALL FINISH PER PANEL MANUFACTURER'S STANDARD.	GP-1	GLASS ENTRY PORTAL MANUFACTURER: HERO STRUCTURES MEMPHIS FALLS, TN STYLE: SOLERA TRANSLUCENT GLAZING SYSTEM IN NOMINAL 48" x 48" MODULES ON BOTH FRONT & REAR SURFACES. GLASS TO BE LOW IRON 1/4" THICK ANNEALED, DIFFUSING VEILS (WHITE) AND HONEYCOMB TO BE UV STABLE ACRYLIC. GLASS TO MEET LIGHT TRANSMITTANCE AND TRANSLUCENCE TOYOTA SPECIFICATIONS. STRUCTURAL STEEL TO SUPPORT FRAMING. COLOR: ALL STEEL MEMBERS TO BE PRIMED AND FINISHED IN TOYOTA WHITE GLOSS. ACM1 PANELS IN PORTAL WALL TO BE FIN. PER ACM-1 CONTACT: TREVOR GARY 262-295-9561
	ALUCOBOND - UMC4016S, MEGARLON MC10G, TOYOTA RED USA ALPOLIC - UMC4016S STD. * 007, MEGARLON MC10G TOYOTA RED USA LOCATION: EXTERIOR BEAM AT FASCIA 4 SOFFIT CONDITION NOTE: USE FACTORY APPROVED FABRICATOR AND INSTALLER. WARRANTY PASS THROUGH TO DEALER. FLASHING TO MATCH ADJACENT WALL FINISH PER PANEL MANUFACTURER'S STANDARD.		
ACM-3	ALUMINUM COMPOSITE PANEL MANUFACTURER: RETNOBOND, ALUCOBOND OR ALPOLIC STYLE: 4/11 THICK BONDED METAL PANEL WITH NON RADIUS 90 DEGREE BEND. METALLIC PANELS TO HAVE KYNAR ALUMINUM CLEARCOAT FINISH. JOINTS TO BE TIGHT BUTTED. COLOR: RETNOBOND - COLORWELD 300 DEEP BLACK ALUCOBOND - UMC2016S MEGARLON MC5G TOYOTA BLACK ALPOLIC - UMC2016S STD. * 009 MEGARLON MC 5G TOYOTA BLACK LOCATION: SURROUND OF EXTERIOR SIGNAGE NOTE: USE FACTORY APPROVED FABRICATOR AND INSTALLER. WARRANTY PASS THROUGH TO DEALER. FLASHING TO MATCH ADJACENT WALL FINISH PER PANEL MANUFACTURER'S STANDARD.		
ACM-4	ALUMINUM COMPOSITE PANEL MANUFACTURER: RETNOBOND, ALUCOBOND OR ALPOLIC STYLE: 4/11 THICK BONDED METAL PANEL WITH NON RADIUS 90 DEGREE BEND. METALLIC PANELS TO HAVE KYNAR ALUMINUM CLEARCOAT FINISH. JOINTS TO BE TIGHT BUTTED. COLOR: RETNOBOND - UMC2016S MEGARLON MC30G, TOYOTA WHITE USA ALUCOBOND - UMC2016S MEGARLON MC30G, TOYOTA WHITE USA ALPOLIC - UMC2016S STD. * 007, MEGARLON MC30G, TOYOTA WHITE USA LOCATION: SURROUND OF EXTERIOR PORTAL NOTE: USE FACTORY APPROVED FABRICATOR AND INSTALLER. WARRANTY PASS THROUGH TO DEALER. FLASHING TO MATCH ADJACENT WALL FINISH PER PANEL MANUFACTURER'S STANDARD.		



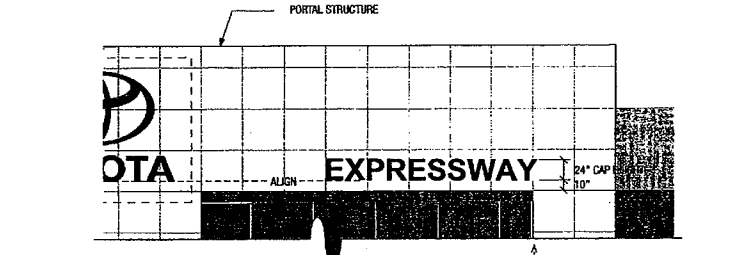
E6.1A MAIN BRAND SYMBOL ELEVATION
SCALE: 3/8"=1'-0"



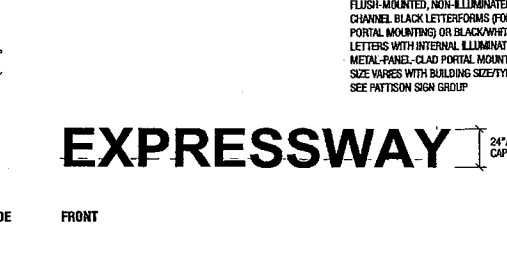
E6.1B MAIN BRAND SYMBOL
SCALE: 3/8"=1'-0"



E6.1B TOYOTA LOGO ELEVATION AT ENTRY DOOR
SCALE: 3/8"=1'-0"



E6.2 DEALER SIGNAGE ELEVATION - SHORT NAME
SCALE: 3/8"=1'-0"



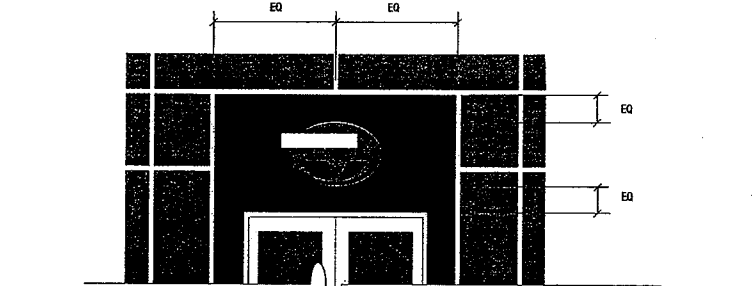
E6.2 DEALER SIGNAGE DETAILS
SCALE: 3/8"=1'-0"



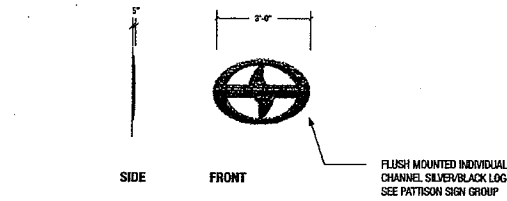
E6.3A SCION SIGNAGE ELEVATION
SCALE: 3/8"=1'-0"



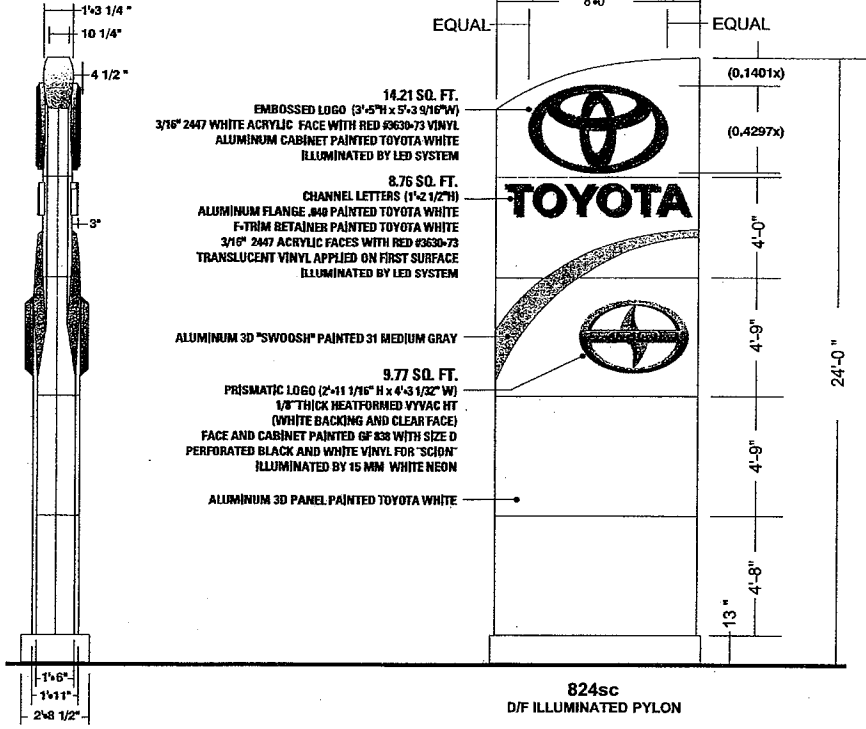
E6.3A SCION FASCIA SIGNAGE DETAILS
SCALE: 3/8"=1'-0"



E6.3B SCION ENTRY SIGNAGE ELEVATION
SCALE: 3/8"=1'-0"



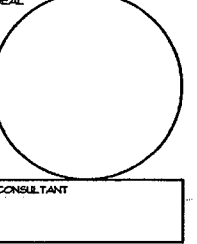
E6.3B SCION ENTRY ELEMENT DETAILS
SCALE: 3/8"=1'-0"



824sc D/F ILLUMINATED PYLON

REVISIONS:

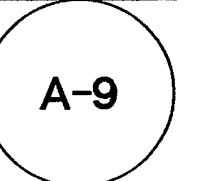
05/31/05	CITY OF DORAL P & Z SUBMITTAL



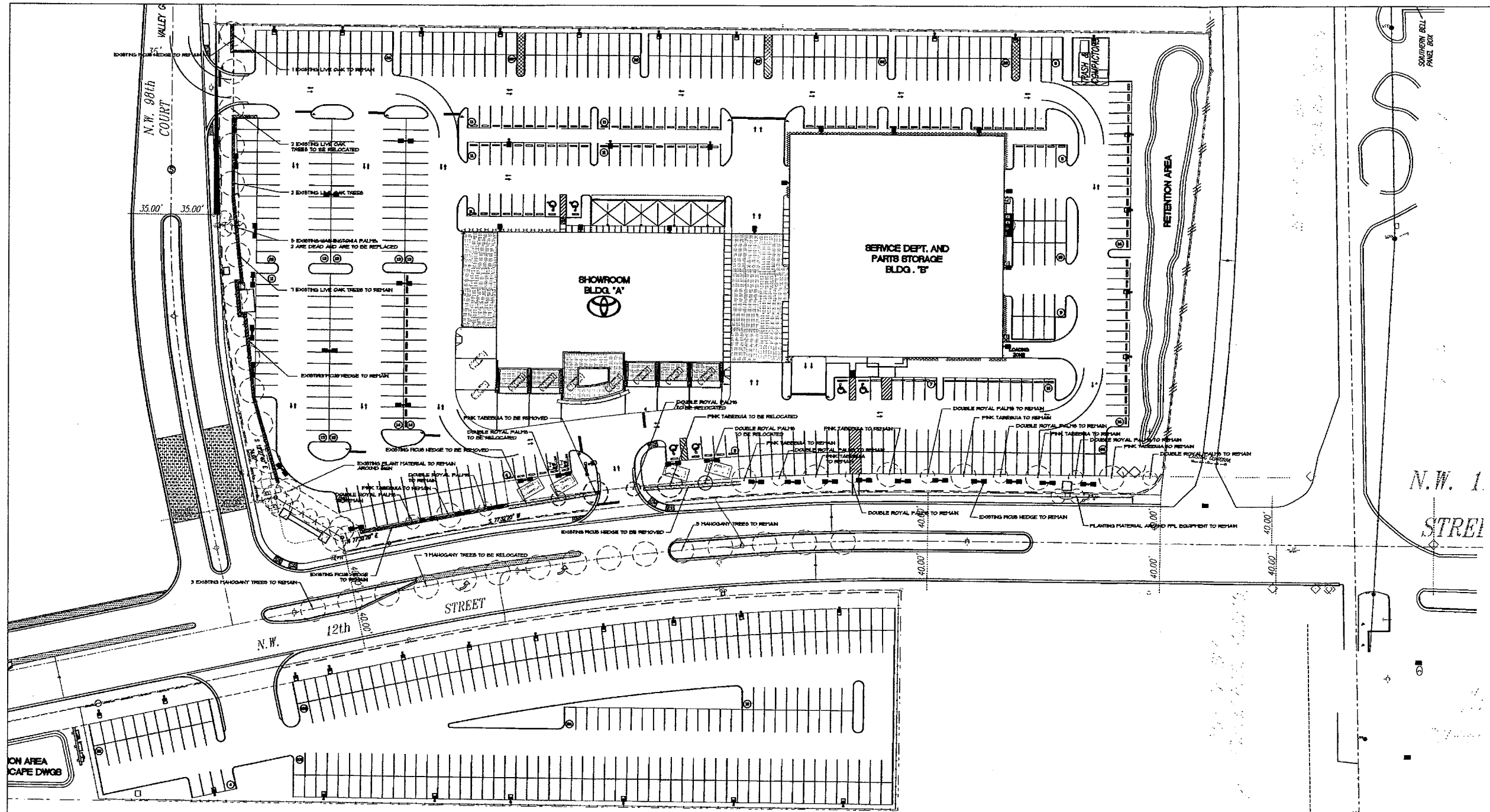
Architecture 6400 Inc.
A Division of Stiles Corporation
300 S.E. 2nd Street
Fort Lauderdale, Florida 33301
954 - 627- 9180
FL REG # AA-C0000881

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
N.W. 12th STREET AND N.W. 98th COURT
CITY OF DORAL, FLORIDA

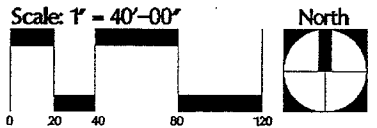
SIGNAGE



PROJECT NO. 13396
DRAWN BY: ECG
CHECKED BY: ECG
DATE: 05-31-05



REFER TO SHEETS LA-2, LA-3, LA-5
FOR FINAL LOCATION OF RELOCATED TREES



PREPARED BY:
ECOPLAN
ECOLOGICAL / ENVIRONMENTAL LAND PLANNING
LAND USE ANALYSIS LANDSCAPE ARCHITECTURE
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SUBMITTAL SET

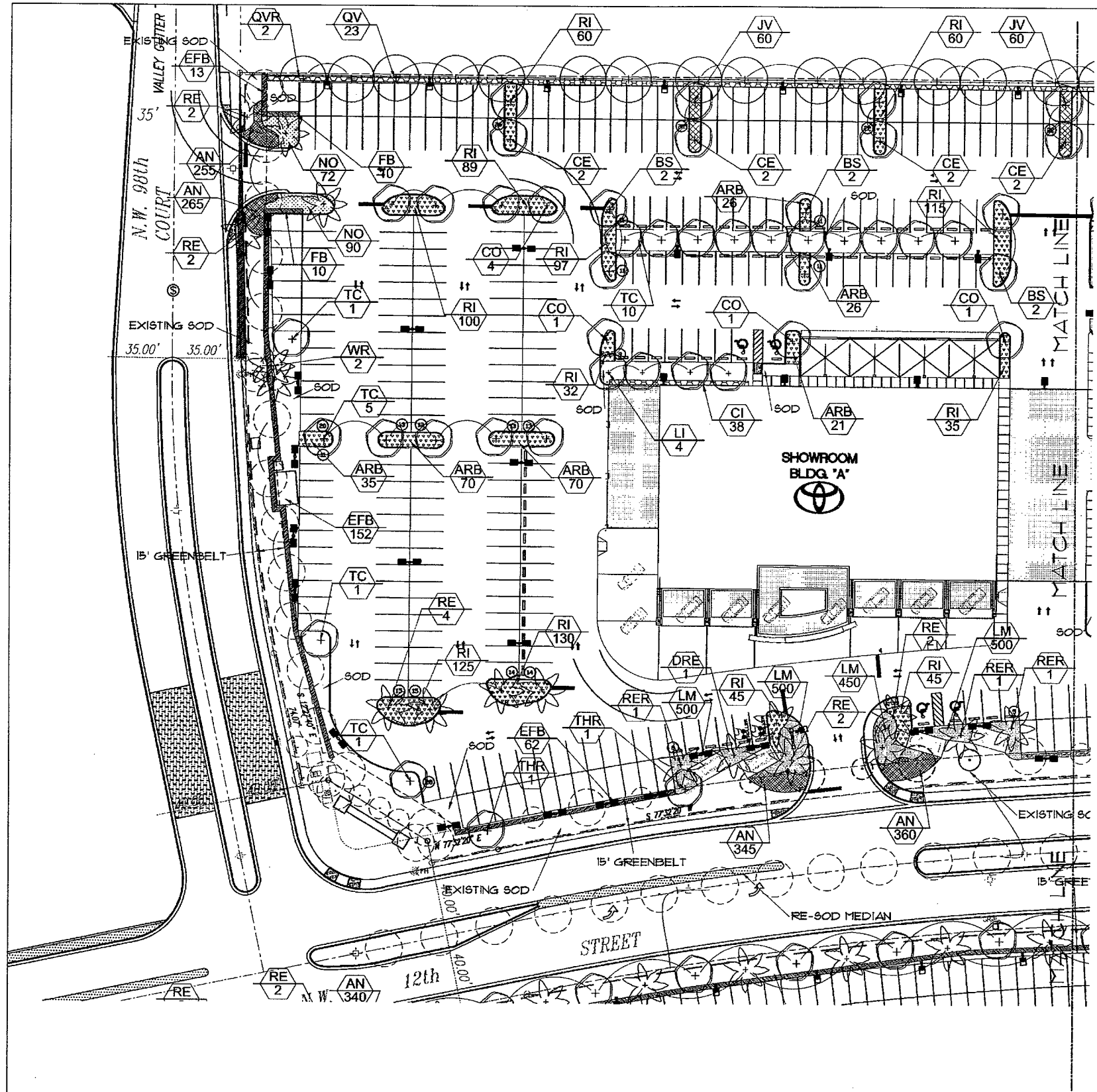
NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA

N.W. 12TH ST. & N.W.98TH CT. CITY OF DORAL, DADE COUNTY, FLORIDA

EXISTING VEGETATION PLAN

DATE: JULY 27, 2004
PROJECT NUMBER: 0440
DRAWN BY: TH, JBE
CHECKED BY: JBE
SCALE: 1" = 40'-00"
REVISION DATE BY:
SITE PLAN REVISION JAN 12, 2005 MML
SITE PLAN REVISION FEB 11, 2005 JBE
P & Z SUBMITTAL MAY 31, 2005 JBE
PLANNING COMMENTS JULY 13, 2005 TAMH

SHEET NUMBER:
LA-1



LANDSCAPE CALCULATIONS

ZONING DISTRICT: IU-1
 NET LOT AREA: 9.42 ACRES
 SQUARE FEET: 410,335.2 SF.

OPEN SPACE

	REQUIRED	PROVIDED
A. SQUARE FEET OF OPEN SPACE REQUIRED BY CHAPTER 33, AS INDICATED ON SITE PLAN: NET LOT AREA x 20% = 82,067.04 SF	82,067 SF	-
B. SQUARE FEET OF PARKING LOT OPEN SPACE AS REQUIRED BY CHAPTER 18A, AS INDICATED ON SITE PLAN: 196 SPACES x 10 SQUARE FEET LANDSCAPE AREA PARKING SPACE = 1,960 SF	1,960 SF	2,655 SF
C. TOTAL SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33 + A + B = 83,627 SF	83,627 SF	96,568 SF

LAWN AREA CALCULATION

A. TOTAL SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33 = 83,627 SF	84,211 SF	96,568 SF
B. MAXIMUM LAWN AREA (8" ST. AUGUSTINE SOD) PERMITTED = 20% x 83,627 SF = 16,725 SF	16,255 SF	16,545 SF

TREES

A. THE NUMBER OF TREES REQUIRED PER NET LOT ACRE LESS THE EXISTING NUMBER OF TREES THAT MEET MINIMUM REQUIREMENTS = 15 TREES x 9.42 ACRES = 142 TREES	142 TREES	143 TREES
B. PERCENTAGE OF NATIVE TREES REQUIRED = 224 x 30% = 68 TREES	68 TREES	142 TREES
C. STREET TREES (MAX. AVERAGE SPACING OF 35' O.C.): 2441' / 35' O.C. = 82 TREES	82 TREES	82 TREES
FALMS AS STREET TREES (MAX. AVERAGE SPACING OF 75' O.C.): LINEAR FEET ALONG STREET / 25 =	224 TREES	224 TREES
D. TOTAL NUMBER OF TREES PROVIDED = 224 TREES	224 TREES	224 TREES
E. MAX. 30% PALM TREES ALLOWED (TWO PALMS = ONE TREE) PALMS PROVIDED = 11 PALMS	86 PALMS	11 PALMS
PALMS USED AS STREET TREES NOT COUNTED 142 x 30% = 43 TREES (21) = 86 PALMS		

SHRUBS

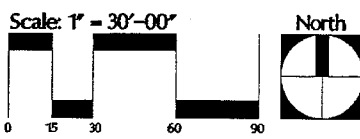
A. THE TOTAL NUMBER OF TREES REQUIRED x 10 = THE NUMBER OF SHRUBS REQUIRED = 2240	2240 SHRUBS	4,011 SHRUBS
B. THE NUMBER OF SHRUBS REQUIRED x 30% = THE NUMBER OF NATIVE SHRUBS REQUIRED = 672	672 SHRUBS	152 SHRUBS

LEGEND

- NEW TREE, SHRUB, OR GROUNDCOVER
SEE SHEET LA-5 FOR KEY NAME & SPECIFICATION
- PLANT QUANTITY
- PROPOSED TREE SYMBOL
- PROPOSED PALM SYMBOL
- EXISTING TREE/PALM SYMBOL

REFER TO SHEET LA-5 FOR PLANT LIST.
 REFER TO SHEET LA-2 FOR LANDSCAPE CALCULATIONS.
 REFER TO SHEET LA-5 FOR PLANTING DETAILS AND NOTES.

IRRIGATION SOURCE NOTE:
 SYSTEM SHALL BE DESIGNED TO HAVE A MIN. 100%
 COVERAGE WITH A MIN. 50% OVERLAP. (RUST FREE SOURCE)
 RAIN SENSOR SHALL BE MOUNTED ACCORDING TO FLORIDA BUILDING CODE APPENDIX F



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 954-627-9100 33301

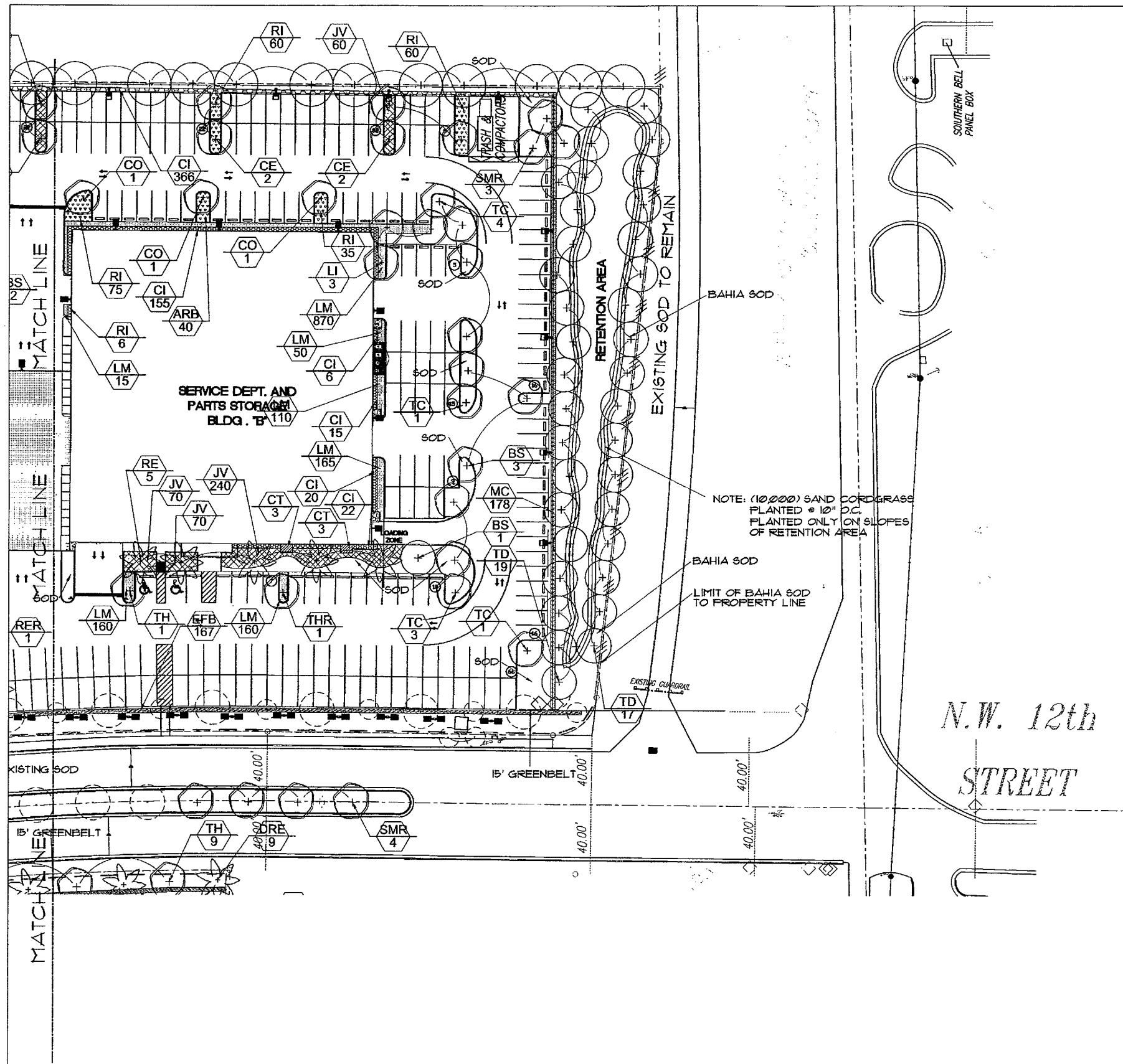
SUBMITTAL SET

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
 N.W. 12th ST. & N.W. 98th CT. CITY OF DORAL, DADE COUNTY, FLORIDA

PLANTING PLAN

DATE	JULY 27, 2004	
PROJECT NUMBER	0440	
DRAWN BY	T.H. IBE	
CHECKED BY	IBE	
SCALE	1" = 30'-00"	
REVISION	DATE	BY
SITE PLAN REVISION	JAN 12, 2005	MKL
SITE PLAN REVISION	FEB 11, 2005	IBE
P & Z SUBMITTAL	MAY 31, 2005	IBE
PLANNING COMMENTS	JULY 13, 2005	TAMH

SHEET NUMBER:
LA-2



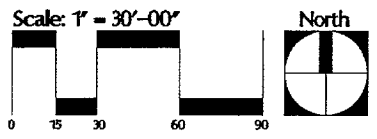
NOTE: (10,000) SAND CORDGRASS PLANTED @ 10" O.C. PLANTED ONLY ON SLOPES OF RETENTION AREA

LEGEND

- NEW TREE, SHRUB, OR GROUNDCOVER SEE SHEET LA-5 FOR KEY NAME & SPECIFICATION
- PLANT QUANTITY
- PROPOSED TREE SYMBOL
- PROPOSED PALM SYMBOL
- EXISTING TREE/PALM SYMBOL

REFER TO SHEET LA-5 FOR PLANT LIST.
 REFER TO SHEET LA-2 FOR LANDSCAPE CALCULATIONS.
 REFER TO SHEET LA-5 FOR PLANTING DETAILS AND NOTES.

IRRIGATION SOURCE NOTE:
 SYSTEM SHALL BE DESIGNED TO HAVE A MIN. 100% COVERAGE WITH A MIN. 50% OVERLAP. (RUST FREE SOURCE)
 RAIN SENSOR SHALL BE MOUNTED ACCORDING TO FLORIDA BUILDING CODE APPENDIX F
 PROPOSED RETENTION LAKE TO BE USED AS IRRIGATION WATER SOURCE.



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SUBMITTAL SET

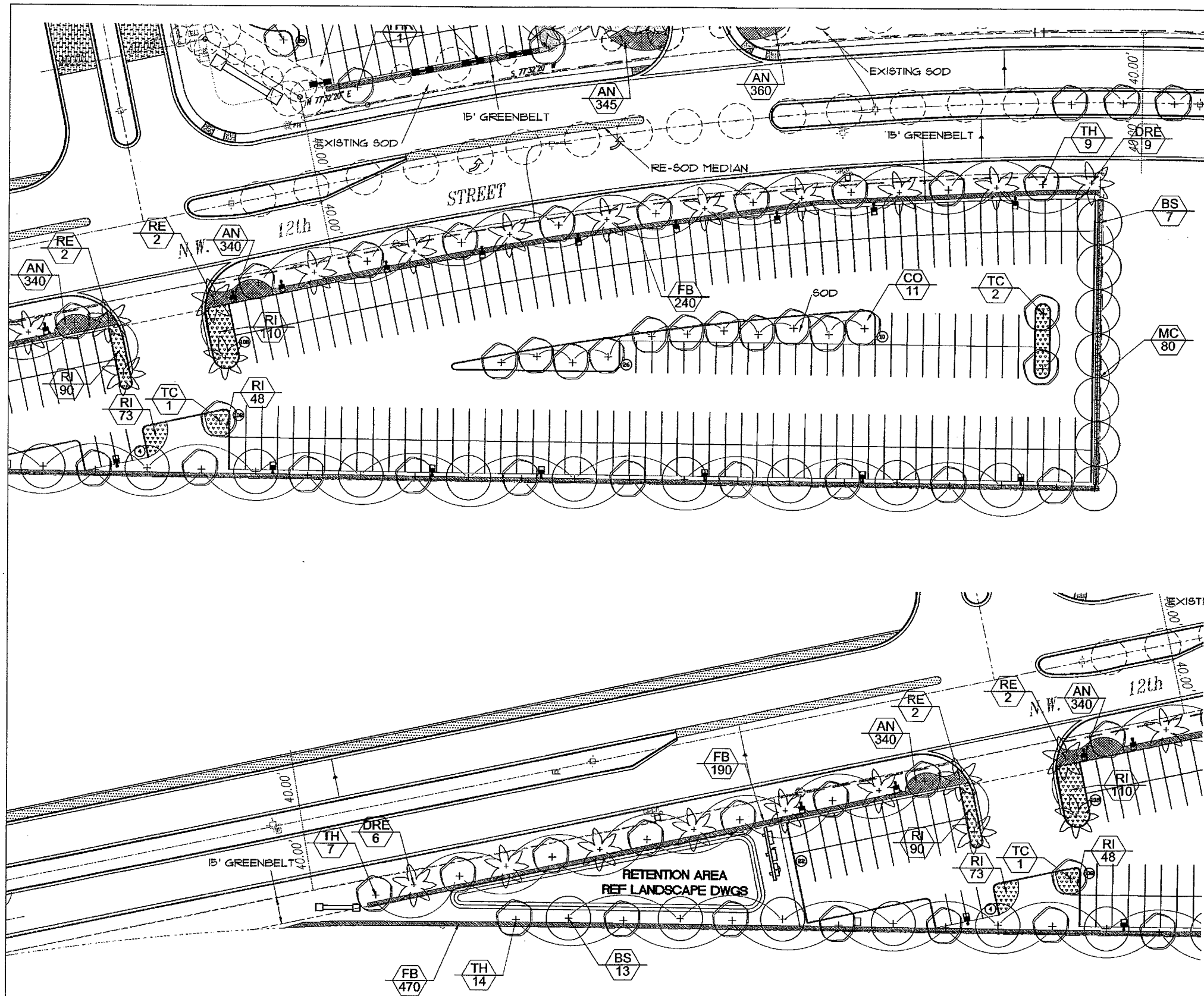
NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA

N.W. 12TH ST. & N.W.99TH CT. CITY OF DORAL, DADE COUNTY, FLORIDA

PLANTING PLAN

DATE	JULY 27, 2004	
PROJECT NUMBER	0440	
DRAWN BY:	TH, JRE	
CHECKED BY:	JRE	
SCALE	1" = 30'-00"	
REVISION	DATE	BY:
SITE PLAN REVISION	JAN 12, 2005	MRL
SITE PLAN REVISION	FEB 11, 2005	JRE
P & Z SUBMITTAL	MAY 31, 2005	JRE
PLANNING COMMENTS	JULY 13, 2005	T.M.H.

SHEET NUMBER:
LA-3



LEGEND

- NEW TREE, SHRUB, OR GROUNDCOVER
SEE SHEET LA-5 FOR KEY NAME & SPECIFICATION
- PLANT QUANTITY
- PROPOSED TREE SYMBOL
- PROPOSED PALM SYMBOL
- EXISTING TREE/PALM SYMBOL

Scale: 1" = 30'-00"



REFER TO SHEET LA-5 FOR PLANT LIST.
REFER TO SHEET LA-2 FOR LANDSCAPE CALCULATIONS.
REFER TO SHEET LA-5 FOR PLANTING DETAILS AND NOTES.

IRRIGATION SOURCE NOTE:
SYSTEM SHALL BE DESIGNED TO HAVE A MIN. 100%
COVERAGE WITH A MIN. 50% OVERLAP. (RUST FREE SOURCE)
RAIN SENSOR SHALL BE MOUNTED ACCORDING TO FLORIDA BUILDING CODE APPENDIX F



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SUBMITTAL SET

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA

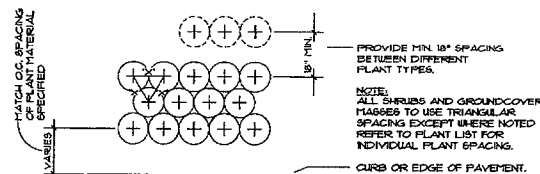
N.W. 12TH ST. & N.W.98TH CT. CITY OF DORAL, DADE COUNTY, FLORIDA

PLANTING PLAN

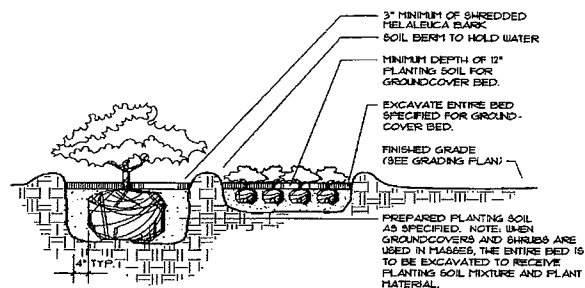
DATE: JULY 27, 2004
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SITE PLAN REVISION: JAN 12, 2005 JMK
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PLANNING COMMENTS: JULY 13, 2005 TAMH

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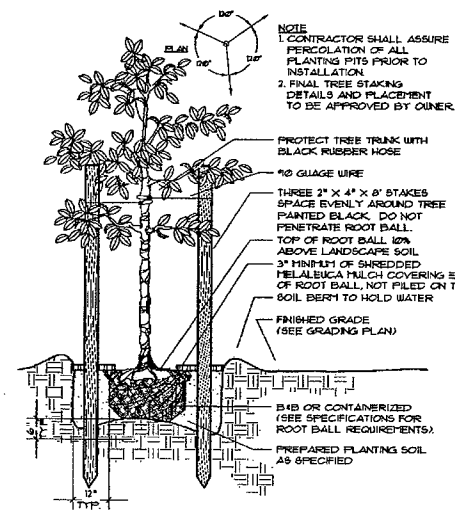
LA-4



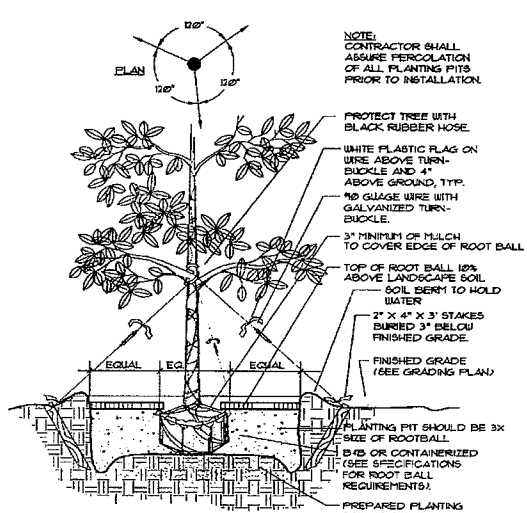
A TYPICAL PLANT SPACING
LA-1 PLAN SCALE: NTA



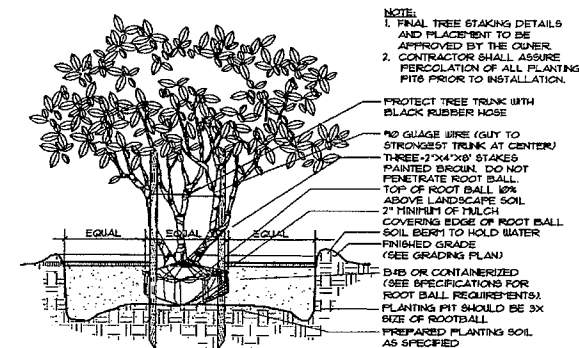
B TYPICAL SHRUBS AND GROUNDCOVER
LA-1 SECTION SCALE: NTA



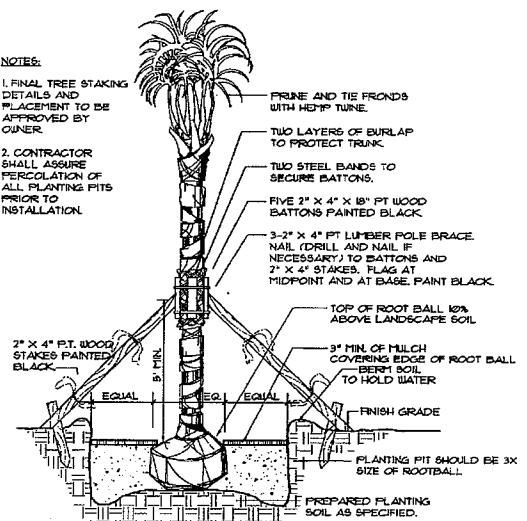
C SMALL TREE
LA-1 SECTION SCALE: NTA



D LARGE TREE
LA-1 SECTION SCALE: NTA



E MULTI-TRUNK TREE
LA-1 SECTION SCALE: NTA



F LARGE PALM
LA-1 SECTION SCALE: NTA

PLANT LIST:

SYMBOL USED ON PLAN	NEW	EXIST	BOTANICAL NAME	COMMON NAME	QUANTITY	NATIVE	GALIFER	HEIGHT	CANOPY DIAMETER	REMARKS
	YES	NO				YES / NO	* DBH	INSTALL	MATURITY	
B5	YES	-	BURSERIA SIMARUBA	GUINEO LIMBO	30	YES	25"	12'	15'	MIN. 25" CAL., 6' CT. STANDARD
QVR	-	YES	QUERCUS VIRGINIANA	LIVE OAK	2	YES	VARIES	VARIES	60'	RELOCATED, SEE PLAN
QV	YES	-	QUERCUS VIRGINIANA	LIVE OAK	25	YES	25"	12'	60'	MIN. 25" CAL., 6' CT. STANDARD
CE	YES	-	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	13	YES	25"	12'	30'	5' CT, MULTI-TRUNK (5 TRUNKS)
CO	YES	-	CHRYSOPHYLLUM OLIVIFORME	SATINLEAF TREE	21	YES	25"	12'	30'	STANDARD
RE	YES	-	ROYSTONIA ELATA	FLORIDA ROYAL PALM	31	YES	-	20' O.A.	75'	6' GBL, MATCHED HEIGHTS
RER	-	YES	ROYSTONIA ELATA	FLORIDA ROYAL PALM	3	YES	VARIES	75'	20'	RELOCATED DOUBLE PALMS
TH	YES	-	TABEBUIA HETEROPHYLLA	PINK TABEBUIA	31	NO	2"	12'	45'	5' CT. STANDARD
THR	-	YES	TABEBUIA HETEROPHYLLA	PINK TABEBUIA	3	NO	VARIES	-	45'	RELOCATED, SEE PLAN
TC	YES	-	TABEBUIA CARAIBA	SILVER TRUMPET TREE	30	NO	2"	12'	45'	5' CT. STANDARD
TD	YES	-	TAXODIUM DISTICHUM	BALD CYPRESS	36	YES	25"	12'	60'	STANDARD
WR	YES	-	WASHINGTONIA ROBUSTA	WASHINGTON PALM	2	NO	-	20' O.A.	75'	12' GBL
LI	YES	-	LAGERSTROEMIA INDICA	CREPPE MYRTLE 'TUSKOGEE'	1	NO	2"	10'	40'	
SKR	-	YES	SWEETENIA MAHOGANI	MAHOGANY	1	NO	VARIES	VARIES	75'	RELOCATED, SEE PLAN
NEW SHRUBS + GROUNDCOVER										
CI	YES	-	CHRYSOBALANUS ICAGO	RED TIP COCOPLUM	672	YES		30" Ht. x 24" Spr.		FULL, 24" OC.
LI	YES	-	LIRIOPE MUSCARI 'EVERGREEN GIANT'	LIRIOPE 'EVERGREEN GIANT'	3,465	NO		12" Ht. x 12" Spr.		FULL, 12" OC.
JV	YES	-	JASMINE VOLUBILE	WAX JASMINE	560	NO		24" Ht. x 24" Spr.		FULL, 24" OC.
RI	YES	-	RAPIHOLEPS INDICA 'ALBA'	INDIAN HAWTHORN	1,490	NO		18" Ht. x 18" Spr.		FULL, 24" OC.
FB	YES	-	FICUS BENJAMINA	FICUS HEDGE	300	NO		30" Ht. x 24" Spr.		FULL, 24" OC.
FB	-	YES	FICUS BENJAMINA	FICUS HEDGE	394	NO		30" Ht. x 24" Spr.		FULL, 24" OC.
MY	YES	-	MYRTICA GERPERA	WAX MYRTLE	258	YES		30" Ht. x 24" Spr.		FULL, 24" OC.
ARB	YES	-	SCHAEFERIA ARBOREA 'TRINETTE'	ARBOREA 'TRINETTE'	280	NO		24" Ht. x 24" Spr.		FULL, 24" OC.
NO	YES	-	NEROLI OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	162	NO		24" Ht. x 24" Spr.		FULL, 24" OC.
CI	YES	-	CONDYLINE TERMINALIS 'KUI'	TI PLANT	6	NO		36" Ht. x 24" Spr.		FULL, 36" OC.
AN	YES	-	ANNUAL FLOWERS	ANNUAL FLOWERS	1,650	NO		8" Ht. x 10" Spr.		FULL, 12" OC.
SB	YES	-	SPARTINA BAKERI	SALT MARSH CORDGRASS	10,000	YES		12" Ht., Sprig		FULL, 10" OC.
SOD	YES	-	PASPALIUM NOTATUM	BAHIA SOD	-	NO				PLANTED AT RETENTION AREA
SOD	YES	-	STENOTAPHRUM SECUNDATUM 'FLOR-TAM'	ST AUGUSTINE GRASS 'FLOR-TAM'	-	NO				STAGGERED JOINTS, SOLID
MULCH	YES	-	NON CYPRESS MULCH		-	NO				

LANDSCAPE NOTES:

ALL PLANT MATERIAL TO BE FLORIDA #1 OR BETTER.
SOD TO BE ST. AUGUSTINE 'FLORATAM', CONTRACTOR TO DETERMINE QUANTITY.
ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED RUST FREE WATER SOURCE.
CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATIONS ATTACHED TO THIS PLAN LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
MULCH, TOPSOIL AND FERTILIZER TO BE APPLIED ACCORDING TO SPECIFICATIONS.

SPECIFICATIONS:
NOTATION: ALL PLANT MATERIAL USED SHALL BE TRUE TO NAME AND SIZE IN CONFORMITY WITH THE FLORIDA NURSERYMEN'S GRADES AND STANDARDS, AND SHALL BE FLORIDA GRADE #1 OR BETTER. PLANTS WHICH DO NOT MEET THE SPECIFICATIONS WILL NOT BE ACCEPTED.
PLANT LISTS: QUANTITIES, SIZES AND LOCATION OF PLANTS WILL BE DETERMINED BY PLAN AND PLANT LISTS. SIZE OF PLANT SHALL TAKE PRECEDENCE OVER CONTAINER SIZE. SPACING OF GROUND COVERS WILL BE DETERMINED BY PLANT LISTS. QUANTITIES SHOWN ON PLANT LISTS ARE TO BE USED AS A GUIDELINE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFICATION OF ACTUAL QUANTITIES CALLED FOR ON PLANS. DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
SUBSTITUTIONS: NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT CONSENT OF LANDSCAPE ARCHITECT. ANY INTENDED SUBSTITUTIONS SHALL BE DETAILED ON THE BID.

PLANTING SOIL: SHALL BE CLEAN, STERILE AND FREE OF DEBRIS OR OTHER FOREIGN MATERIAL. TREES AND PALMS SHALL BE PLANTED WITH A MINIMUM OF 8" TOPSOIL (50% PUCK, 50% SAND) ON SIDES AND BOTTOM OF ROOT BALL. ROOTED CUTTINGS SHALL BE PLANTED IN BEDS WITH A MINIMUM OF 4" OF TOPSOIL WORKED INTO THE TOP 6" OF EXISTING SOIL.
FERTILIZER: MILORGANITE FERTILIZER SHALL BE APPLIED AFTER PLANTING AND PRIOR TO MULCHING AT THE MANUFACTURER'S RECOMMENDED APPLICATION RATES. IN ADDITION, AGRIFORM TABLETS (FORMULA 20-10-5) SHALL ALSO BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATES TO ALL PLANTS LARGER THAN 3 GAL. SIZE.
MULCH: ALL TREES SHALL BE MULCHED WITH 3" OF APPROVED NON-CYPRESS MULCH IN BEDS SHOWN ON PLAN OR IN BEDS 3' WIDE FOR HEDGES. MULCH SHALL BE NO DEEPER THAN 3" AND SHOULD BE FULLY AWAY FROM THE TRUNKS BY AT LEAST 3".
PLANTING PROCEDURE: ALL PLANTS SHALL BE PLANTED AT SOIL LEVELS AT WHICH THEY WERE PREVIOUSLY GROWN. SHRUBS AND HEDGE MATERIAL SHALL BE PLANTED 1/2" AWAY FROM WALLS OR OTHER OBSTRUCTIONS. MATERIAL WITH A MATURE SIZE GREATER THAN ANY OVERHANGS SHALL BE PLANTED AWAY FROM OVERHANGS SO AS NOT TO IMPEDE THE NATURAL GROWTH HABIT. SABAL PALMS ARE TO BE PLANTED DIRECTLY IN SAND, IF NECESSARY, EXCAVATE THROUGH ANY COMPACTED BUILDING SUBGRADE TO UNDISTURBED SOIL AND BACKFILL WITH PLANTING SOIL BEFORE PLANTING. ALL PLANTING BEDS SHALL BE FREE OF DEBRIS AND ROADROCK. REMOVAL OF DEBRIS AND ROADROCK SHALL EXTEND TO A DEPTH OF 30 INCHES BELOW FINISHED GRADE.

WATERING: ALL PLANT MATERIAL SHALL BE WATERED THOROUGHLY AFTER INSTALLATION SO AS TO REMOVE ALL AIR POCKETS. B & B MATERIAL SHALL BE WATERED EVERYDAY FOR A MINIMUM ONE WEEK PERIOD AND THEREAFTER SO AS TO KEEP CONTINUALLY MOIST UNTIL FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION. CONTRACTOR SHALL NOTIFY OWNER OF OTHER WATERING REQUIREMENTS AFTER INSTALLATION.
GUYING: ALL TREES 8' OR TALLER SHALL BE GUYED OR STAKED TO PROVIDE AMPLE SUPPORT SUCH THAT THE MATERIAL WILL STAY UPRIGHT AND TRUE THROUGH THE GUARANTEE PERIOD. METHODS USED WILL BE SUCH THAT NO INJURIES CAUSED TO PLANTS. GUYING SHALL BE DONE AT THE OPTION OF THE CONTRACTOR UNLESS SPECIFICALLY REQUESTED BY THE LANDSCAPE ARCHITECT. HOWEVER, CONTRACTOR SHALL STILL BE RESPONSIBLE FOR ALL TREES AND PALMS REMAINING STRAIGHT AND TRUE THROUGHOUT THE GUARANTEE PERIOD.
SOD: SOD SHALL BE DENSE, GREEN AND WELL ROOTED AND FREE OF DEBRIS, WEEDS, OBJECTIONAL GRASSES, DISEASE OR INFECTIOUS INSECTS. A COMPLETE 6-6-6 FERTILIZER SHALL BE SPREAD AT A RATE OF 5 LBS. PER 100 SQ. FT. SOD SHALL BE WATERED TO A DEPTH OF 4" AFTER LAYING. ALL AREAS TO BE SODDED SHALL BE RAKED SMOOTH AND ALL DEBRIS REMOVED PRIOR TO INSTALLATION.
SOD SHALL BE LAID ON A MINIMUM 2" OF TOPSOIL.

GUARANTEE: ALL PLANT MATERIALS SHALL BE GUARANTEED FOR 1-YEAR AFTER COMPLETION OF PROJECT. PALMS ARE TO BE GUARANTEED FOR 1-YEAR GUARANTEE APPLIES TO HEALTH, POSITION AND SIZE. REPLACEMENT COST WILL BE CARRIED BY CONTRACTOR.
RETENTION: SEE CIVIL ENGINEERING DRAWINGS FOR LAYOUT OF RETENTION AREAS.

NOTE: ALL TREES TO BE PLANTED A MINIMUM OF 5'-0" FROM A HARDSCAPE AND 10'-0" FROM STRUCTURES.
NOTE: ALL PALMS TO BE PLANTED A MINIMUM OF 3'-0" FROM A HARDSCAPE AND 1'-0" FROM STRUCTURES, DEPENDING ON SPECIES' LENGTH OF FROND.
NOTE: PRUNE ALL TREES TO A MINIMUM OF 6'-0" CLEARANCE OVER WALKS.

*** IRRIGATION SOURCE:**
SYSTEM SHALL BE DESIGNED TO HAVE A MIN. 100% COVERAGE WITH A MIN. 50% OVERLAP. (RUST FREE SOURCE)
RAIN SENSOR SHALL BE MOUNTED ACCORDING TO FLORIDA BUILDING CODE APPENDIX F

PREPARED BY:
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PREPARED FOR:
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A Division of Stiles Corporation
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954-621-9160 33301

SUBMITTAL SET

NEW DEALERSHIP FOR:
EXPRESSWAY TOYOTA
N.W. 12TH ST. & N.W. 98TH CT. CITY OF DORAL, DADE COUNTY, FLORIDA

PLANT DETAILS AND NOTES

DATE: JULY 27, 2004
PROJECT NUMBER: 0440
DRAWN BY:
CHECKED BY:
SCALE:
REVISION: DATE BY:
SITE PLAN REVISION JAN 12, 2005 MJO
SITE PLAN REVISION FEB 11, 2005 JBE
P & Z SUBMITTAL MAY 31, 2005 JBE
PLANNING COMMENTS JULY 15, 2005 TAMH

SHEET NUMBER:
LA-5