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**RESOLUTION Z06 – 13**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA AUTHORIZING AND APPROVING A SITE PLAN MODIFICATION FOR FRAGADOR LLC, GENERALLY LOCATED AT THE SOUTHWEST CORNER OF NW 74<sup>TH</sup> STREET AND NW 107<sup>TH</sup> AVENUE; PROVIDING AN EFFECTIVE DATE**

WHEREAS, Fragador Properties, LLC,, ("Applicant") has requested approval of a site plan for the development of a neighborhood retail/ office center consisting of two banks, retail center and pharmacy with associated infrastructure improvements on a property generally located on SW corner of NW 74<sup>th</sup> Street and NW 107<sup>th</sup> Avenue, as depicted on the site plan attached hereto as "Exhibit "A"; and

WHEREAS, on September 27, 2006 the City Council, after careful review and deliberation, including a review of staff's recommendation, determined that it is in the best interests of the citizens of the City of Doral to approve the modified Site Plan, subject to conditions;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA THAT:**

**Section 1.** The City Council of the City of Doral hereby approves Applicant's application for a site plan modification on the property located on the SW corner of NW 74<sup>th</sup> Street and NW 107<sup>th</sup> Avenue, subject to the following conditions:

- 1 1. The Declaration of Restrictions proffered to the City Council and  
2 incorporated herein is recorded in the Public Records of Miami-Dade  
3 County attached hereto as "Exhibit "B";
- 4 2. The landscaping must be consistent with the City's zoning in progress  
5 ordinance; and

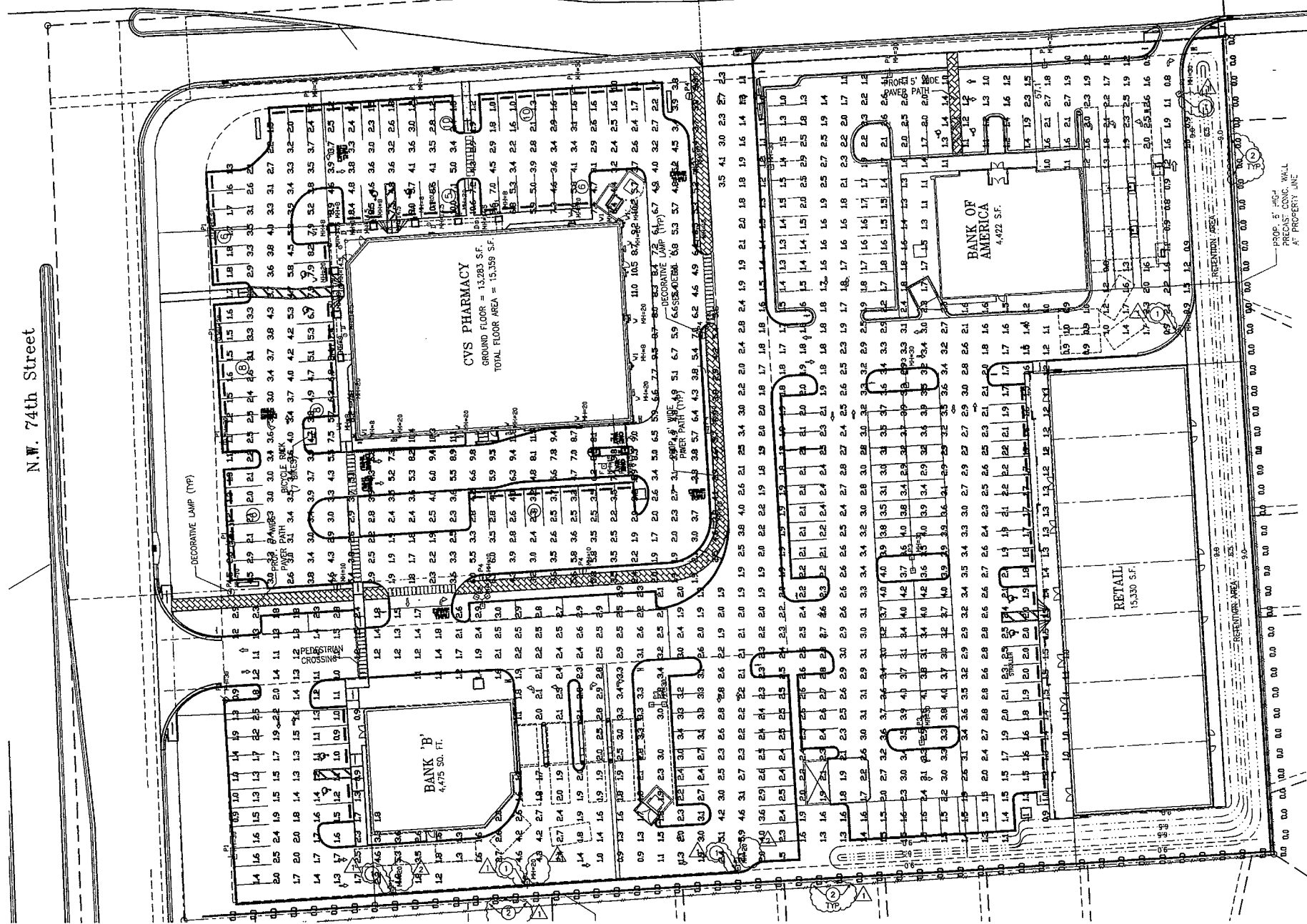
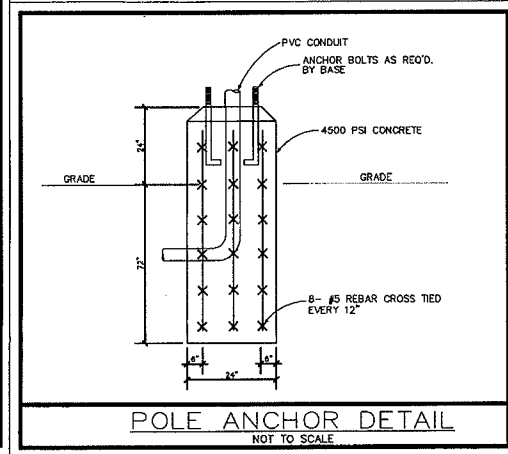
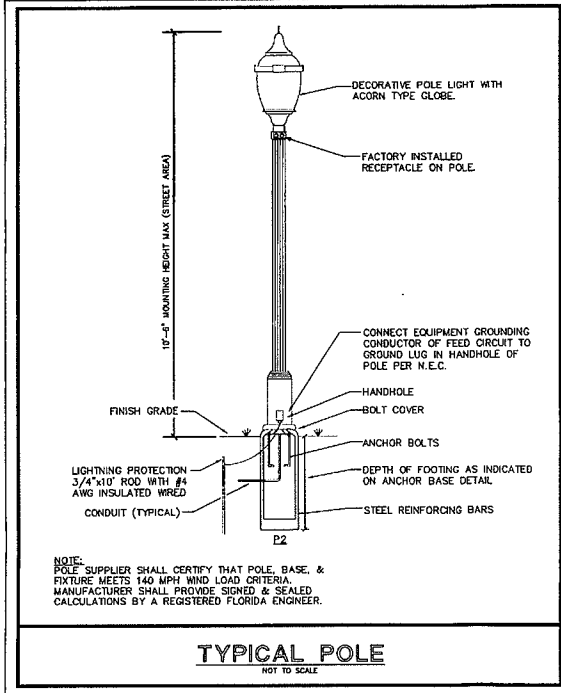
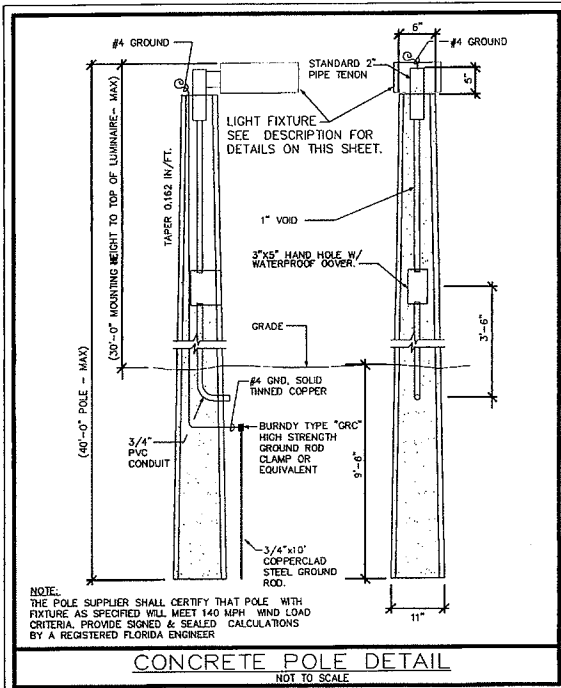
6 **Section 2.** This Resolution shall be recorded in the Public Records of  
7 Miami-Dade County, Florida and the Applicant shall pay the costs of recording  
8 said document.

9 **Section 3.** This resolution shall become effective upon its passage  
10 and adoption by the City Council.



# EXHIBIT “A”





**Luminaire Schedule**  
Project: All Projects

Symbol	Label	Arrangement	Lumens	LLF	Description
V	SINGLE		28000	0.720	VISION VVM25H3S
P4	SINGLE		20500	0.720	BRANDON LIGHTING 26250MH
P1	SINGLE		36000	0.720	COOPER LIGHTING GSM40MFFHS
P2	SINGLE		36000	0.720	COOPER LIGHTING GSM40MARF
P3	BACK-BACK		36000	0.720	COOPER LIGHTING GSM40MARF

**Numeric Summary**  
Project: All Projects

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CVS	Illuminance	Fc	4.27	11.8	1.0	4.27	11.8
PARKING	Illuminance	Fc	2.16	5.9	0.0	2.70	7.38
PROP. LINE	Illuminance	Fc	0.00	0.0	0.0	0.00	0.00

**Statistical Area Summary**  
Project: All Projects

Label	Avg	Max	Min	Avg/Min	Max/Min
SQFT	5.00	11.8	2.0	2.50	5.90

TO CONFIRM THAT THE SPECIFIED PHOTOMETRIC CRITERIA HAS BEEN MET, A COMPUTER DISK CONTAINING THE IES PHOTOMETRIC FILE FOR THE PROPOSED ALTERNATE/SUBSTITUTION MUST BE SUBMITTED TO KAMM CONSULTING ENGINEERS FOR EVALUATION NO LESS THAN 10 DAYS PRIOR TO BID. ANY ACCEPTABLE ALTERNATE/SUBSTITUTE MUST BE APPROVED IN WRITING PRIOR TO BID DATE.

- KEY NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION THAT LIGHTING FROM SITE POLE WILL NOT SPILL OVER PROPERTY LINE. SEE KEY NOTE #2.
  - PROVIDE GLARE SHIELD ON FIXTURE TO ACHIEVE REQUIRED LEVELS AT PROPERTY LINE. SHIELD DIMENSION SHALL BE FIELD VERIFIED AT NIGHT WITH LIGHT METER.

**SITE PHOTOMETRIC PLAN**  
1"=30' NORTH

PERMITS ISSUED  
CONSTRUCTION ISSUED

revision	date
1	03-08-06
2	07-18-06

1407 West Newport Center Drive  
Doral, Florida 33126  
Tel: 305-251-2200  
www.kamm.com  
KAMM CONSULTING ENGINEERS  
Certification of Authorization #019  
Professional Seal  
07-23-06  
KAMM CONSULTING ENGINEERS  
Florida License #1977

**FRAGA PROPERTIES AT DORAL**  
N.W. 74th ST. & N.W. 107th AVE.  
MIAMI-DADE COUNTY, FLORIDA

**PHOTOMETRIC PLAN**

project title: FRAGA PROPERTIES AT DORAL  
sheet title: PHOTOMETRIC PLAN

proj. no.: 2006-0119  
project manager: DF  
checked by: LTC/MP  
scale: AS NOTED  
date: 02-26-06

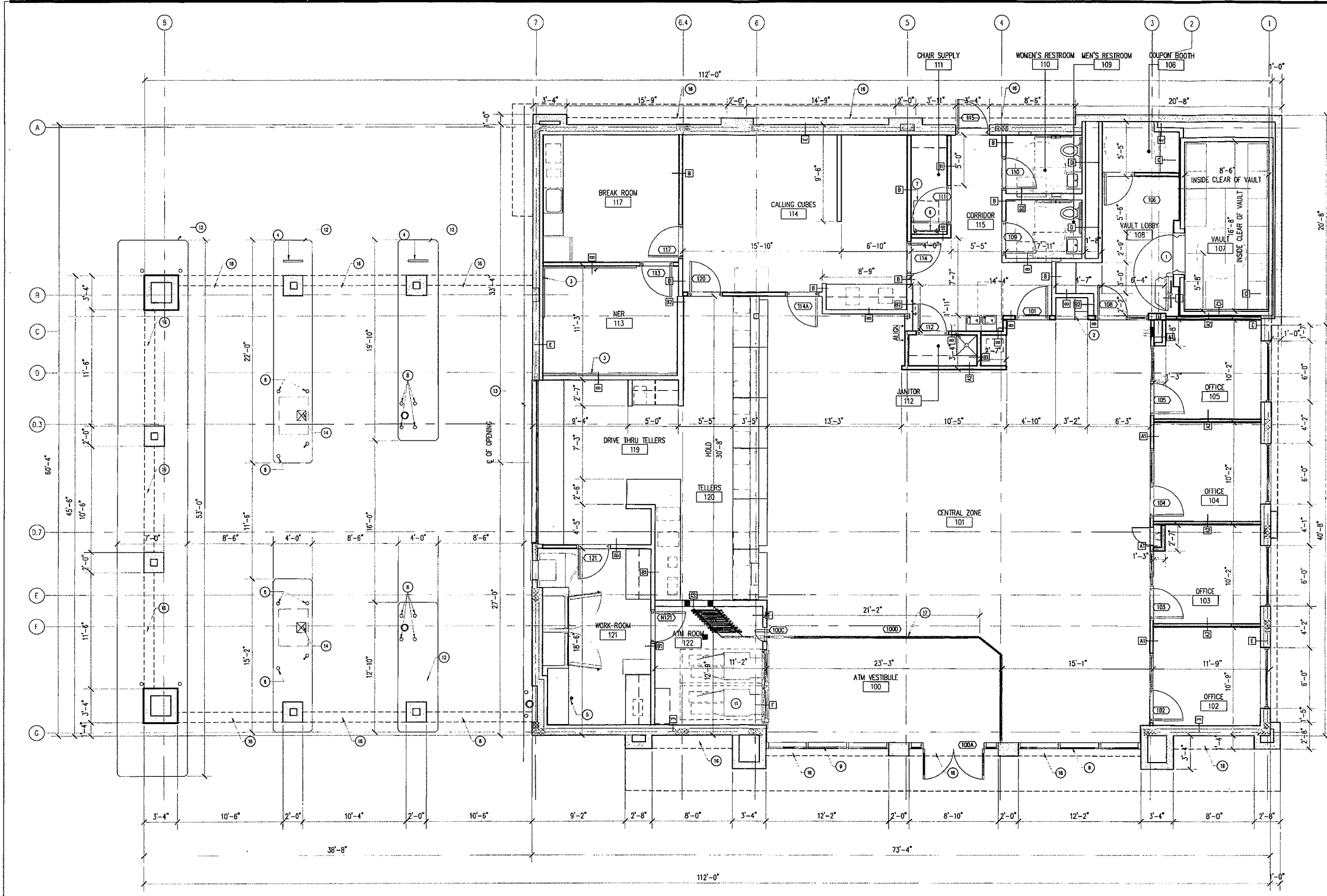
sheet  
**SE1.2**  
project

# Bank of America Doral - New Store

NW 74TH STREET & NW 107TH AVE  
DORAL, FLORIDA 33178

SERIAL NUMBER: FL0143  
NRSP VERSION: 2.0  
BULLETIN: 16

ARCHITECTURAL DESIGN COLLABORATIVE  
505 Maitland Ave.  
Suite 1150  
Altamonte Springs, FL 32701  
(407) 629-1188  
(407) 629-1220



## KEY NOTES

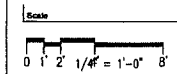
- 1 COORDINATE EMBEDDED STEEL PLATE LOCATION WITH VAULT MANUFACTURER. REFER TO STRUCTURAL DRAWINGS FOR VAULT SLAB CONSTRUCTION.
- 2 COORDINATE PARTITION FRAMING DIMENSION WITH MILLWORK SCHEDULED, MW02.
- 3 PROVIDE FIRE-RATED PLYWOOD BACKBOARD ON WALLS AS INDICATED, H=8'-0". PAINT TO MATCH ADJACENT WALL. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 GROUND MOUNTED SIGN BY OWNER
- 5 PROVIDE HEAVY DUTY FLOOR STOP PER SPEC- COORDINATE LOCATION WITH CASH VAULT DOOR. LADDER TO ROOF HATCH - SEE DETAIL 10/A09.24
- 6 ROOF HATCH ABOVE - SEE DETAIL 9/A09.24
- 7 BOLLARD - SEE DETAIL 4/A09.24
- 8 ALUMINUM STOREFRONT (AF-2)
- 9 NOT USED.
- 10 IF ONLY ONE ATM IS TO BE INSTALLED AT STORE OPENING, PLACE STUO OPENING AND ATM HERE. PROVIDE KNOCK-OUT PANEL FOR THRU-WALL OPENING AT ASSIGNED LOCATION FOR FUTURE 2ND ATM.
- 11 CONCRETE DRIVE THRU ISLAND. SEE DETAIL 05/A09.24.
- 12 HEADER CURB - 10" W/OE AGAINST BUILDING
- 13 DRIVE UP ATM. VERIFY DIMENSIONS WITH VENDOR.
- 14 NOT USED.
- 15 FRAMED ARCH SOFFIT, SEE ELEVATIONS AND REFLECTED CEILING PLAN FOR SPRING POINT DIMENSIONS AND HEIGHTS.
- 16 RETRACTABLE STOREFRONT GLASS DOORS FOR AFTER HOURS SECURITY. DOORS OPEN DURING REGULAR BUSINESS HOURS.

## SHEET NOTES

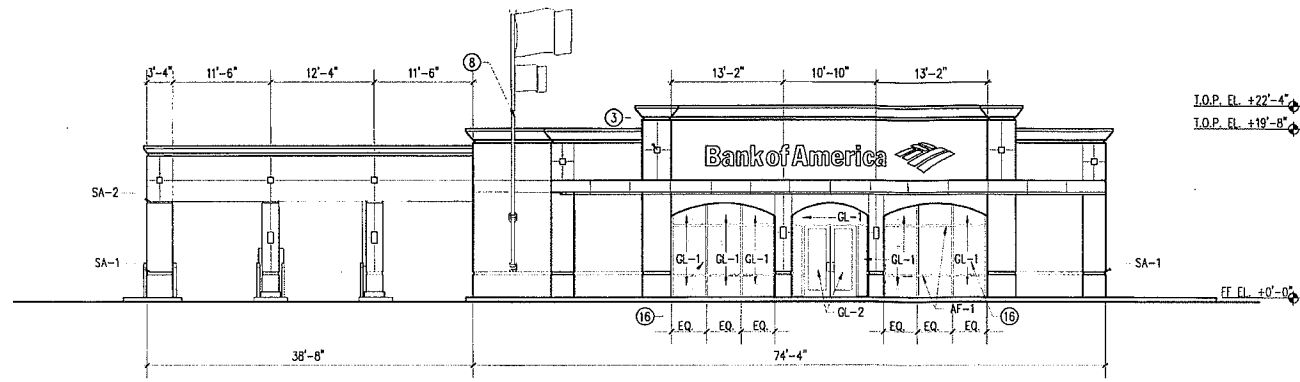
- A. ALL PARTITIONS TO BE TYPE "A", UNLESS OTHERWISE NOTED. REFER TO SHEET A12.01 FOR PARTITION DETAILS.
- B. FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFERENCE A00.00 THROUGH A00.40.
- C. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- D. REF. SHEET A08.11 FOR BANKING EQUIPMENT. RO VERIFY ALL EQUIPMENT WITH MANUFACTURER.
- E. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT/ ACCESSORIES MOUNTED ON WALL.

Issue	Date & Issue Description	By	Check
01	08/04/06		
MASTER SITE PLAN APPROVAL			

RAYMUNDO FEITO, R.A. AA-C0201315  
STATE OF FLORIDA AR-0010536  
Project Name: DORAL  
Prototype Layout  
MEDIUM  
Project Number: 06004  
CAD File Name: C:\projects\06004-DORAL-DORAL\Drawings\A02-01.dwg  
Description: FLOOR PLAN

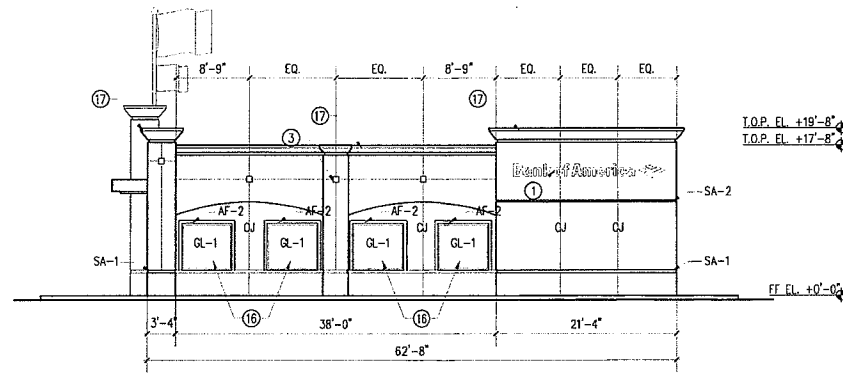


**A02.01** **H.W.**

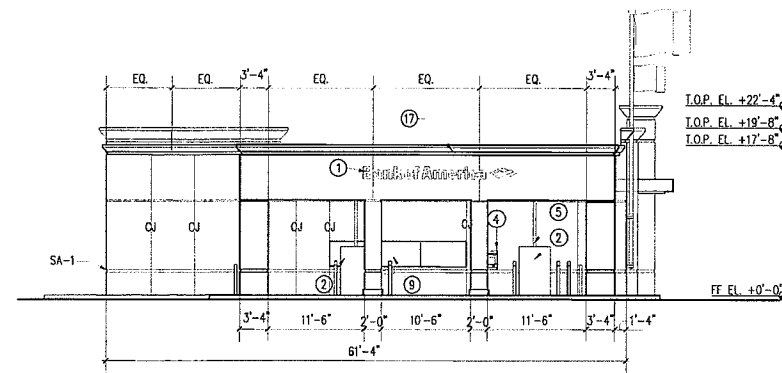


**A FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

**01**

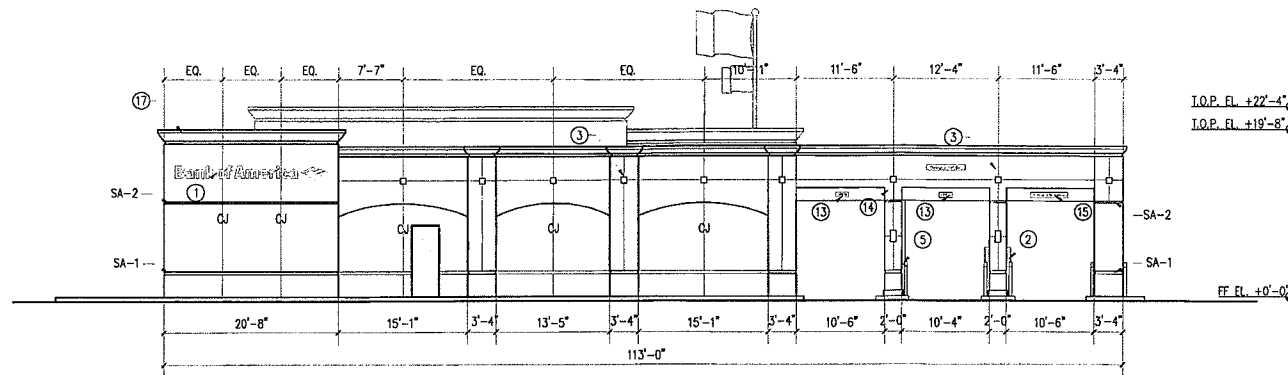


**B SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**A SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

**02**



**A REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

**03**

**KEY NOTES**

- 1 SIGNAGE BY OWNER - PIN-MOUNTED TYPE K-3 SIGN, TYP.
- 2 DRIVE UP ATM, SEE BANK EQUIPMENT DETAILS ON A08.11.
- 3 DECORATIVE INSETS TO MATCH DEVELOPMENT.
- 4 NIGHT DEPOSITORY - BY OWNER
- 5 VACUUM AIR TUBE (VAT) BY OWNER
- 6 NOT USED
- 7 NOT USED
- 8 FLAG POLE AND MOUNTING BRACKETS, FLAGS BY OWNER
- 9 DRIVE THRU TELLER WINDOW BY OWNER
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 LED LANE LIGHTS PROVIDED BY EQUIPMENT VENDOR. Q OF SIGN=Q OF LANE.
- 14 S3 MONOLITH SIGNAGE PROVIDED BY OWNER. Q OF SIGN=Q OF ISLAND.
- 15 S3 MONOLITH SIGNAGE PROVIDED BY OWNER. Q OF SIGN=Q OF LANE.
- 16 REFER TO SHEET A09.26 FOR WINDOW INSTALLATION DETAILS
- 17 EPS BAND TO MATCH SHOPPING CENTER

**EXTERIOR FINISH SCHEDULE**

STUCCO / PLASTER	
ST-1	TBD
ST-2	TBD
ST-3	TBD
GLAZING	
GL-1	INSULATED GLAZING AS SPECIFIED
GL-2	MONOLITHIC GLAZING AS SPECIFIED
ALUMINUM GLAZING FRAMES	
AF-1	CURTAINWALL SYSTEM AS SPECIFIED
AF-2	STOREFRONT SYSTEM AS SPECIFIED
STUCCO ACCESSORIES	
SA-1	WIDE CHANNEL SCREED AS SPECIFIED
SA-2	NARROW CHANNEL SCREED AS SPECIFIED
METAL COPING	
MC-1	PREFINISHED METAL COPING
EXTERIOR PAINT (BASED ON SHERWIN WILLIAMS)	
EXPT-1	TBD
EXPT-2	TBD

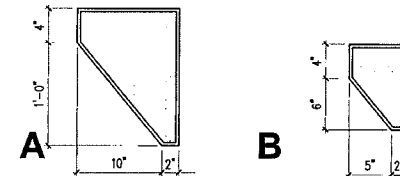
NOTE:  
ALL COLORS/FINISHES TO MATCH DEVELOPMENT.

**SHEET NOTES**

- A. CONTRACTOR TO COORDINATE POWER FOR WALL MOUNTED SIGNS WITH OWNER SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET. REF. DRAWING OIB ON THIS SHEET FOR TYPICAL MOUNTING HEIGHT OF SIGN.
- D. ALL EXTERIOR CURTAIN WALL/STOREFRONT FRAMES AND DOORS TO BE FINISHED WITH SC-1 (SEE FINISH SCHEDULE).

**STANDARD NOTES:**

1. PROVIDE CONTINUOUS SEALANT BEAD AT TOP AND BOTTOM OF BANDS.
2. INSTALL FOAM BAND ON TOP OF THE CURED EXTERIOR STUCCO. ATTACH TO STUCCO WITH A MANUFACTURER APPROVED ACRYLIC ADHESIVE.
3. DOUBLE WRAP WITH REINFORCING MESH AND SYNTHETIC FINISH OR PROVIDE MANUF. "HARD-COAT" FINISH.
4. TERMINATE BANDS AT INTERIOR CORNER OF BUILDINGS.



**FOAM BAND DETAILS**  
SCALE: 1 1/2" = 1'-0" DT\_FB\_01

**04**

**Bank of America  
Doral - New Store**

NW 74TH STREET & NW 107TH AVE  
DORAL, FLORIDA 33178

SERIAL NUMBER: FL0143  
NRSP VERSION: 2.0  
BULLETIN: 16

ARCHITECTURAL DESIGN COLLABORATIVE  
505 Mainland Ave.  
Suite 1150  
Altamonte Springs, FL 32701  
(407) 629-1128  
(407) 629-1220

Issue	Date & Issue Description	By	Check
01	08/04/06		
	MASTER SITE PLAN APPROVAL		

Rev/Signature

RAYMUNDO FEITO, R.A.  
STATE OF FLORIDA  
Project Name  
DORAL  
Prototype Layout  
Project Number  
06004  
CAD File Name  
C:\Users\raymfe\Documents\BOM-DORAL\AD\Sheets\01a09-11.dwg  
Description  
EXTERIOR ELEVATIONS

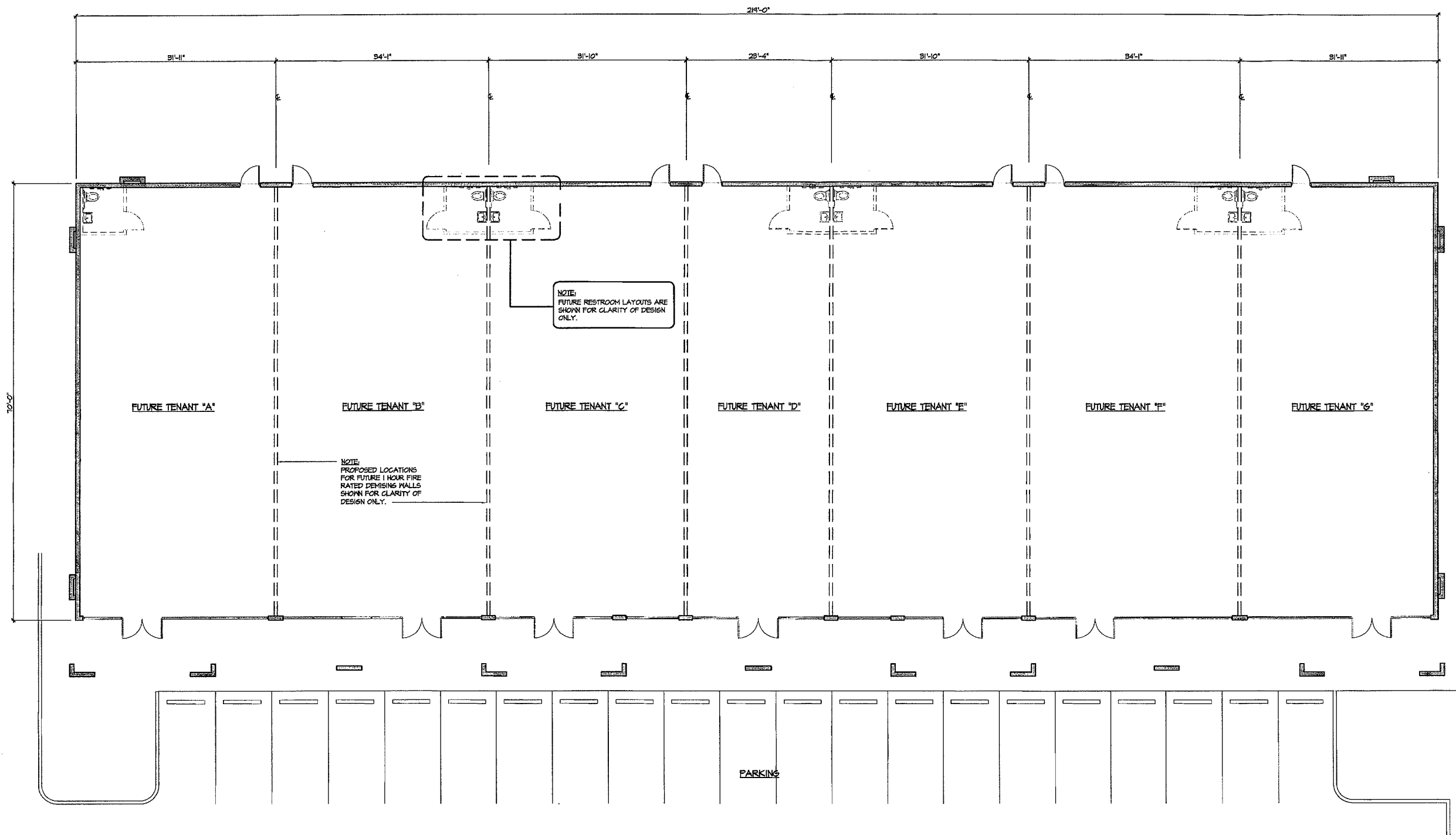
Scale  
AS NOTED

**A09.11 H.W.**

REF LOG  
PAGE 11  
REV 200703

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PLOTED: 08/04/06 4:49pm

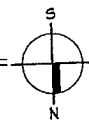




CONCEPTUAL FLOOR PLAN

TOTAL BUILDING S.F. = 16330 S.F.

SCALE: 1/8" = 1'-0"



project no. 456  
 scale: AS NOTED  
 date: 07-11-2006  
 drawn by: A.R.

revisions

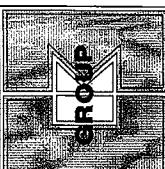
seal

7/31/06

FRAGA PROPERTIES  
 AT DORAL  
 MIAMI, FLORIDA

**CKE GROUP**  
 INCORPORATED  
 engineering • architecture • planning

EB # 0004482  
 EDUARDO CARRASCO  
 CIVIL ENGR. - PE 2704  
 JACK RABENBUSH  
 ARCHITECT - AM 2808



15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

A-1

CONSULTANT:

SEAL:

Mark L. Saltz AR0007171



**FLORIDA INLAND**  
**13K - LEFT**  
STORE NUMBER: 7133  
SWC 74TH STREET & 107TH AVE  
DORAL, FLORIDA  
DEAL TYPE: NEW / RELO

**DEVELOPER:**  
CEDARWOOD DEVELOPMENT, INC  
TRADE CENTRE SOUTH  
100 WEST CYPRESS CREEK RD.  
SUITE 850  
FT. LAUDERDALE, FL 33309  
TEL (954) 677-0751  
FAX (954) 677-0752

REVISIONS:

DRAWING BY: MC

DATE: 29 MARCH 2006

JOB NUMBER: 2003-237

TITLE:  
**FLOOR PLAN**

SHEET NUMBER:  
**A-1.1**

COMMENTS:

**NOTES**

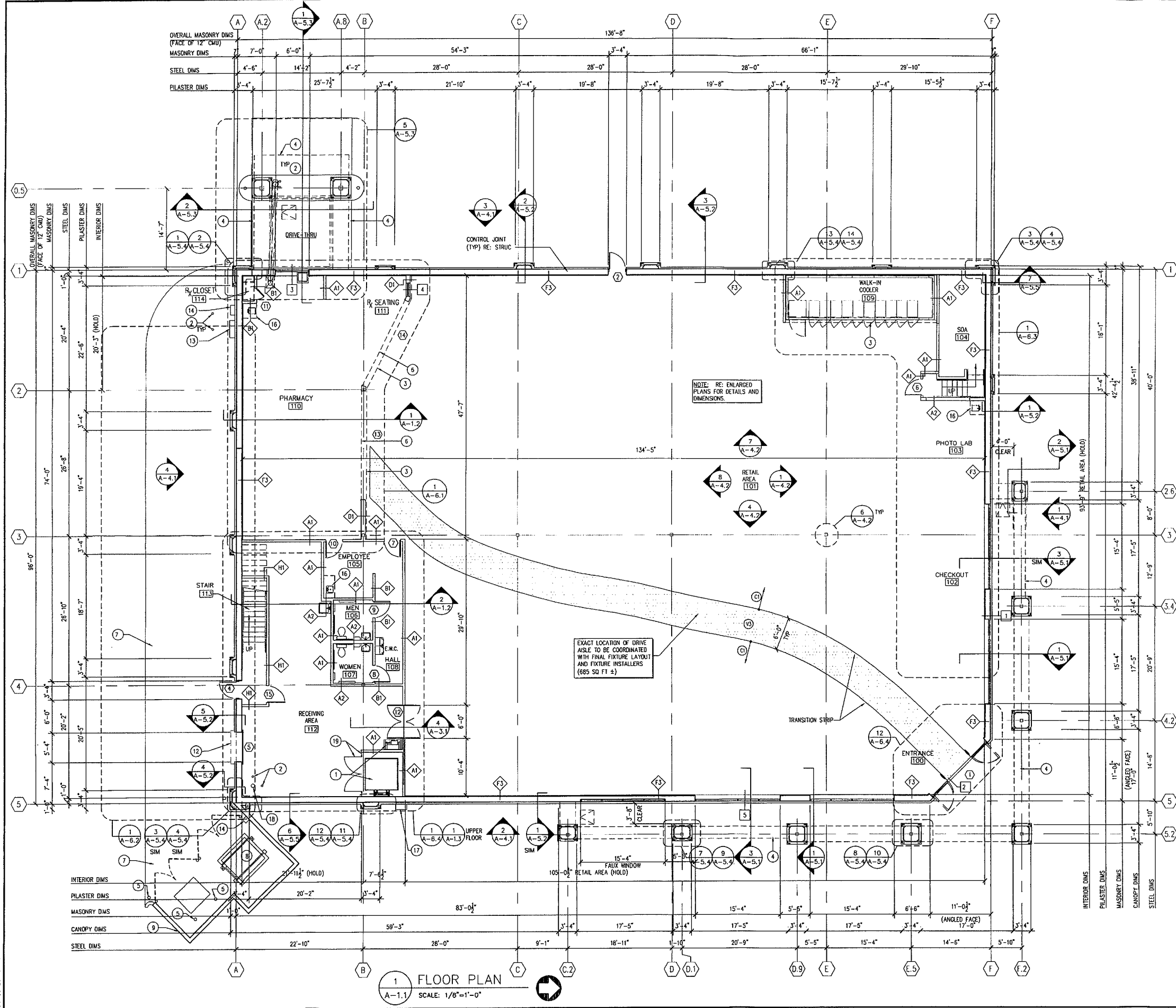
- CONTRACTOR TO PROVIDE TERMITE SOL TREATMENT UNDERNEATH SLAB PER CODE REQUIREMENTS.
- PER 1816.1 OF THE F.B.C. 2001 EDITION TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITE TECHNICIANS OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT OF NEW CONSTRUCTION.
- ALL NEW INTERIOR FINISHES SHALL COMPLY W/ NFPA 101-24-3.3 AND THE FLORIDA BUILDING CODE 2001 EDITION AS CLASS B PER TABLE B03.3
- NO ROOF TOP EQUIPMENT ARE WITHIN 10 FEET OF ROOF EDGE.
- F.B.C. SECTION 1816.1.7 TERMITE PROTECTION. - PRIOR TO THE BUILDING FINAL INSPECTION A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONNOTES THE FOLLOWING STATEMENT:  
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES"

**NOTES BY SYMBOL**

- NON PASSENGER VRC AND POWER UNIT
- 4" PIPE BOLLARD - RE: 4/A-6.2 AND EXTERIOR FINISH SCHEDULE.
- FACE OF SOFFIT / VALANCE ABOVE - RE: WALL SECTIONS.
- FACE OF CANOPY / ROOF LINE ABOVE.
- 5" PIPE BOLLARD - RE: 4/A-6.2 AND EXTERIOR FINISH SCHEDULE.
- CEILING GRILLE
- 5" THICK CONCRETE PAD FOR COMPACTOR - RE: STRUCTURAL DRAWINGS. SEE NOTE #5 ON AS-1
- COMPACTOR
- COMPACTOR ENCLOSURE
- NOT USED
- NOT USED
- RAINHOOD RE: 24/A-7.1
- ELECTRIC METER BY UTILITIES COMPANY - RE: ELECTRICAL DRAWINGS.
- ELECTRICAL DISCONNECT - RE: ELECTRICAL DRAWINGS.
- NOT USED
- CABINET BY MILLWORK SUPPLIER - RE: FIXTURE PLAN F-1
- PAY TELEPHONE
- FIRE RISER
- VRC GATES BY VRC MANUFACTURER

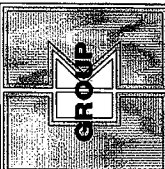
**LEGEND**

- [X] WINDOW DESIGNATION RE: SHT A-7.2
- [X] INDICATES DOOR-RE: SHT A-7.2 FOR DOOR SCHEDULE
- [X] PARTITION TYPE - RE: SHT A-1.2
- [X] FLOOR PLAN NOTES THIS SHT
- [X] FINISH DESIGNATION - RE: SHT A-7.2



**1 FLOOR PLAN**  
**A-1.1** SCALE: 1/8"=1'-0"

DATE PLOTTED: 03/30/06 10:58 AM  
DRAWING NUMBER: 2003-237-01  
JOB NUMBER: 2003-237  
SHEET NUMBER: A-1.1  
TITLE: FLOOR PLAN  
PROJECT: 13K - LEFT  
CLIENT: CVS PHARMACY



EB # 0004482  
 EDUARDO GARCIA  
 CIVIL ENG. - FE 3916  
 JACK RANDBUSH  
 ARCHITECT - AR 2009

**CKE GROUP**  
 INCORPORATED  
 engineering • architecture • planning

FRAGA PROPERTIES  
 AT DORAL  
 MIAMI, FLORIDA

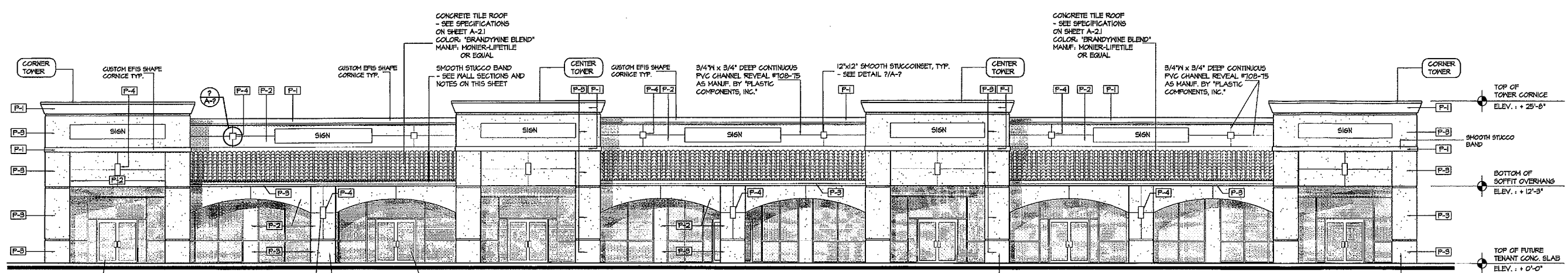
SUITE 106

15500 NEW BARN ROAD

(305) 558-4124

project no. 105  
 scale: AS NOTED  
 date: 07-11-2006  
 drawn by: A.R.

A-2



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

**PVC CHANNEL REVEAL SPECIFICATIONS**  
 (AESTHETIC STUCCO JOINTS)

WHERE CALLED FOR ON THE CONSTRUCTION DRAWINGS FOR 3/4" WIDE X 3/4" DEEP AESTHETIC STUCCO JOINTS SHALL BE FORMED WITH THE USE OF PVC CHANNEL REVEALS AND INTERSECTION ACCESSORIES AS LISTED HEREIN. THE INSTALLATION SHALL BE COMPLETE WITH CROSSES, TS, 90° ANGLES, INSIDE CORNERS, AND OUTSIDE CORNERS, AS REQUIRED.

ALL THE FOLLOWING ITEMS ARE TO BE AS MANUFACTURED BY:

PLASTIC COMPONENTS, INC.  
 4051 NW 47 TERRACE  
 MIAMI, FLORIDA 33178  
 (305) 885-0561 - (800) 821-1071  
 (305) 887-2452 FAX  
 WWW.PLASTICCOMPONENTS.COM

ALL ITEMS ARE FOR A 3/4" REVEAL, 3/4" GROUND (ORDER WITH REMOVABLE CAPS)

CHANNEL REVEAL	# 108 - 75
CROSS	# PRG - 75 - 75
T	# PRT - 75 - 75
90° ANGLE	# PRA - 75 - 75
INSIDE CORNER	# PRIC - 75 - 75
OUTSIDE CORNER	# PRIC - 75 - 75

PRIOR TO INSTALLING THE CHANNEL REVEAL COMPONENTS, THE STUCCO APPLICATOR SHALL REVIEW THE CONSTRUCTION DRAWINGS WITH A CKE GROUP REPRESENTATIVE TO ASSURE A COMPLETE UNDERSTANDING OF THE INTENDED DESIGN.

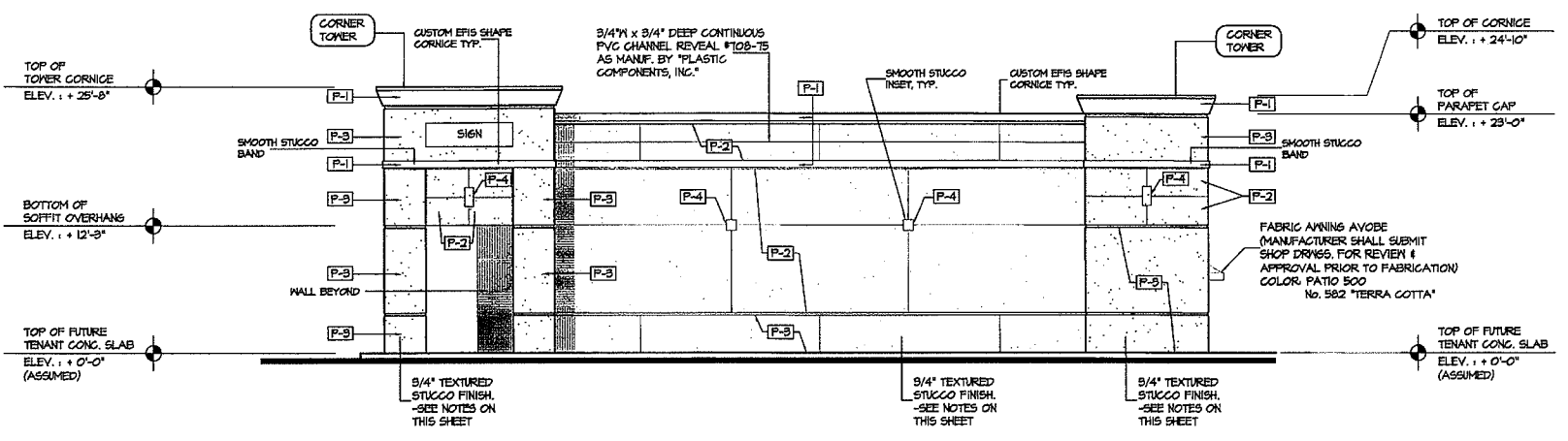
PRIOR TO APPLYING THE SCRATCH COAT OF STUCCO, THE INSTALLATION OF THE CHANNEL REVEAL COMPONENTS MUST BE INSPECTED AND APPROVED BY A CKE GROUP REPRESENTATIVE. ANY ADJUSTMENTS TO THE LAYOUT OF THE CHANNEL REVEAL SYSTEM, WHICH MAY BE REQUIRED AS A RESULT OF SAID INSPECTION, MUST BE MADE PRIOR TO THE START OF THE SCRATCH COAT APPLICATION.

**NOTE:**  
 CAULK ALL BUTT JOINTS, INTERSECTIONS AND ENDS AT TIME OF INSTALLATION PRIOR TO STUCCO APPLICATION

- STORM SHUTTERS**
1. THE GENERAL CONTRACTOR SHALL PROVIDE A MIAMI-DADE COUNTY APPROVED GALVANIZED STEEL STORM SHUTTER SYSTEM FOR ALL GLAZED OPENINGS AS REQUIRED BY SECTION 2415 OF THE 2001 FLORIDA BUILDING CODE.
  2. THE STUCCO APPLICATOR SHALL REVIEW THESE PLANS WITH A CKE GROUP REPRESENTATIVE PRIOR TO BEGINNING THE STUCCO WORK TO ASSURE A COMPLETE UNDERSTANDING OF THE INTENDED DESIGN.
- STUCCO:**
2. THE STUCCO APPLICATOR SHALL REVIEW THESE PLANS WITH A CKE GROUP REPRESENTATIVE PRIOR TO BEGINNING THE STUCCO WORK TO ASSURE A COMPLETE UNDERSTANDING OF THE INTENDED DESIGN.
- STOREFRONT:**
3. MANUFACTURER MUST SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OF ALL GLASS STOREFRONT SYSTEMS.

**EXTERIOR COLOR SCHEDULE**

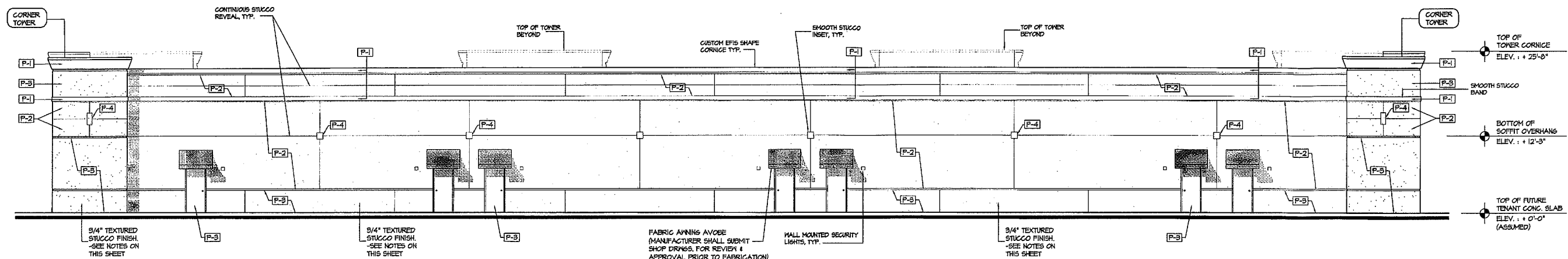
- |            |   |
|------------|---|
| P-1        | CORNICES & TRIMS<br>COLOR: BENJAMIN MOORE "WHITE VANILLA" #2017-10                            |
| P-2        | PRIMARY WALLS (FIELD COLOR) & TOWER PANEL<br>COLOR: BENJAMIN MOORE "MONTGOMERY WHITE" EXT. RM |
| P-3        | TOWER WALLS, BUILDING BASE & REAR HL DOORS<br>COLOR: BENJAMIN MOORE "RICHMOND BISQUE" EXT. RM |
| P-4        | ACCENT COLORS<br>COLOR: "TERRA COTTA" COMPUTER MATCHED TO ANNING MATERIAL                     |
| ANNING     | PATIO BOO BY JOHN BOYLE & CO. No. 562- "TERRA COTTA"  |
| STOREFRONT | BRONZE ESP  |



**WEST ELEVATION**

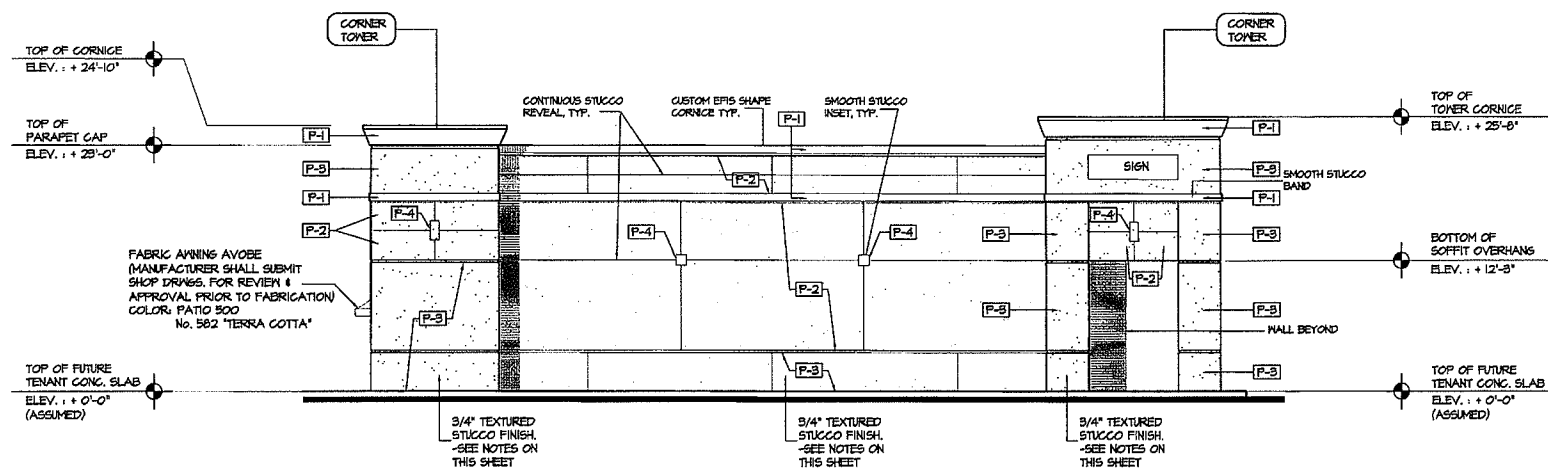
SCALE: 1/8" = 1'-0"

15500 NEW BARN ROAD SUITE 106 MIAMI FLORIDA 33178 (305) 558-4124



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

**PVC CHANNEL REVEAL SPECIFICATIONS**

(AESTHETIC STUCCO JOINTS)

WHERE CALLED FOR ON THE CONSTRUCTION DRAWINGS FOR 3/4" WIDE X 3/4" DEEP AESTHETIC STUCCO JOINTS SHALL BE FORMED WITH THE USE OF PVC CHANNEL REVEALS AND INTERSECTION ACCESSORIES AS LISTED HEREIN. THE INSTALLATION SHALL BE COMPLETE WITH CROSSSES, ITS 45° ANGLES, INSIDE CORNERS, AND OUTSIDE CORNERS, AS REQUIRED.

ALL THE FOLLOWING ITEMS ARE TO BE AS MANUFACTURED BY:

PLASTIC COMPONENTS, INC.  
4051 NW 47 TERRACE  
MIAMI, FLORIDA 33178  
(305) 885-0561 - (800) 321-1071  
(305) 881-2482 FAX  
WWW.PLASTICCOMPONENTS.COM

ALL ITEMS ARE FOR A 3/4" REVEAL, 3/4" GROUND.  
(ORDER WITH REMOVABLE CAPS)

CHANNEL REVEAL	# 108 - 75
CROSS	# PRG - 75 - 75
T	# PRT - 75 - 75
45° ANGLE	# PRA - 75 - 75
INSIDE CORNER	# PRIC - 75 - 75
OUTSIDE CORNER	# PRIC - 75 - 75

PRIOR TO INSTALLING THE CHANNEL REVEAL COMPONENTS THE STUCCO APPLICATOR SHALL REVIEW THE CONSTRUCTION DRAWINGS WITH A CKE GROUP REPRESENTATIVE TO ASSURE A COMPLETE UNDERSTANDING OF THE INTENDED DESIGN.

PRIOR TO APPLYING THE SCRATCH COAT OF STUCCO, THE INSTALLATION OF THE CHANNEL REVEAL COMPONENTS MUST BE INSPECTED AND APPROVED BY A CKE GROUP REPRESENTATIVE. ANY ADJUSTMENTS TO THE LAYOUT OF THE CHANNEL REVEAL SYSTEM, WHICH MAY BE REQUIRED AS A RESULT OF SAID INSPECTION, MUST BE MADE PRIOR TO THE START OF THE SCRATCH COAT APPLICATION.

**NOTE:**

CAULK ALL BUTT JOINTS, INTERSECTIONS AND ENDS AT TIME OF INSTALLATION PRIOR TO STUCCO APPLICATION

**STORM SHUTTERS**

1. THE GENERAL CONTRACTOR SHALL PROVIDE A MIAMI-DADE COUNTY APPROVED GALVANIZED STEEL STORM SHUTTER SYSTEM FOR ALL GLAZED OPENINGS AS REQUIRED BY SECTION 248 OF THE 2001 FLORIDA BUILDING CODE.

**STUCCO:**

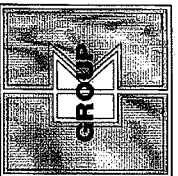
2. THE STUCCO APPLICATOR SHALL REVIEW THESE PLANS WITH A CKE GROUP REPRESENTATIVE PRIOR TO BEGINNING THE STUCCO WORK TO ASSURE A COMPLETE UNDERSTANDING OF THE INTENDED DESIGN.

**STOREFRONT:**

3. MANUFACTURER MUST SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OF ALL GLASS STOREFRONT SYSTEMS.

**EXTERIOR COLOR SCHEDULE**

P-1	<b>CORNICES &amp; TRIMS</b> COLOR: BENJAMIN MOORE "WHITE VANILLA" #2017-10
P-2	<b>PRIMARY WALLS (FIELD COLORS) &amp; TOWER PANEL</b> COLOR: BENJAMIN MOORE "MONTGOMERY WHITE" EXT. RM
P-3	<b>TOWER WALLS, BUILDING BASE &amp; REAR RM DOORS</b> COLOR: BENJAMIN MOORE "RICHMOND BISQUE" EXT. RM
P-4	<b>ACCENT COLORS</b> COLOR: "TERRA COTTA" COMPUTER MATCHED TO AWNING MATERIAL
<b>AWNING</b>	PATIO 500 BY JOHN BOYLE & CO. No. 582- "TERRA COTTA"
<b>STOREFRONT</b>	BRONZE ESP



EB # 0004482  
EDUARDO CORDACHE  
CIVIL ENG. - PE 31914  
JACK RANDORINSKY  
ARCHITECT - AR 2828

**CKE GROUP INCORPORATED**  
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FRAGA PROPERTIES  
AT DORAL  
MIAMI, FLORIDA

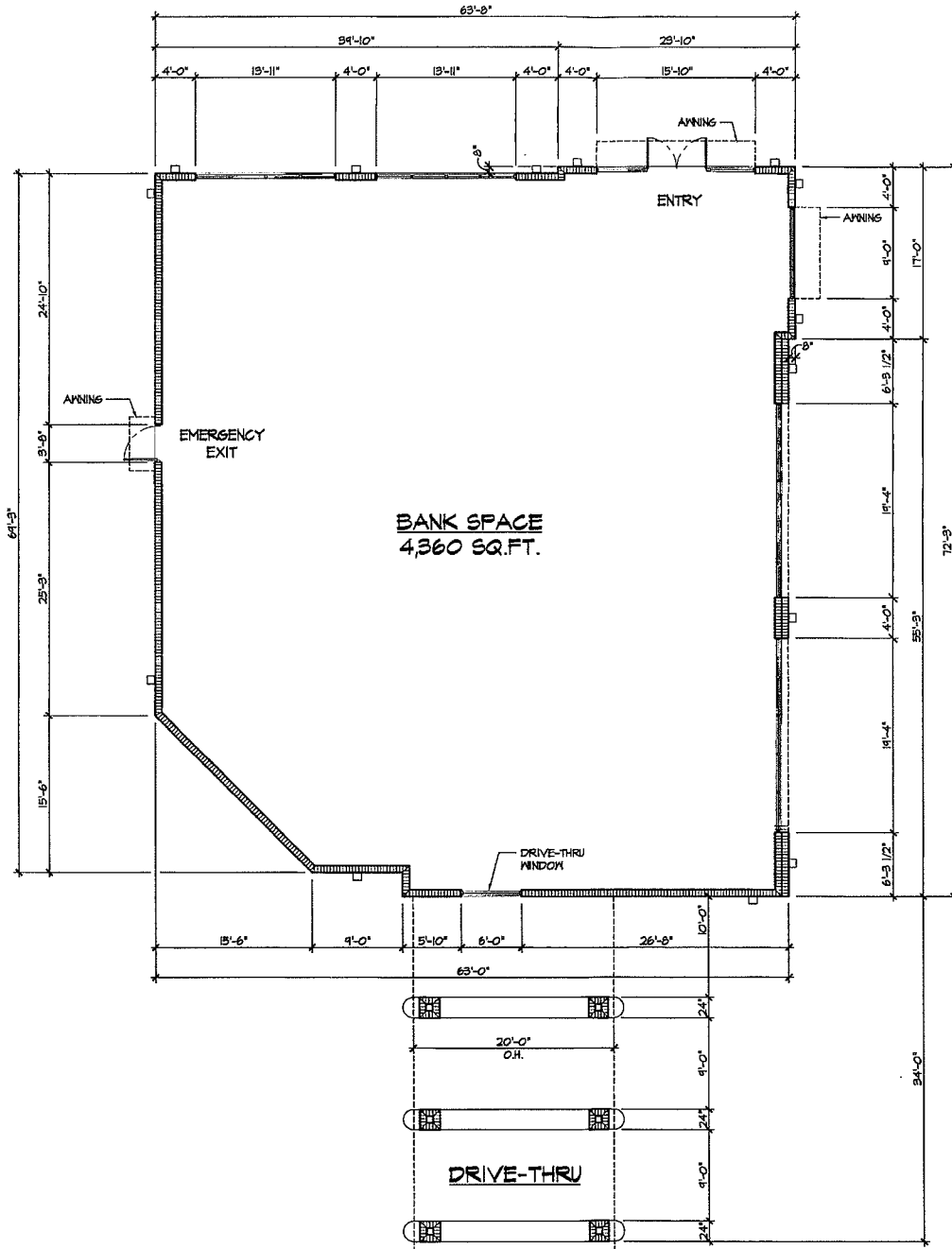
11/11/06  
seal

revisions

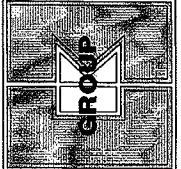
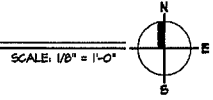
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scale: AS NOTED  
date: 07-11-2006  
drawn by: AR

A-3

15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124



CONCEPTUAL PLAN



ED # 0004482  
 EDUARDO GARCIA  
 CIVIL ENG. - FS 3184  
 JACK BAUMBERG  
 ARCHITECT - AR 2808

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• (305) 558-4124

FRAGA PROPERTIES  
 AT DORAL  
 MIAMI, FLORIDA

• SUITE 106 • MIAMI LAKES, FLORIDA 33014

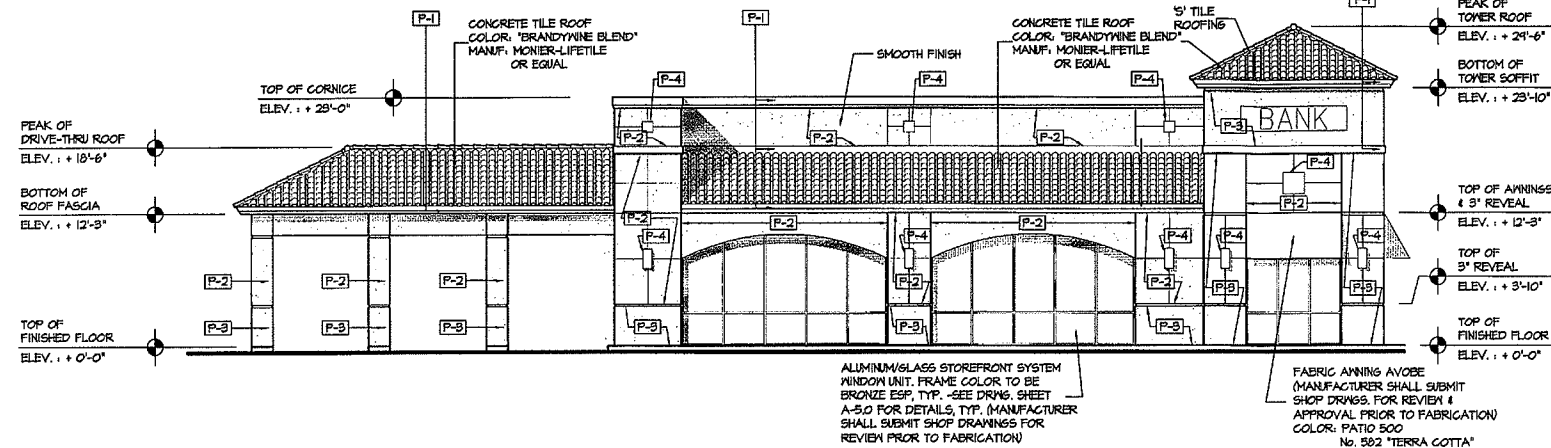
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seal

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 drawn by: A.R.

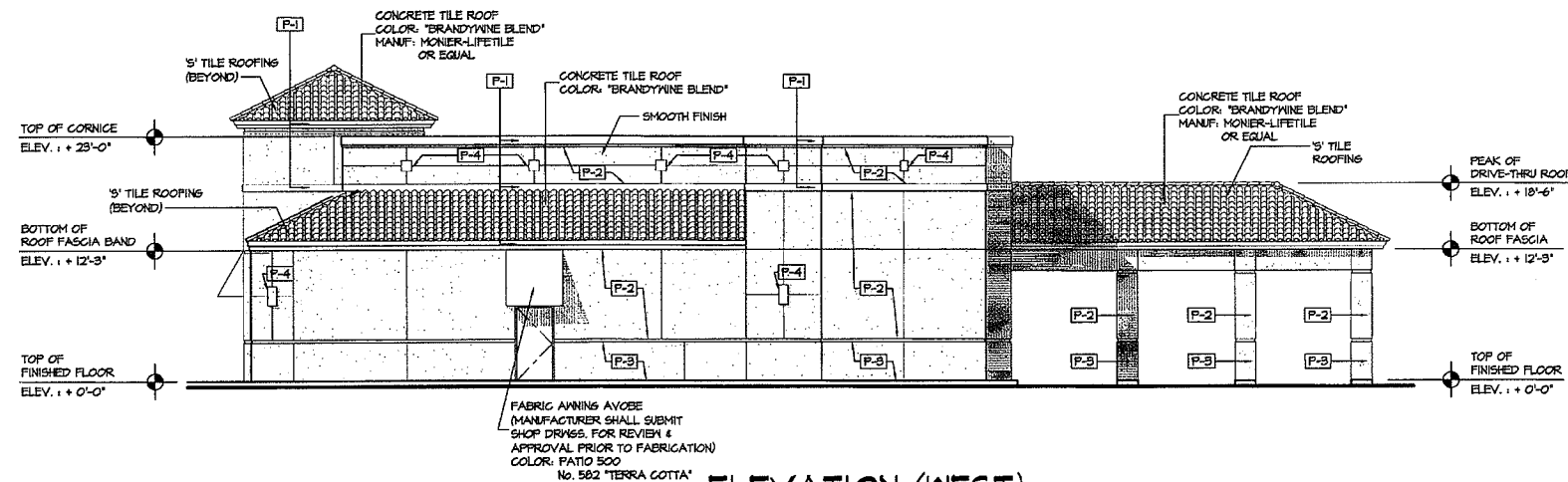
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15500 NEW BARN ROAD



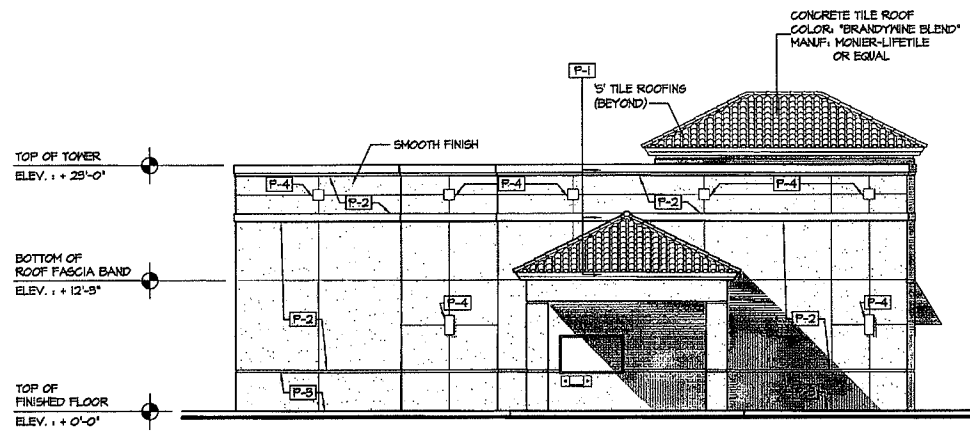
ELEVATION (EAST)

SCALE: 1/8" = 1'-0"



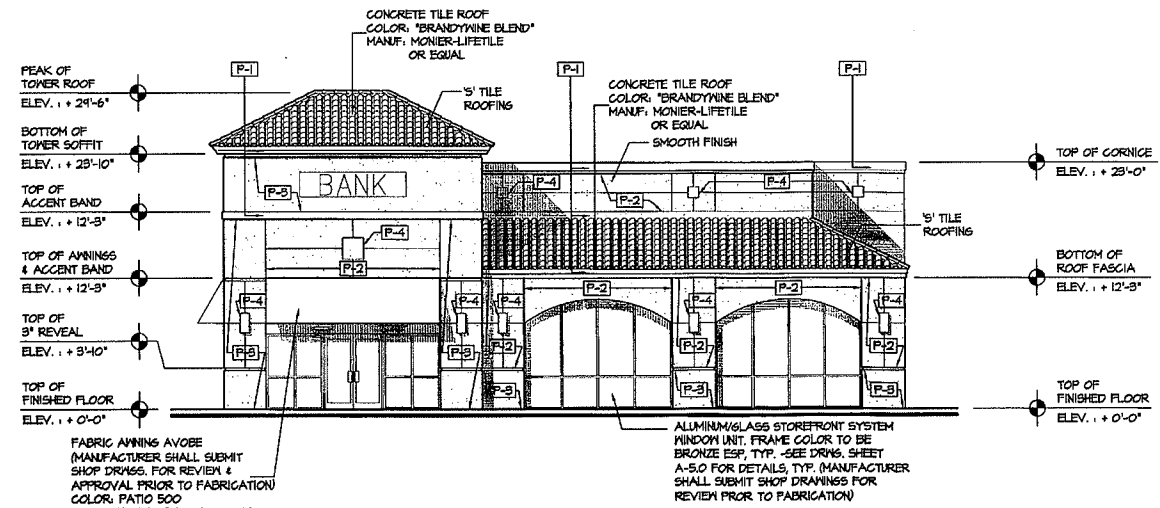
ELEVATION (WEST)

SCALE: 1/8" = 1'-0"



ELEVATION (SOUTH)

SCALE: 1/8" = 1'-0"



ELEVATION (NORTH)

SCALE: 1/8" = 1'-0"

**PVC CHANNEL REVEAL SPECIFICATIONS**  
(AESTHETIC STUCCO JOINTS)

WHERE CALLED FOR ON THE CONSTRUCTION DRAWINGS FOR 3/4" WIDE X 3/4" DEEP AESTHETIC STUCCO JOINTS SHALL BE FORMED WITH THE USE OF PVC CHANNEL REVEALS AND INTERSECTION ACCESSORIES AS LISTED HEREIN. THE INSTALLATION SHALL BE COMPLETE WITH CROSSES, T'S, 45° ANGLES, INSIDE CORNERS, AND OUTSIDE CORNERS, AS REQUIRED.

ALL THE FOLLOWING ITEMS ARE TO BE AS MANUFACTURED BY:

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MIAMI, FLORIDA 33178  
(305) 885-0561 - (800) 521-1077  
(305) 881-2452 FAX  
WWW.PLASTICCOMPONENTS.COM

ALL ITEMS ARE FOR A 3/4" REVEAL, 3/4" GROUND (ORDER WITH REMOVABLE CAPS)

CHANNEL REVEAL	# 70B - 75
CROSS	# PRC - 75 - 75
T	# PRT - 75 - 75
45° ANGLE	# PRA - 75 - 75
INSIDE CORNER	# PRIC - 75 - 75
OUTSIDE CORNER	# PROC - 75 - 75

PRIOR TO INSTALLING THE CHANNEL REVEAL COMPONENTS, THE STUCCO APPLICATOR SHALL REVIEW THE CONSTRUCTION DRAWINGS WITH A CKE GROUP REPRESENTATIVE TO ASSURE A COMPLETE UNDERSTANDING OF THE INTENDED DESIGN.

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**NOTE:**

CAULK ALL BUTT JOINTS, INTERSECTIONS AND ENDS AT TIME OF INSTALLATION PRIOR TO STUCCO APPLICATION.

**STORM SHUTTERS**

1. THE GENERAL CONTRACTOR SHALL PROVIDE A MIAMI-DADE COUNTY APPROVED GALVANIZED STEEL STORM SHUTTER SYSTEM FOR ALL GLAZED OPENINGS AS REQUIRED BY SECTION 2415 OF THE 2001 FLORIDA BUILDING CODE.

**STUCCO:**

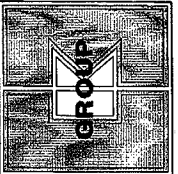
2. THE STUCCO APPLICATOR SHALL REVIEW THESE PLANS WITH A CKE GROUP REPRESENTATIVE PRIOR TO BEGINNING THE STUCCO WORK TO ASSURE A COMPLETE UNDERSTANDING OF THE INTENDED DESIGN.

**STOREFRONT:**

3. MANUFACTURER MUST SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OF ALL GLASS STOREFRONT SYSTEMS.

**EXTERIOR COLOR SCHEDULE**

P-1	<b>CORNICES &amp; TRIMS</b> COLOR: BENJAMIN MOORE "WHITE VANILLA" #2017-10
P-2	<b>PRIMARY WALLS (FIELD COLOR) &amp; TOWER PANEL</b> COLOR: BENJAMIN MOORE "MONTGOMERY WHITE" EXT. RM
P-3	<b>TOWER WALLS, BUILDING BASE &amp; REAR RM DOORS</b> COLOR: BENJAMIN MOORE "RICHMOND BISQUE" EXT. RM
P-4	<b>ACCENT COLORS</b> COLOR: TERRA GOTTA* COMPUTER MATCHED TO AWNING MATERIAL
AWNING	PATIO 500 BY JOHN BOYLE & CO. No. 582- "TERRA GOTTA"
STOREFRONT	BRONZE ESP



EB # 000-492  
EDUARDO GARGARIE  
CIVIL ENG. - PE 3194  
JACK RAJENDRUSK  
ARCHITECT - AT 2808

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning

FRAGA PROPERTIES  
AT DORAL  
MIAMI, FLORIDA

al  
7/5/06

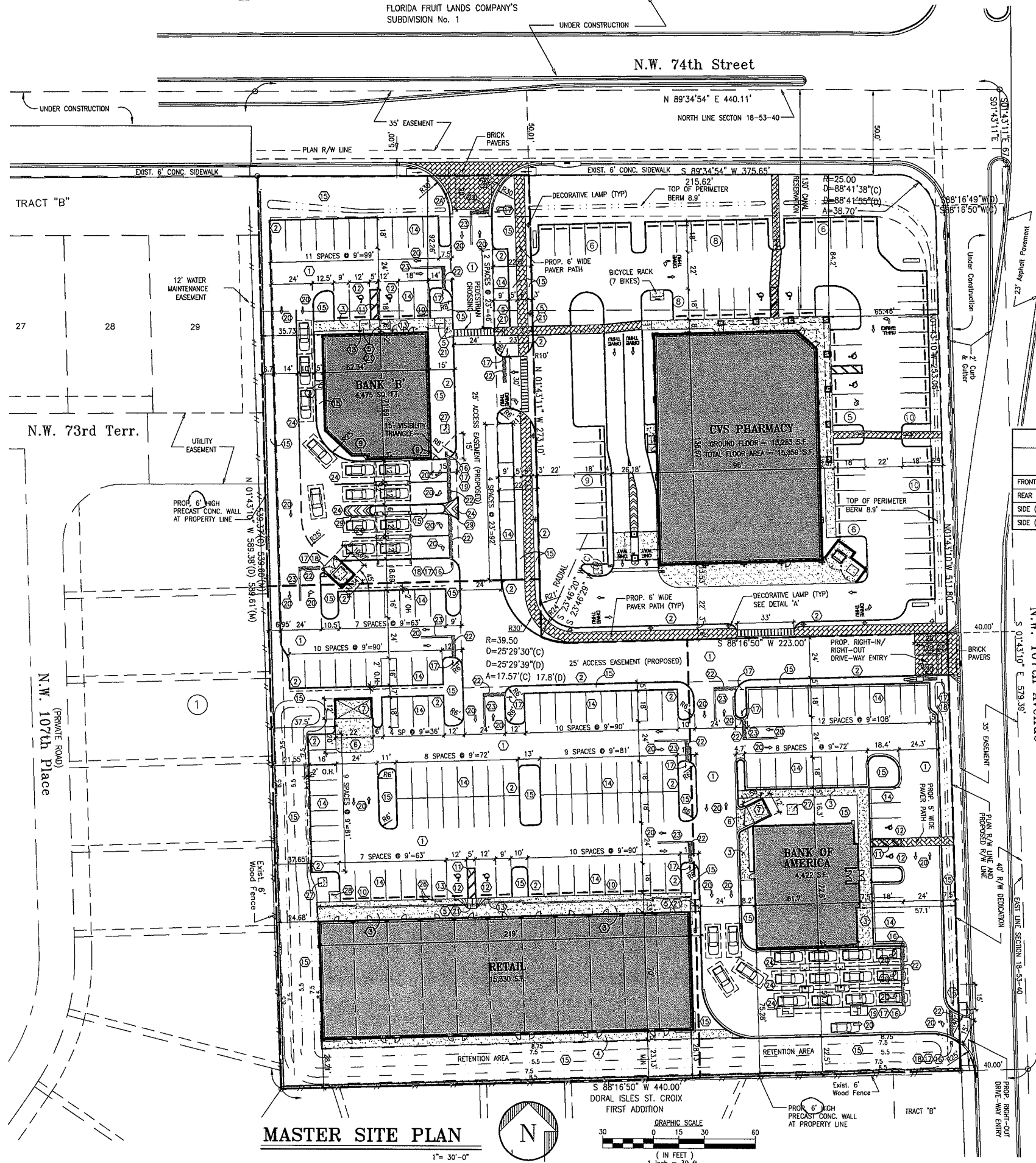
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date: 07-11-2006  
drawn by: A.R.

A-51

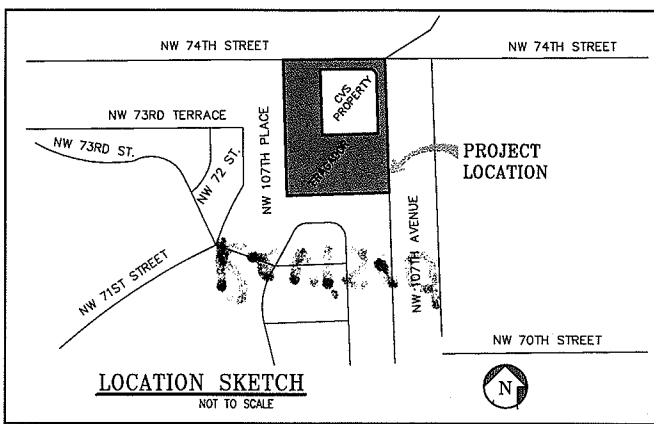
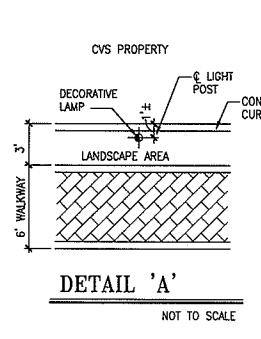
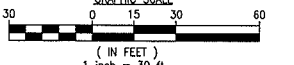
15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

FLORIDA FRUIT LANDS COMPANY'S  
SUBDIVISION No. 1



**MASTER SITE PLAN**

1" = 30'-0"



**LEGAL DESCRIPTION:**  
A portion of the Northeast 1/4 of Section 18, Township 53 South, Range 40 East, Miami-Dade County, Florida, being more particularly described as follows:  
Being at the Northeast corner of said Section 18, thence South 01 degrees 43 minutes 10 seconds East along the East line of said Section 18 for 579.39 feet to the Northeast corner of the plot of DORAL ISLES ST. CROIX FIRST ADDITION, according to the plat thereof as recorded in Plat Book 155, Page 16, of the Public Records of Miami-Dade County, Florida; thence South 88 degrees 16 minutes 50 seconds West along the North line of said DORAL ISLES ST. CROIX, according to the plat thereof as recorded in Plat Book 153, Page 3 of the Public Records of Miami-Dade County, Florida; thence North 01 degrees 43 minutes 10 seconds West along the East line of said DORAL ISLES ST. CROIX for 589.38 feet to the Northeast corner of said DORAL ISLES ST. CROIX, said point being on the North line of the said Northeast 1/4 of Section 18; thence North 89 degrees 34 minutes 54 seconds East along the said North line of the Northeast 1/4 of Section 18 for 440.11 feet to the POINT OF BEGINNING.  
LESS that portion being more particularly described as follows:  
Commence at the Northeast corner of said Section 18, thence South 01 degrees 43 minutes 11 seconds East for a distance of 67.54 feet; thence South 88 degrees 16 minutes 49 seconds West for a distance of 40.00 feet to the POINT OF BEGINNING of the following described parcel of land; thence South 01 degrees 43 minutes 11 seconds East for a distance of 253.06 feet; thence South 88 degrees 16 minutes 50 seconds West for a distance of 223.00 feet to a point of curvature; thence 17.58 feet along the arc of a curve to the right, said curve having a radius of 39.50 feet, and a central angle of 25 degrees 29 minutes 39 seconds, to a point of intersection with a non-tangent line, a radial line to that point bears South 23 degrees 45 minutes 29 seconds West, thence North 01 degrees 43 minutes 11 seconds West for a distance of 279.10 feet; thence North 89 degrees 34 minutes 54 seconds West for a distance of 215.62 feet to a point of curvature; thence 38.70 feet along the arc of a curve to the right, said curve having a radius of 25.00 feet, and a central angle of 88 degrees 41 minutes 55 seconds, to the POINT OF BEGINNING.

- NOTES**
1. ALL PAVEMENT MARKINGS ARE TO COMPLY WITH MIAMI-DADE COUNTY ENGINEERING STANDARDS/MUTCD.
  2. PAVEMENT MARKING MATERIAL = PAINT (UNLESS OTHERWISE NOTED)
  3. ALL SIGNS BY SEPARATE PERMIT.
  4. ALL RADI AND DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT.

**SETBACKS**

	REQUIRED	PROVIDED			
		BANK "B"	RETAIL	B.O.A.	CVS
FRONT (NW 74 ST)	20.0'	92.26'			84.20'
REAR (RESIDENTIAL)	20.0'		28.13'	75.28'	
SIDE (NW 107 AVE)	15.0'			57.10'	65.46'
SIDE (RESIDENTIAL)	15.0'	39.29'	24.68'		

- CONSTRUCTION NOTES:**
- 1 ASPHALT PAVEMENT AS PER DETAIL
  - 2 6" P.C.C. TYPE "D" CURB AS PER DETAIL
  - 3 2" P.C.C. TYPE "F" CURB & GUTTER AS PER DETAIL
  - 4 P.C.C. CURB EDGE SIDEWALK AS PER DETAIL
  - 5 CONCRETE SIDEWALK AS PER DETAIL
  - 6 P.C.C. HANDICAP RAMP - MAX SLOPE 1:12
  - 7 6" THICK P.C.C. PAD W/ 6"x6" -10/10 W.W.M. OVER CRUSHED AGGREGATE OR GRAVEL BASE. CONSTRUCTION JOINTS AT 10 FEET ON CENTER. (COLOR BLACK)
  - 8 TRASH ENCLOSURE AS PER DETAIL
  - 9 METAL HALIDE PARKING LIGHT AS PER SITE LIGHTING (CE-1)
  - 10 GUARD POST AS PER DETAIL
  - 11 6" LONG P.C.C. WHEEL STOP AS PER DETAIL
  - 12 4" WHITE STRIPES AT 60" (PER FDOT INDEX No.17346)
  - 13 HANDICAP PARKING AS PER DETAIL
  - 14 HANDICAP SIGN 7'-0" A.F.P.
  - 15 2-4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
  - 16 LANDSCAPE AREA
  - 17 STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)
  - 18 STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN, R1-1 (30"x30")
  - 19 STANDARD F.D.O.T. "RIGHT TURN ONLY" SIGN (R3-SR)
  - 20 STANDARD F.D.O.T. "LEFT TURN ONLY" SIGN (R3-SL)
  - 21 TRAFFIC ARROWS PAINTED WHITE
  - 22 DETECTABLE WARNING SURFACE PER FLORIDA ACCESSIBILITY CODE
  - 23 24" WHITE STOP BAR (THERMOPLASTIC)
  - 24 2-4" YELLOW STRIPES (THERMOPLASTIC)
  - 25 6" WHITE STRIPE (THERMOPLASTIC)
  - 26 BUILDING SIGN
  - 27 BABY STROLLER PARKING SIGN
  - 28 TRANSFORMER PAD
  - 29 BICYCLE RACK BR-5 BY HUNICO OR APPROVED EQUAL FINISH: POWDER COATED RED AS PER DETAIL
  - 30 18" WHITE CHEVRON

**ZONING: BU-1A**  
**(LIMITED BUSINESS DISTRICT)**  
**LAND USE: BUSINESS AND OFFICE**  
**SITE ANALYSIS**

	SHOPPING CENTER SITE OWNER: FRAGADOR LLC 1320 S DIXIE HWY, #214, CORAL GABLES, FL	CVS PHARMACY SITE OWNER: 74th MIAMI CVS LLC ONE CVS DRIVE, WOONSOCKET, RI	OVERALL SITE
GROSS LAND AREA:	257,365.23 SQ. FT. 5.908± ACRES		
NET LAND AREA:	214,044.41 SQ. FT. 4.914± ACRES		
NET LAND AREA:	148,386.92 SQ. FT. 3.406± ACRES	65,657.49 SQ. FT. 1.507± ACRES	214,044.41 SQ. FT. 4.914± ACRES
BUILDING COVERAGE:	24,227.00 SQ. FT. (16.33 %)	13,283.00 SQ. FT. (20.23 %)	37,510.00 SQ. FT. (17.52 %)
BANK "B"	4,475.00 SQ. FT. (3.02 %)		
BANK OF AMERICA	4,422.00 SQ. FT. (2.98 %)		
RETAIL	15,330.00 SQ. FT. (10.33 %)		
LANDSCAPED AREA:	32,045.95 SQ. FT. (21.60 %)	13,058.68 SQ. FT. (19.89 %)	45,104.63 SQ. FT. (21.07 %)
PAVED AREA & WALKS:	92,113.97 SQ. FT. (62.07 %)	39,315.81 SQ. FT. (59.88 %)	131,429.78 SQ. FT. (61.41 %)
PERVIOUS AREA:	32,045.95 SQ. FT. (21.60 %)	13,058.68 SQ. FT. (19.89 %)	45,104.63 SQ. FT. (21.07 %)
IMPERVIOUS AREA:	116,340.97 SQ. FT. (78.40 %)	52,598.81 SQ. FT. (80.11 %)	168,939.78 SQ. FT. (78.93 %)

**PARKING ANALYSIS**

	97 SPACES	62 SPACES	159 SPACES
TOTAL PARKING SPACES REQUIRED: (1/250 S.F. BLDG. GROSS AREA)			
HANDICAP SPACES REQUIRED:	4 SPACES	3 SPACES	7 SPACES
HANDICAP SPACES PROVIDED:	6 SPACES	4 SPACES	10 SPACES
TOTAL PARKING SPACES PROVIDED: (INCLUDING HANDICAP)	144 SPACES	68 SPACES	212 SPACES

**CKE GROUP INCORPORATED**  
engineering • architecture • planning

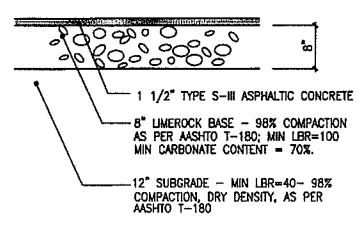
FRAGA PROPERTIES AT DORAL  
10710-30 NW 74th STREET  
DORAL, FLORIDA

2/23/07  
CKE GROUP, INC.  
FLORIDA  
SUITE 106 • MIAMI LAKES, FLORIDA 33014

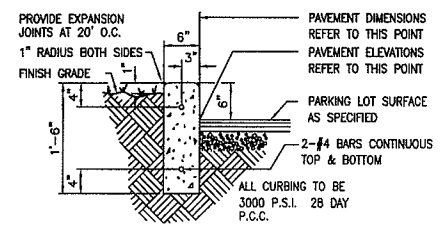
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drawn by: N.G.  
revisions

15500 NEW BARN ROAD

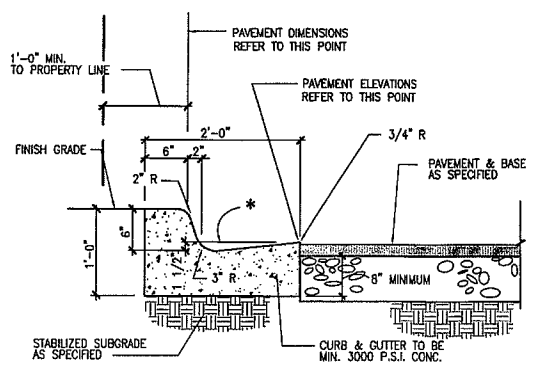
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**1 PAVEMENT DETAIL**  
NOT TO SCALE

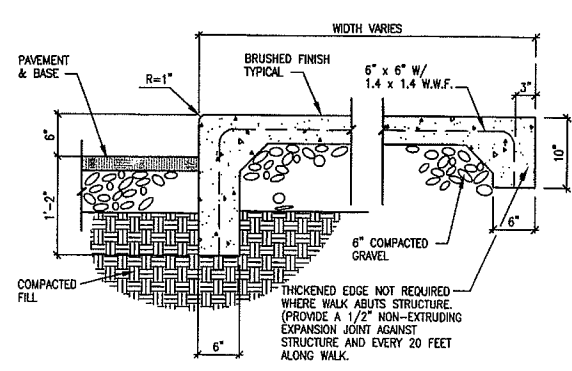


**2 6" CONCRETE CURB (TYPE "D")**  
NOT TO SCALE

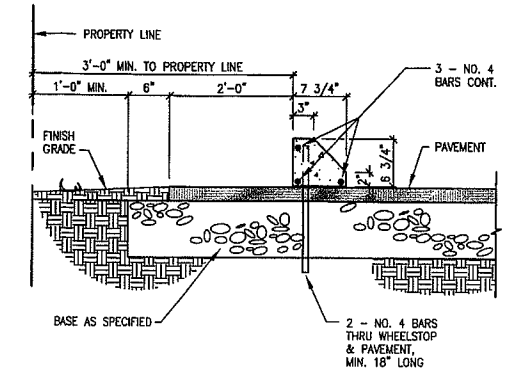


**2A 2' CONCRETE CURB & GUTTER (TYPE "F")**  
SCALE: 1" = 1'-0"

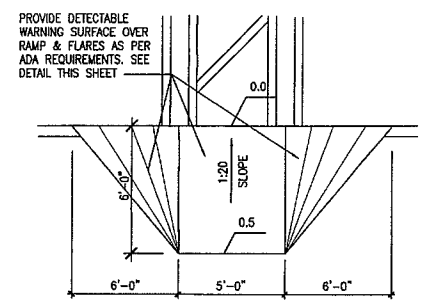
**\* NOTE:**  
WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS



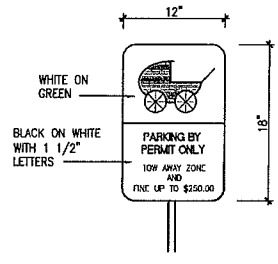
**3 BRUSHED CONCRETE WALK**  
NOT TO SCALE



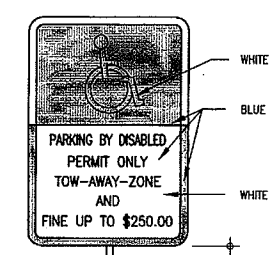
**10 PRECAST CONCRETE WHEELSTOP**  
NOT TO SCALE



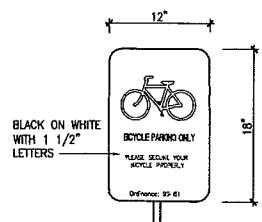
**5 HANDICAP RAMP DETAILS**  
NOT TO SCALE



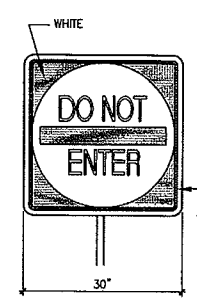
**19 BABY STROLLER PARKING SIGN**  
NOT TO SCALE



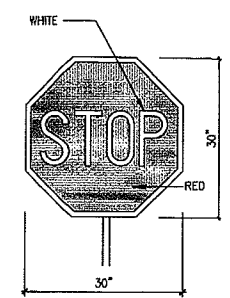
**13 HANDICAP PARKING SIGN**  
NOT TO SCALE



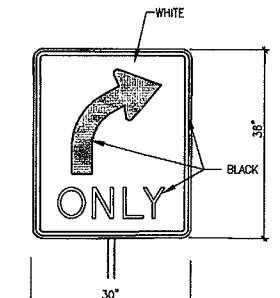
**BICYCLE PARKING SIGN**  
NOT TO SCALE



R5-1

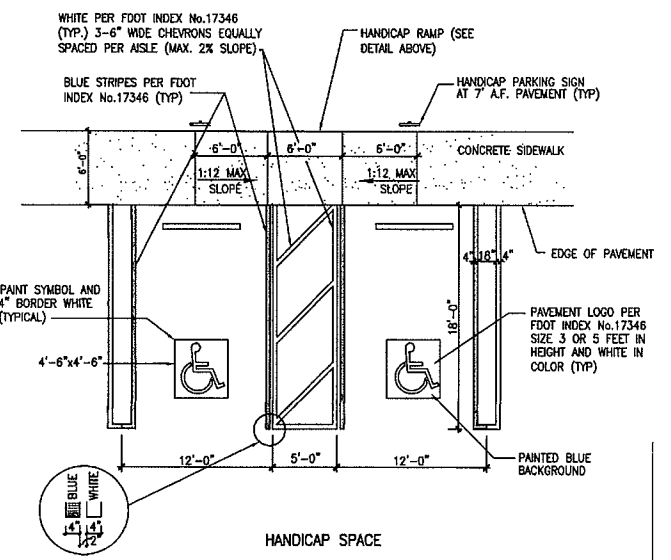
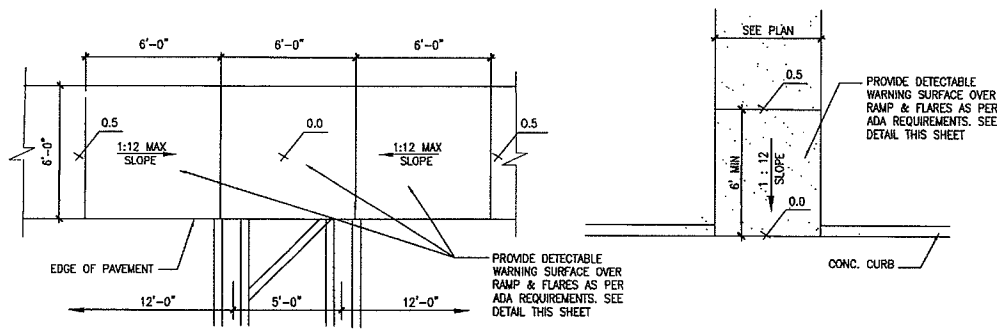


R1-1

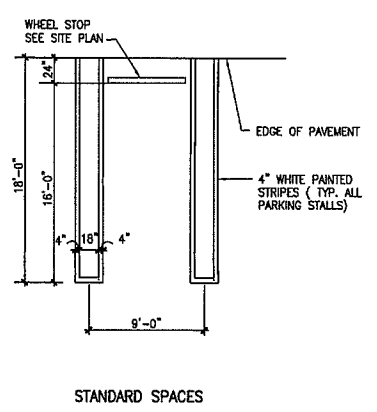


R3-5R

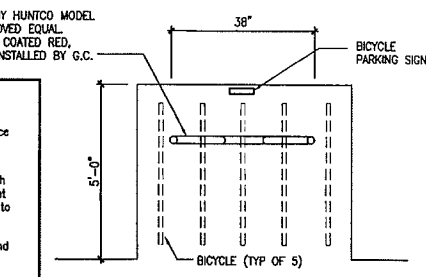
**16 17 18 STANDARD F.D.O.T. SIGNAGE DETAILS**  
NOT TO SCALE



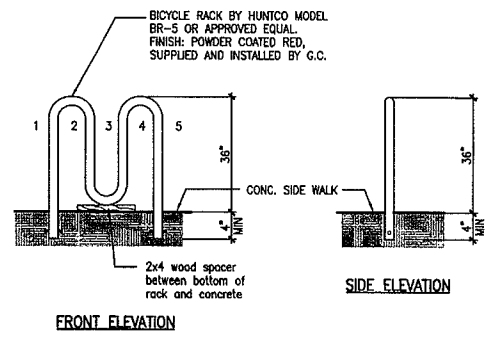
**HANDICAP AND STANDARD PARKING DETAILS**  
NOT TO SCALE



STANDARD SPACES



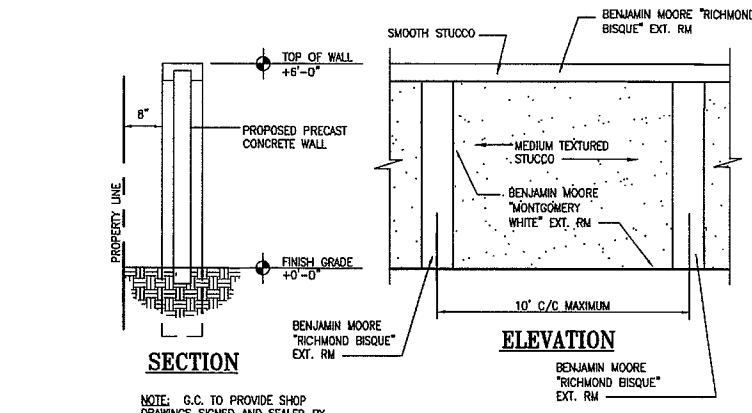
PLAN VIEW



FRONT ELEVATION

SIDE ELEVATION

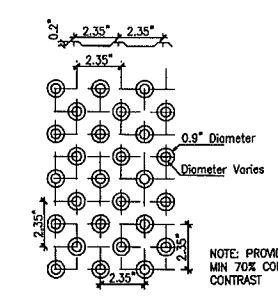
**28 BIKE RACK DETAIL**  
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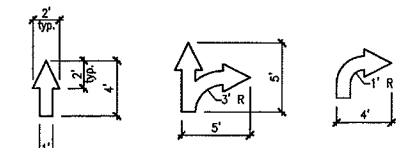
SECTION

ELEVATION

**PRECAST WALL DETAIL**  
NOT TO SCALE



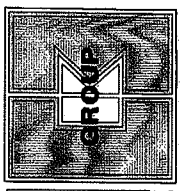
**DETECTABLE WARNING SURFACE DETAIL**  
NOT TO SCALE



**18 PAINTED ARROWS**  
NOT TO SCALE

**GENERAL NOTES**

- ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
- DESIGNS ARE PER 146 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).



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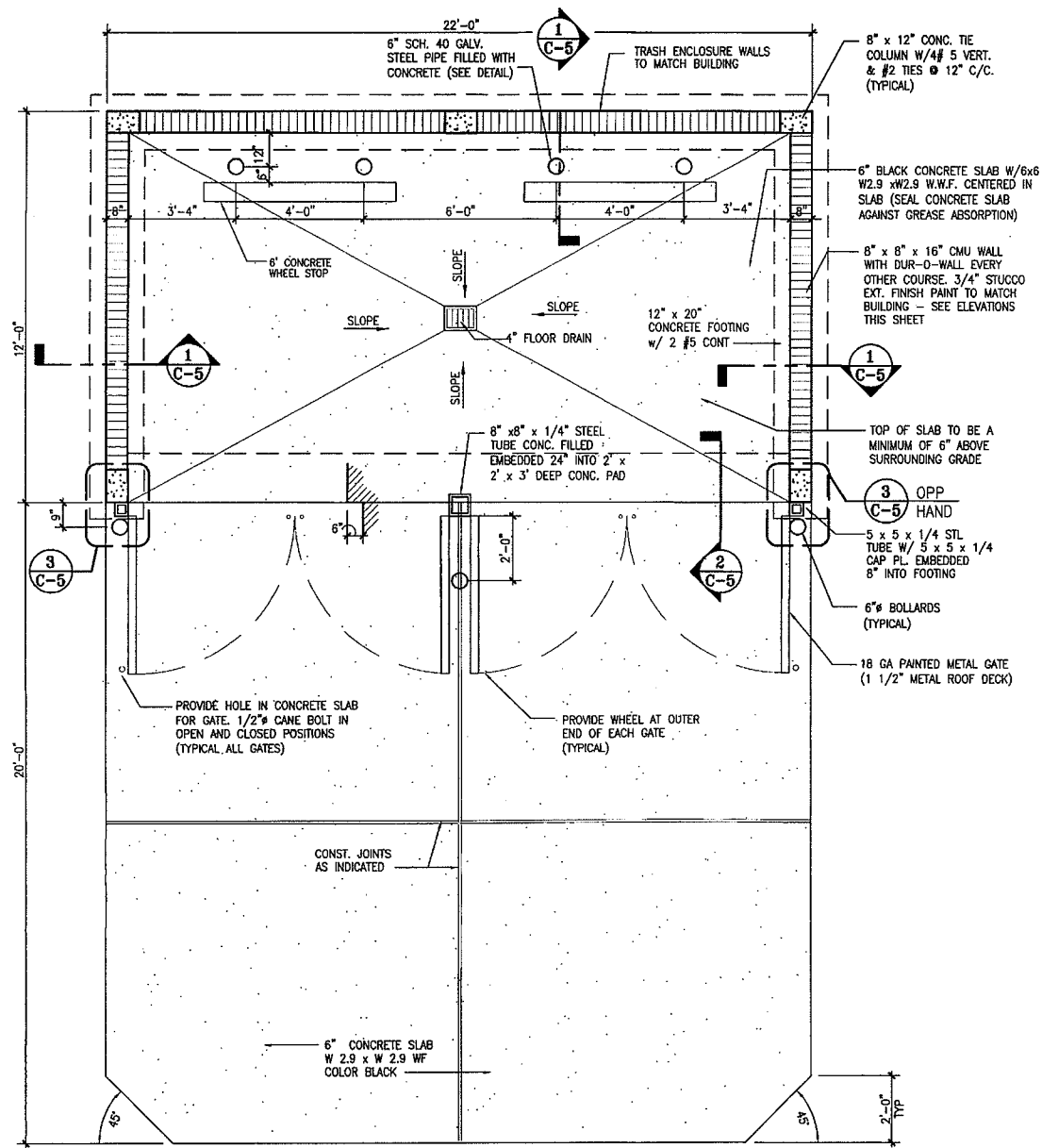
FRAGA PROPERTIES AT DORAL  
N.W. 74th ST. & N.W. 107th AVE.,  
MIAMI-DADE COUNTY, FLORIDA

Project no: 958  
scale: AS SHOWN  
date: 9-03-04  
drawn by: N.C.

15500 NEW BARN ROAD  
SUITE 106 • MIAMI LAKES, FLORIDA 33014

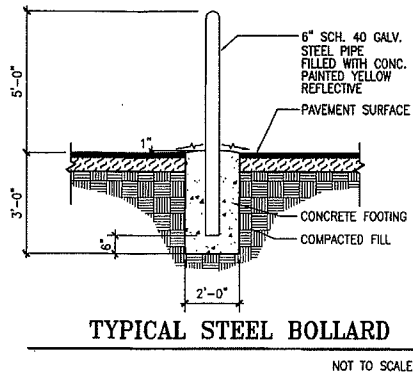
revisions  
7/31/06  
seal  
C-4





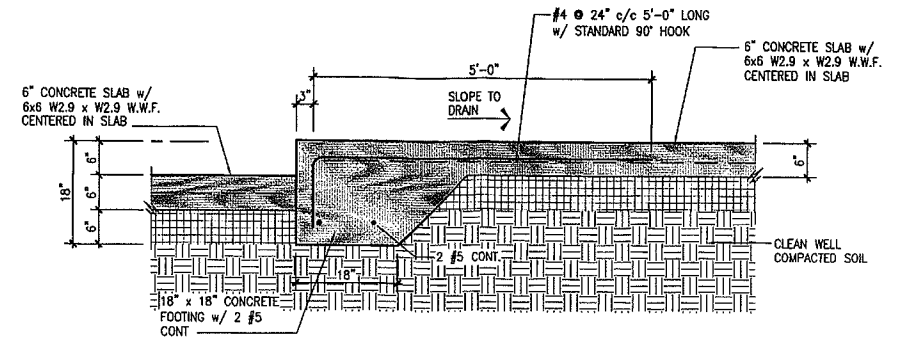
**TRASH & RECYCLING ENCLOSURE PLAN**

3/8" = 1'-0"



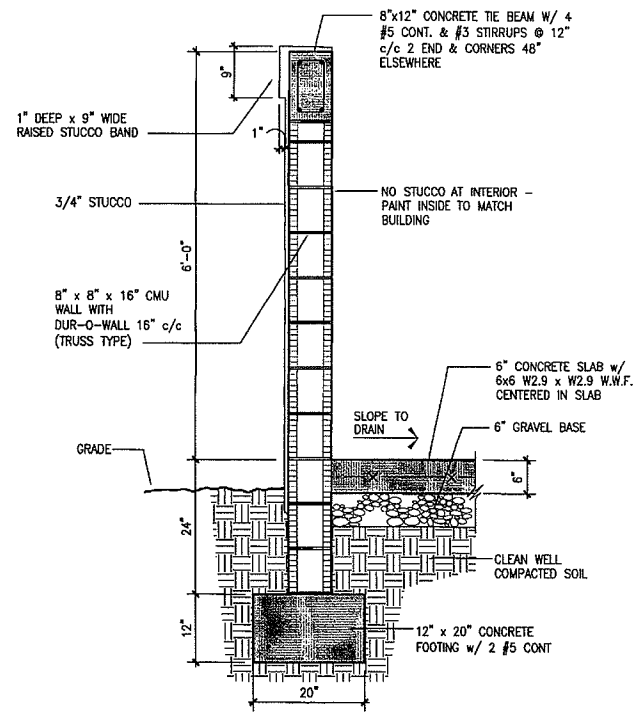
**TYPICAL STEEL BOLLARD**

NOT TO SCALE



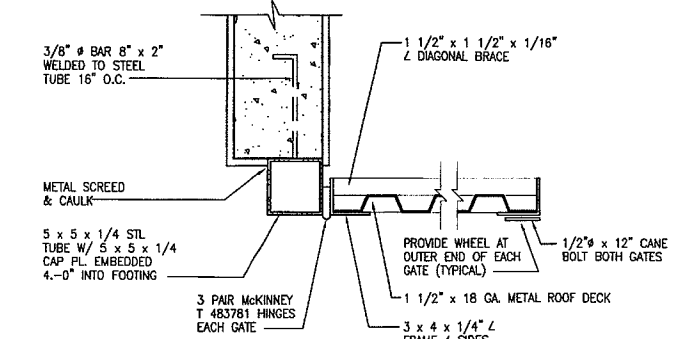
**SECTION AT SLAB FOOTING**

3/4" = 1'-0"



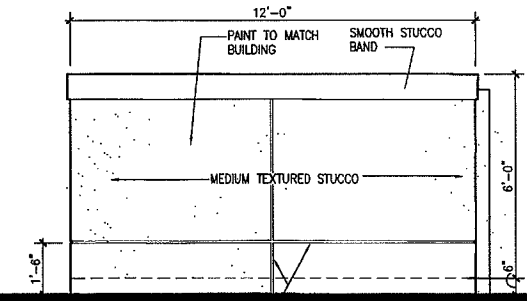
**SECTION THRU TYPICAL WALL**

3/4" = 1'-0"



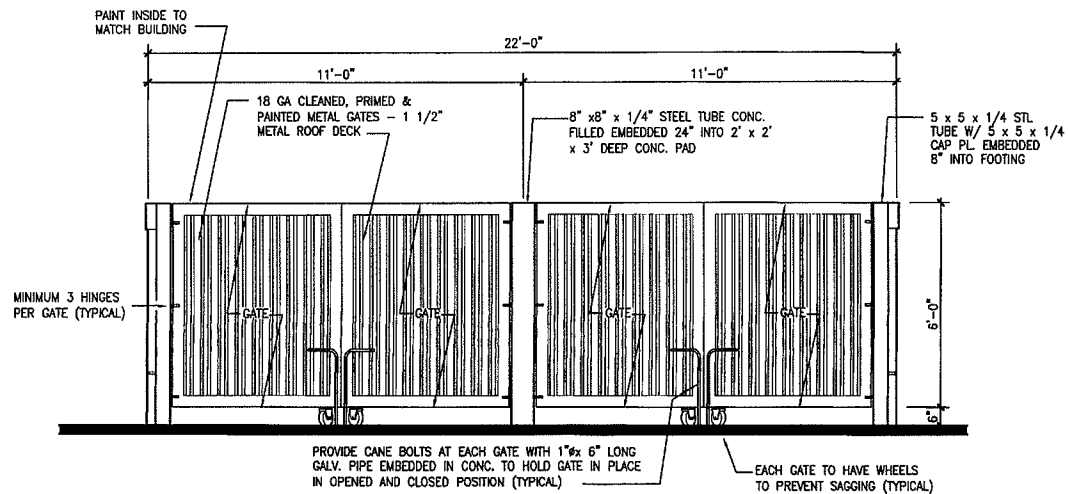
**JAMB DETAIL**

1 1/2" = 1'-0"



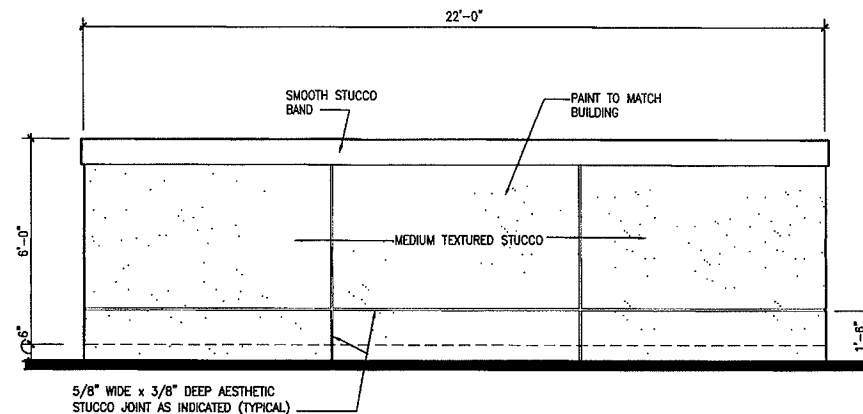
**LEFT SIDE ELEVATION**

3/8" = 1'-0"



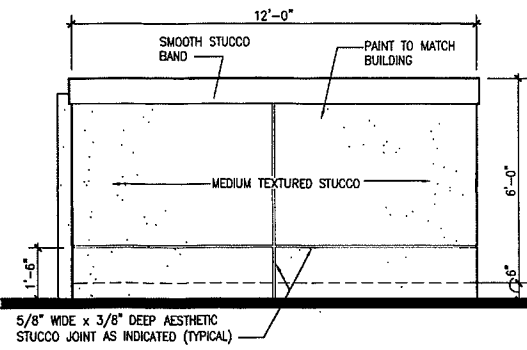
**FRONT ELEVATION**

3/8" = 1'-0"



**REAR ELEVATION**

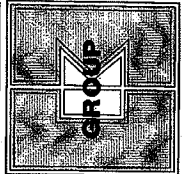
3/8" = 1'-0"



**RIGHT SIDE ELEVATION**

3/8" = 1'-0"

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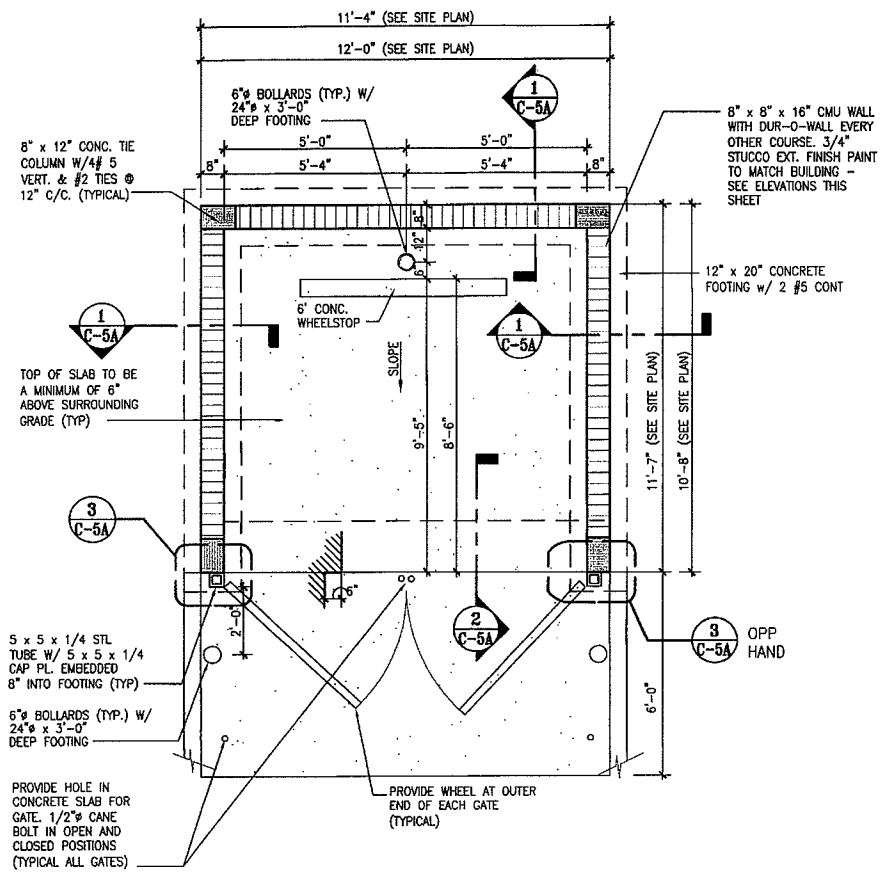
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FRAGA PROPERTIES AT DORAL  
N.W. 74th ST. & N.W. 107th AVE.  
MIAMI-DADE COUNTY, FLORIDA

project no: 958  
scale: AS SHOWN  
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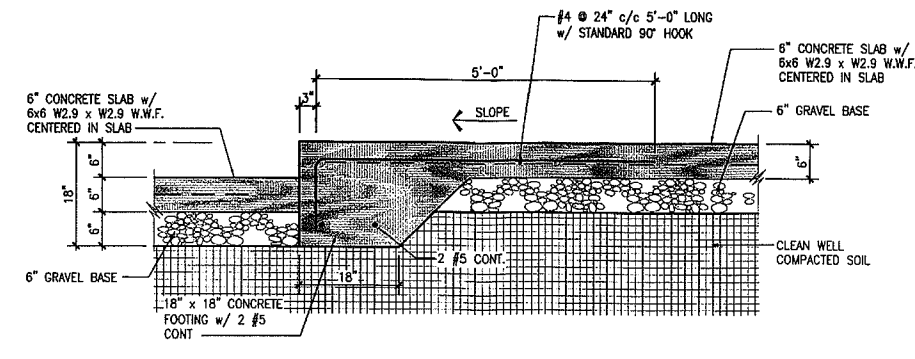
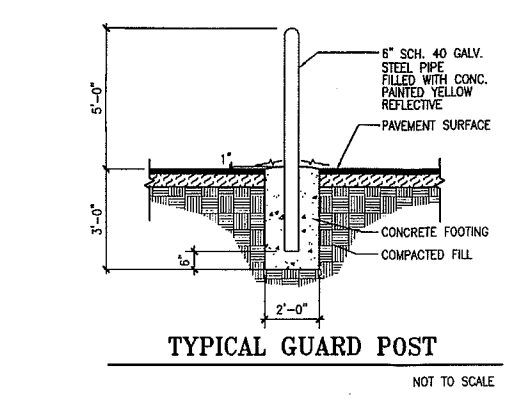
15500 NEW BARN ROAD  
SUITE 106 • MIAMI LAKES, FLORIDA 33014  
revisions

C-5



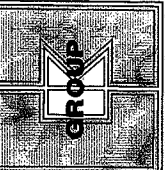
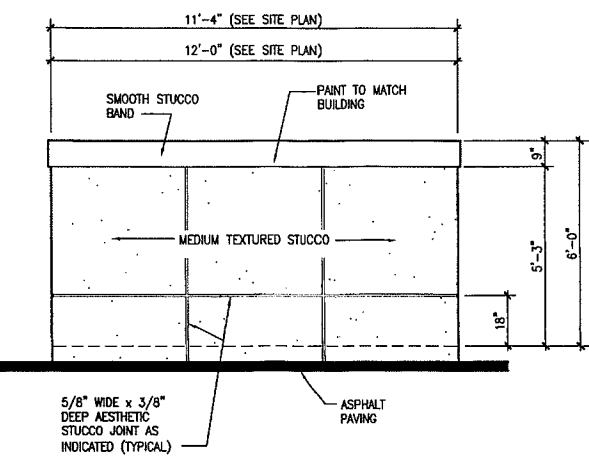
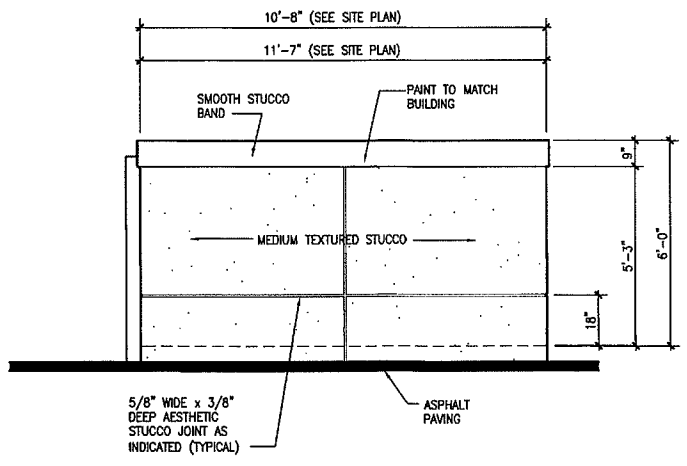
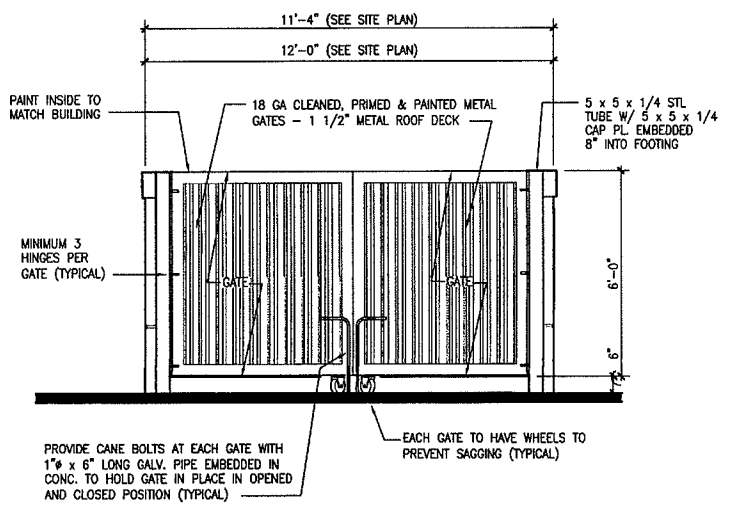
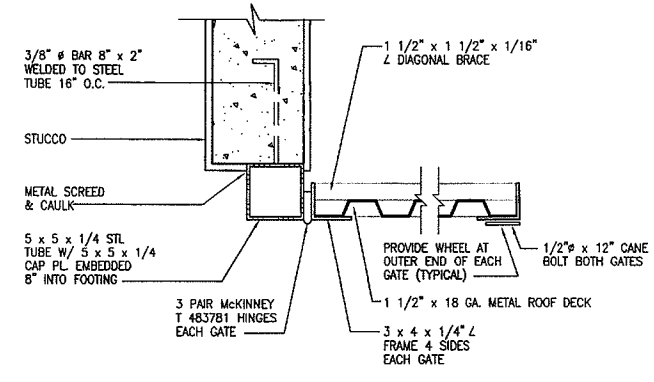
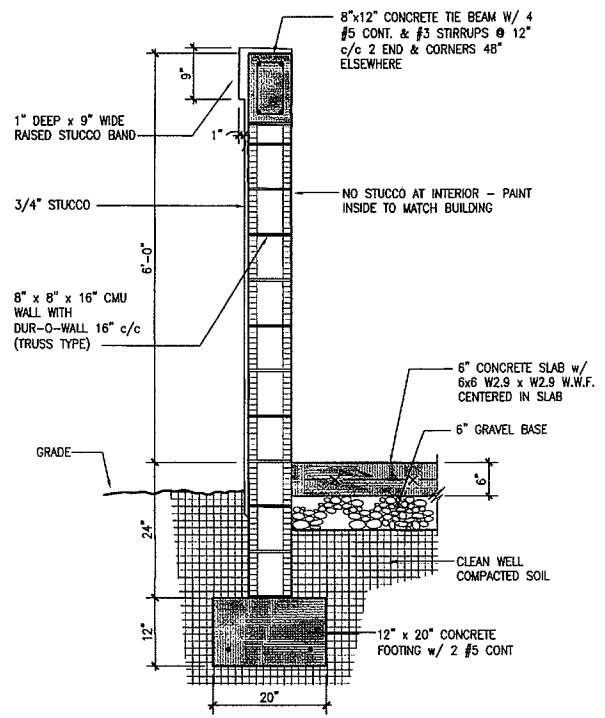
6 7 TRASH ENCLOSURE PLAN

3/8" = 1'-0"



2 SECTION AT SLAB FOOTING

3/4" = 1'-0"



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FRAGA PROPERTIES AT DORAL  
 N.W. 74th ST. & N.W. 107th AVE.  
 MIAMI-DADE COUNTY, FLORIDA

17/1/06 seal

revisions

Project no: 958  
 Scale: AS SHOWN  
 Date: 9-03-04  
 Drawn by: N.G.

C-5A

R: 1/Fraga DORAL CIVIL FINAL DESIGN-C-5A.dwg Fr, Jul 28 12:41:27 2005 n.g.

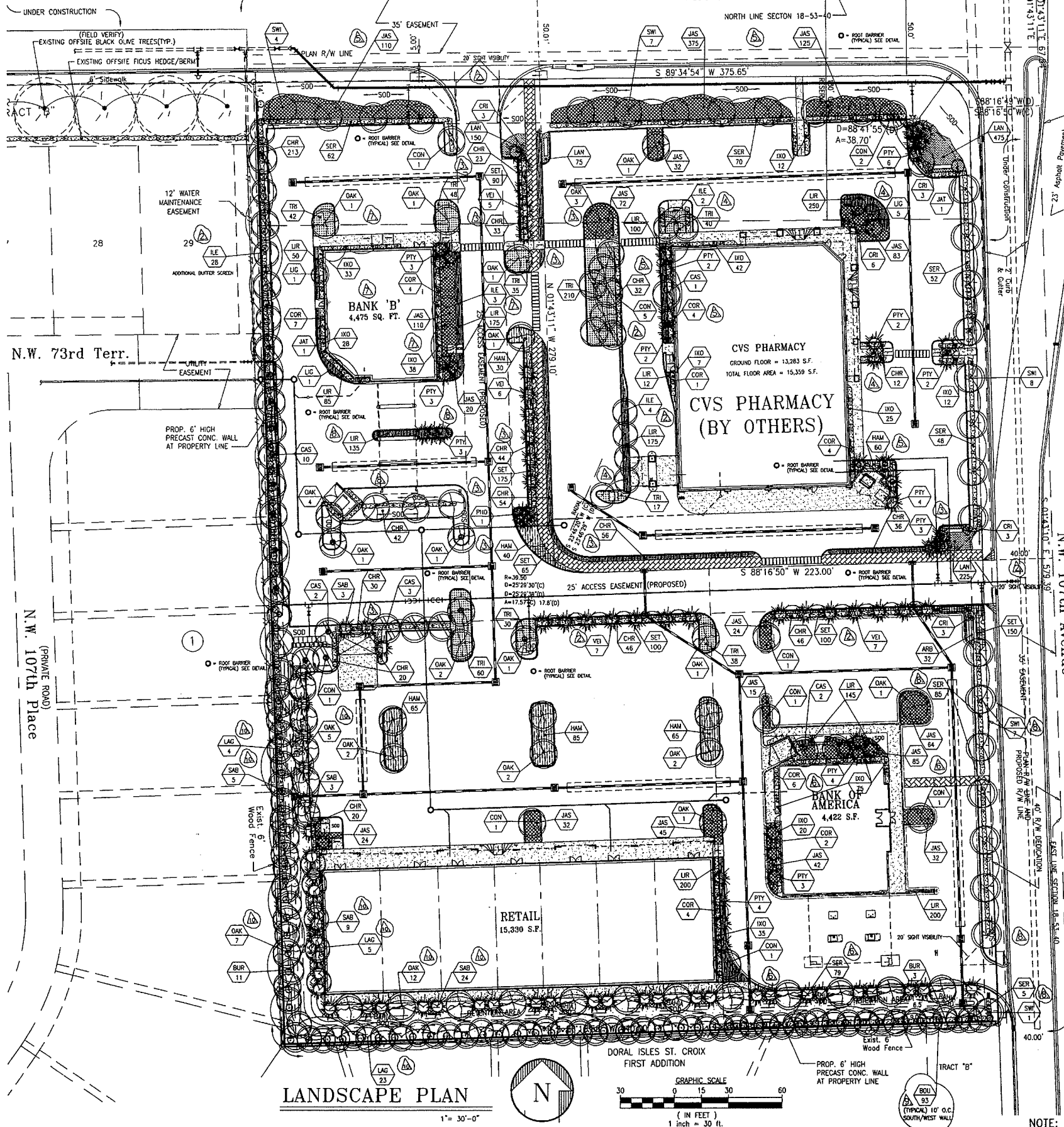
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"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)

N.W. 74th Street

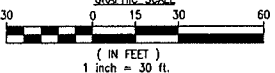
N 89°34'54" E 440.11'

NORTH LINE SECTION 18-53-0



LANDSCAPE PLAN

1" = 30'-0"



LANDSCAPE LEGEND (CVS) BY OTHERS

NATIVE	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
NO	PTY	21	PHYTOSPERMA ELEGANS/ALEXANDER PALM	14'-16X7'-8"	45 GAL. MIN.
YES	QAK	3	QUERCUS VIRGINIANA / LIVE OAK	10'-12X5'-6"	F.G. 2 1/2" CAL. MIN. 5' C.T.
YES	CON	7	CONOCARPUS SERICEUS / SILVER BUTTWOOD	10'-12X5'-6"	F.G. 2 1/2" CAL. STANDARD
YES	ILE	7	ILEX ALTERNATA / EAST PALMATA	10'-12X5'-6"	65 GAL. MIN. 5' C.T.
NO	SWE	5	SWEETGUM MAHOAGANY / MAHOAGANY	12'-14X5'-6"	F.G. 6" C.T. MIN.
NO	JAT	1	JATHROPHA INTEGERRIMA / PERECORNA	5'-6" X 4'-5"	F.G. STANDARD
NO	CAS	1	SENNA SURATENSIS / GLAUCOUS CASSIA	10'-12X5'-6"	F.G. 2 1/2" CAL. MIN. 5' C.T.
NO	COR	9	CORDELINE TERMINALIS / RED SISTER	3'-4" HTS FULL	7 GALLON AS SHOWN
YES	TRF	267	TRIPSCALUM FLORIDANUM / DWARF FANAWATCHEE	24'X18" 3 GAL.	30" O.C.
YES	CHR	136	CHRYSOBALANUS ICAGO / RED TIP COCO PLUM	24'X18" 3 GAL.	24" O.C.
YES	HAM	60	HAMELIA NODOSA / DWARF FIREBUSH	24'X18" 3 GAL.	24" O.C.
NO	IXO	58	IPORA NORA GRANT / PINK IPORA	24'X18" 3 GAL.	24" O.C.
NO	JAS	687	JASMINUM VOLUBILE / WAX JASMINE	24'X18" 3 GAL.	24" O.C.
NO	CRJ	12	CRINUM ASIATICUM / TREE CRINUM	30" C.A. HGT.	10 GAL. MIN.
YES	SER	185	CONOCARPUS SERICEUS / SILVER BUTTWOOD	24'X18" 3 GAL.	24" O.C.
NO	LIR	537	LIRIOPE MUSCARI / EVERGREEN GIANT	6" 1 GAL. FULL	12" O.C.
NO	LAH	775	LANTANA CAMARA / GOLD MOUND	5" 1 GAL. FULL	12" O.C.

LANDSCAPE LEGEND (OTHER RETAIL)

CHAPTER 18A - ORDINANCE 98-13

ZONE DISTRICT	REQUIRED	PROVIDED
LANDSCAPE OPEN SPACE (IF APPLICABLE)	18.3	213
GREENED WIDTH (IF APPLICABLE)	20.3	28.3 (1844.500)
LANE AREA (AS DEFINED IN ORDINANCE)	20.3	28.3
TREES PER NET LOT (NOTE: SIZE OF REQUIRED TREES AND/OR PALMS SHALL BE AS SPECIFIED IN THE PLAN)	1.2	1.1
TREES IN THE BIRTH-OF-ROAD (OR ON PRIVATE PROPERTY WILL REQUIRE PUBLIC WORKS APPROVAL OR SPECIAL TENDING DISTRICT)	1.2	1.2
STREET TREES	1.2	1.2
TOTAL NUMBER OF TREES	82	206
SHRUBS	1.2	2.13
1/2" SHRUBS FOR EACH TREE REQUIRED	1.2	2.13
GROUND COVER (N.C.)	1.2	2.13
PROVIDED PALMS 21 RATIO = 26 (TREES)	1.2	2.13
ADDITIONAL PALMS 21 RATIO = 18 (TREES)	1.2	2.13

LANDSCAPE LEGEND (CVS)

CHAPTER 18A - ORDINANCE 98-13

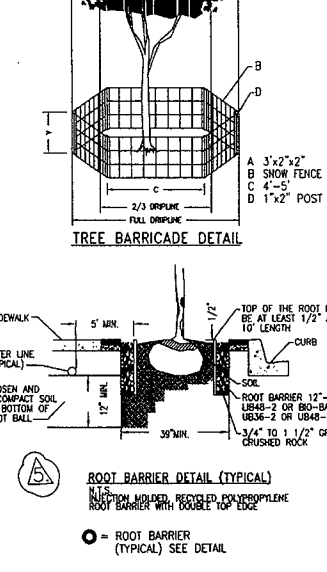
ZONE DISTRICT	REQUIRED	PROVIDED
LANDSCAPE OPEN SPACE (IF APPLICABLE)	18.3	213
GREENED WIDTH (IF APPLICABLE)	20.3	28.3
LANE AREA (AS DEFINED IN ORDINANCE)	20.3	28.3
TREES PER NET LOT (NOTE: SIZE OF REQUIRED TREES AND/OR PALMS SHALL BE AS SPECIFIED IN THE PLAN)	1.2	1.1
TREES IN THE BIRTH-OF-ROAD (OR ON PRIVATE PROPERTY WILL REQUIRE PUBLIC WORKS APPROVAL OR SPECIAL TENDING DISTRICT)	1.2	1.2
STREET TREES	1.2	1.2
TOTAL NUMBER OF TREES	82	18
SHRUBS	1.2	1.13
1/2" SHRUBS FOR EACH TREE REQUIRED	1.2	1.13
GROUND COVER (N.C.)	1.2	1.13
PROVIDED PALMS 21 RATIO = 21 (TREES)	1.2	1.13
ADDITIONAL PALMS 21 RATIO = 11 (TREES)	1.2	1.13

NOTES

- SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
- LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM GUARANTYING 100% COVERAGE & MAINTAIN A 50% OVERLAP TO ALL LANDSCAPED AREAS. SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED.
- AN ON SITE REPRESENTATIVE SHALL BE DESIGNATED, WHO WILL BE RESPONSIBLE FOR THE INSTALLATION & MAINTENANCE OF ALL VEGETATION PROTECTION BARRIERS. A BE RESPONSIBLE FOR SUPERVISING THE REMOVAL OF ALL EXISTING VEGETATION PERMITTED TO BE REMOVED. REPRESENTATIVE SHALL BE ON SITE DURING ALL CLEARING OPERATIONS.
- TREES WHICH ARE TO BE PRESERVED ON SITE ARE TO BE PROTECTED FROM CONSTRUCTION DAMAGE BY BARREERING OFF THE LINE OF TREES. THIS MUST BE DONE AFTER ISSUANCE OF TREE REMOVAL PERMIT & PRIOR TO ANY CONSTRUCTION ACTIVITY & IS TO BE INSPECTED BY CITY PRIOR TO ANY LAND CLEARING.
- LIMITED DIGGING AND/OR PLANTING SHALL OCCUR WITHIN THE DRP LINE OF THE TREES WHICH ARE TO REMAIN ON SITE.
- 3" x 4" OF MATCH IS RECOMMENDED FOR ALL PLANTING.
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN FLORIDA DEPT. OF AGRICULTURE GRASS AND SHADOWNUTS, CURRENT EDITION RESPECTIVELY.

LANDSCAPE LEGEND (OTHER RETAIL)

NATIVE	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
NO	PHO	1	PHOENIX RECLINATA / SEAGRAM DATE PALM	18'-20' X 12'(6" T.)	F.G. "SPECIMEN" 10 STEM MIN. FULL
YES	BUR	14	BURSERIA SUMARANA / GUMBO LIMBO	10'-12X5'-6"	F.G. 2 1/2" CAL. MIN. 5' C.T.
NO	PTY	20	PHYTOSPERMA ELEGANS/ALEXANDER PALM	14'-16X7'-8"	F.G.
NO	VEI	25	VEITCHIA MONTGOMERIANA/MONTGOMERY PALM	18'-20X7'-8"	F.G. "WATCHED" - FLORIDA FANCY
YES	QAK	46	QUERCUS VIRGINIANA / LIVE OAK	10'-12X5'-6"	F.G. 2 1/2" CAL. MIN. 5' C.T.
YES	SAB	44	SABAL TRUNKED / COBBLE PALM	14'-18" 18" C.T.	F.G. "COBBLE TRUNK" MIN. C.T.
YES	CON	7	CONOCARPUS SERICEUS / SILVER BUTTWOOD	10'-12X5'-6"	F.G. 2 1/2" CAL. STANDARD
YES	ILE	31	ILEX ALTERNATA / EAST PALMATA	10'-12X5'-6"	65 GAL. MIN. 5' C.T.
NO	LIC	2	LIGUSTRUM JAPONICUM / WAX PRIVET	8'X5'	F.G. MULTI-STEM FULL
YES	SWE	12	SWEETGUM MAHOAGANY / MAHOAGANY	12'-14X5'-6"	F.G. 6" C.T. MIN.
NO	LAC	32	LAGERSTROEMIA INDICA / CRAPE MYRTLE (USA)	10'-12X5'-6"	F.G. MULTI-STEM FULL
NO	JAT	1	JATHROPHA INTEGERRIMA / PERECORNA	5'-6" X 4'-5"	F.G. STANDARD
NO	CAS	17	SENNA SURATENSIS / GLAUCOUS CASSIA	10'-12X5'-6"	F.G. 2 1/2" CAL. MIN. 5' C.T.
NO	COR	23	CORDELINE TERMINALIS / RED SISTER	3'-4" HTS FULL	7 GALLON AS SHOWN
YES	TRF	293	TRIPSCALUM FLORIDANUM / DWARF FANAWATCHEE	24'X18" 3 GAL.	30" O.C.
YES	CHR	571	CHRYSOBALANUS ICAGO / RED TIP COCO PLUM	24'X18" 3 GAL.	24" O.C.
YES	HAM	285	HAMELIA NODOSA / DWARF FIREBUSH	24'X18" 3 GAL.	24" O.C.
NO	IXO	229	IPORA NORA GRANT / PINK IPORA	24'X18" 3 GAL.	24" O.C.
NO	JAS	603	JASMINUM VOLUBILE / WAX JASMINE	24'X18" 3 GAL.	24" O.C.
NO	CRJ	6	CRINUM ASIATICUM / TREE CRINUM	30" C.A. HGT.	10 GAL. MIN.
NO	ARB	32	SCHEFFLERA ARBORESCENS / TRINETTE	24'X18" 3 GAL.	24" O.C.
YES	SER	216	CONOCARPUS SERICEUS / SILVER BUTTWOOD	24'X18" 3 GAL.	24" O.C.
NO	SET	680	SETREASEA PALLIDA / PURPLE HEART	6" 1 GAL. FULL	12" O.C.
NO	LIR	990	LIRIOPE MUSCARI / EVERGREEN GIANT	6" 1 GAL. FULL	12" O.C.
NO	LAH	150	LANTANA CAMARA / GOLD MOUND	6" 1 GAL. FULL	12" O.C.
NO	BOU	93	BOUGAINVILLEA/PURPLE/RED BOUGAINVILLEA VINE	36" MIN. H.T. 3 GAL.	10" O.C. "TRELLIS"



TREE BARRICADE NOTES:

- ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 4 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBERGLASS-REINFORCED POLYESTER CONCRETE OR WITH CONCRETE. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
- ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A-300-1995," CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, OPERATIONS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- TRANSPLANT TREES WITH 60" TREE SPACE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
- SEE THE TREE NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING AT 1" +/- GRADE LEVEL.
- PROVIDE DISH TO RETAIN WATER, ELIMINATE AIR POCKETS WITH THE USE OF WATER HOSE, HOLE SHOULD BE FILLED WITH A MIXTURE OF GOOD TOP SOIL (SEE SPECIFICATION SHEET).

CALL 48 HOURS BEFORE YOU DIG  
It's the Law  
1-800-432-4  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

**CKE GROUP** INCORPORATED  
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FRAGA PROPERTIES AT DORAL  
N.W. 74th St. & N.W. 107th Ave.  
MIAMI-DADE COUNTY, FLORIDA

15500 NEW BARN ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
(305) 558-412

project no: 958  
scale: AS SHOWN  
date: 9-03-04  
drawn by: N.G. BARTLETT  
checked by: R.C. ROCK

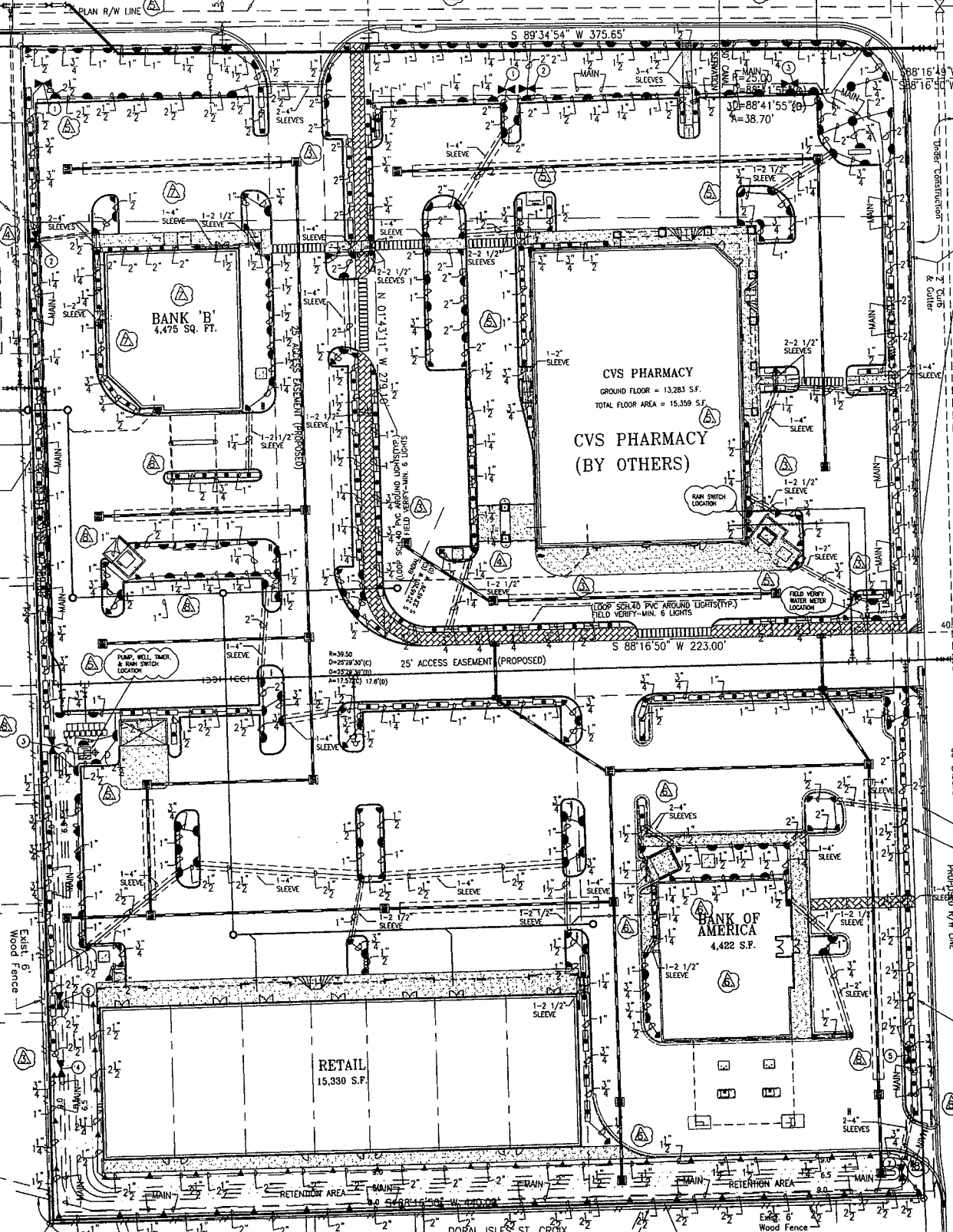
N.W. 74th Street  
N 89°34'54" E 440.11'

NORTH LINE SECTION 18-53-40

TRACT "B"

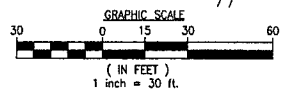
N.W. 73rd Terr.

N.W. 107th Place  
(PRIVATE ROAD)



**IRRIGATION PLAN**

1" = 30'-0"



**IRRIGATION LEGEND(OTHER RETAIL)**

SYMBOL	MODEL NUMBER	AREA	GPM
□	CENTER STRIP - 4' CST	4'x30'	1.20
▲	HALF - 15' H	15' RAD	2.00
▲	QUARTER - 15' Q	15' RAD	1.00
▲	END STRIP - 4' EST	4'x15'	0.60
▲	TORO SERIES S600 GEAR DRIVEN ROTARY SPRINKLER	42' RAD	2.5
□	SIDE STRIP - 4' SST	4'x30'	1.45
●	FULL - 15' F	15' RAD	4.00
□	5 HP STARTER SELF PRIMING PUMP, MODEL #DHJ, DELIVERING 85 GPM MINIMUM @ 35 PSI OR EQUIVALENT 220 VOLT (OR EQUAL) W/ PUMP START		
□	TORO SERIES LOW VOLTAGE CONTROL VALVES 2 1/2" W/ DIRECT BURIAL #14 WIRE AS REQUIRED		
—	3" SCH. 40 PVC MAIN LINE AS SHOWN		
—	RAINBIRD ESP 8 STATION TIME CONTROLLER RAIN SWITCH READY 220/24 VOLT		
—	TORO RAIN SWITCH MODEL # 850-74		
—	4" CASED IN WELL (WATER USE PERMIT BY OTHERS) 100 GPM MIN.		
□	RUST CONTROL DEVICE(TO BE INCLUDED)		

**SEE DETAIL #1 ON SPECIFICATION SHEET**

ZONE	1	2	3	4	5	6	7	8
# HEADS	54	30	46	47	56	23	23	
G. P. M.	77.20	39.20	77.40	66.80	69.20	57.5	57.50	

**NOTE:** ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.

2. GENERAL CONTRACTOR TO SUPPLY AND INSTALL SLEEVES AS SHOWN AND PROVIDE ELECTRICAL HOOK-UP AS REQUIRED.

3. HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION.

CALL 48 HOURS BEFORE YOU DIG  
It's the Law  
1-800-432-4  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

**IRRIGATION LEGEND(CVS) BY OTHERS**

SYMBOL	MODEL NUMBER	AREA	GPM
□	CENTER STRIP - 4' CST	4'x30'	1.20
▲	HALF - 15' H	15' RAD	2.00
▲	QUARTER - 15' Q	15' RAD	1.00
▲	END STRIP - 4' EST	4'x15'	0.60
▲	TORO SERIES S600 GEAR DRIVEN ROTARY SPRINKLER	42' RAD	2.5
□	SIDE STRIP - 4' SST	4'x30'	1.45
●	FULL - 15' F	15' RAD	4.00
□	2" WATER METER & BACKFLOW PREVENTER ( FIELD VERIFY LOCATION, METER BY OWNER)		
□	TORO SERIES LOW VOLTAGE CONTROL VALVES 2" W/ DIRECT BURIAL #14 WIRE AS REQUIRED		
—	2" SCH. 40 PVC MAIN LINE AS SHOWN		
—	RAIN BIRD ESP 4 STATION TIME CONTROLLER RAIN SWITCH READY 110/24 VOLT		
—	TORO RAIN SWITCH MODEL # 850-74		

**SEE DETAIL #2 ON SPECIFICATION SHEET**

ZONE	1	2	3	4	5	6
# HEADS	44	37	52	-	-	-
G. P. M.	60.20	68.80	72.20	-	-	-

**NOTE:** ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.

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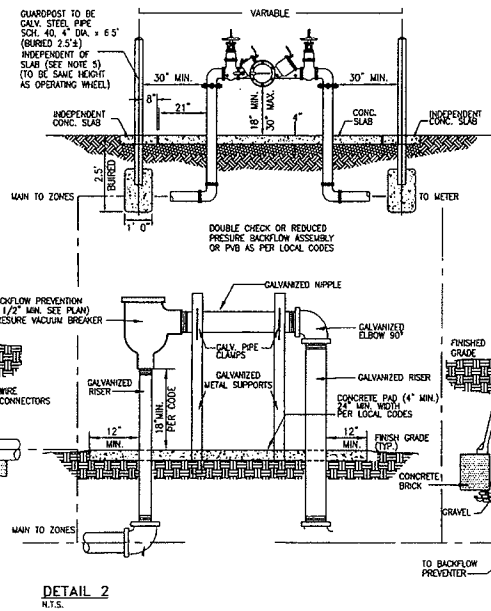
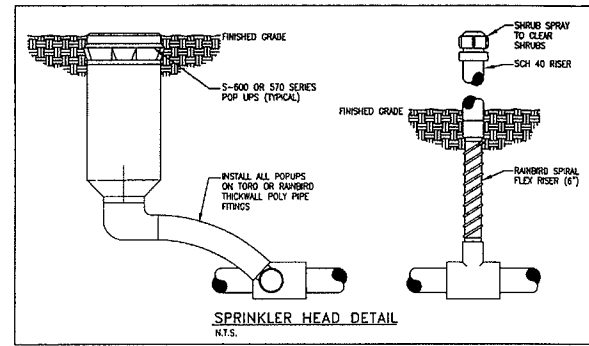
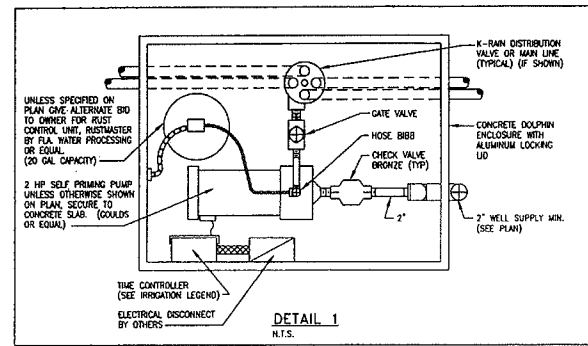
R. BARTLETT LANDSCAPE ARCHITECTS  
12775 W. FOREST HILL BLVD.  
SUITE 243  
WELLINGTON, FL 33414  
(888) 766-6645  
CORE LANDSCAPE ARCHITECTS, INC.

**CKE GROUP** INCORPORATED  
engineering • architecture • planning

FRAGA PROPERTIES AT DORAL  
N.W. 74th ST. & N.W. 107th AVE.  
MIAMI-DADE COUNTY, FLORIDA

RBL# 05-09-1690  
project no: 958  
scale: AS SHOWN  
date: 9-03-04  
drawn by: N.G. BARTLETT  
RICK BARTLETT seal

15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-412

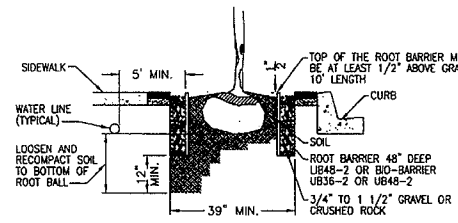


- NOTE:**
1. THE ASSEMBLY MUST BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCE OF 18\"/>

**IRRIGATION SPECIFICATIONS**

1. K-RAIN ZONING VALVE SHALL NOT BE USED UNLESS OTHERWISE NOTED.
2. ALL MAINS AND SLEEVES MUST BE PVC SCH 40 AND BURIED A MINIMUM OF 24\"/>

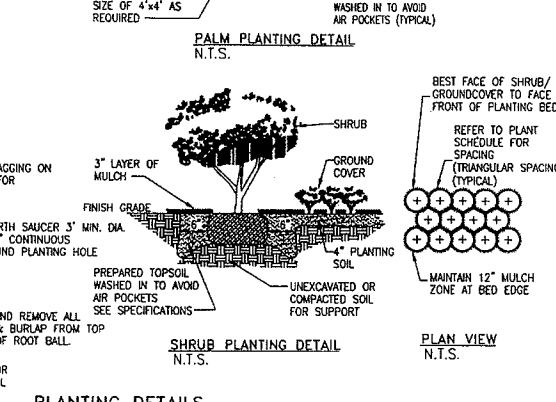
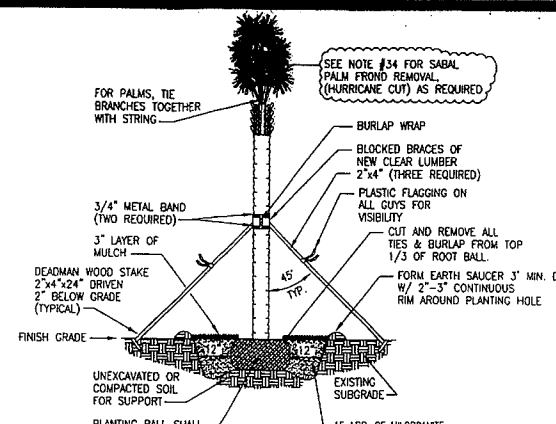
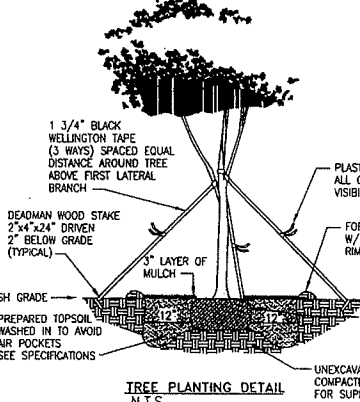
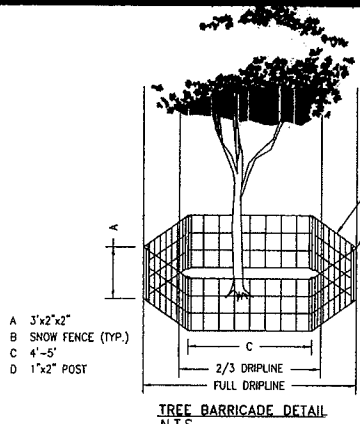
48 HOURS BEFORE DIGGING  
CALL  
1-800-432-4770  
SUNSHINE STATE ONE CALL CENTER



\* ROOT BARRIER DETAIL (TYPICAL)  
N.T.S.  
INJECTION MOLDED, RECYCLED POLYPROPYLENE  
ROOT BARRIER WITH DOUBLE TOP EDGE

**IRRIGATION LEGEND**

SYMBOL	MODEL NUMBER	AREA	GPW
●	TORO SPRAY NOZZLES 570 W/ 6\"/>		
○	FULL - 15' F	15' RAD	4.00
○	270' - 15' 270'	15' RAD	3.00
○	HALF - 15' H	15' RAD	2.00
○	QUARTER - 15' Q	15' RAD	1.00
○	SIDE STRIP - 4' SST	4'x30'	1.45
○	SIDE STRIP - 9' SST	9'x18'	1.20
○	CENTER STRIP - 4' CST	4'x30'	1.20
○	END STRIP - 4' EST	4'x15'	0.60
○	TORO SERIES S600 GEAR DRIVEN ROTARY SPRINKLER	43' RAD	2.77
○	TORO MODEL NO. 304-00-03 STREAM ROTOR SPRINKLER	28' RAD	1.36
○	TORO MODEL NO. 308-00-03 STREAM ROTOR SPRINKLER	28' RAD	2.72
○	TORO MODEL NO. 311-00-03 STREAM ROTOR SPRINKLER	28' RAD	3.39
○	WATER METER & BACKFLOW PREVENTER (SIZE AS SHOWN)		
○	CASED IN WELL (SIZE AS SHOWN - SEE IRRIGATION PLAN)		
○	--- MAIN TO BE PVC SCH. 40 (SIZE AS SHOWN)		
○	○ K-RAIN ZONING VALVE (X-ZONES) (IF SHOWN)		
○	○ TORO SERIES 252 LOW VOLTAGE AUTOMATIC VALVE (SIZE AS SHOWN)		
○	○ RUST CONTROL DEVICE (IF SHOWN)		
○	○ TIMER CONTROL AS SHOWN		
○	○ TORO RAIN SENSOR DEVICE MODEL # 850-74		



**LANDSCAPE SPECIFICATIONS**

1. CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES.
2. EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
3. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
4. ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
5. ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
6. ALL SOIL TO BE ST. AUGUSTINE FLORISTAN SOIL, UNLESS OTHERWISE NOTED.
7. ALL BED AREAS TO RECEIVE A 3\"/>

REVISIONS

BY	

R. BARTLETT LANDSCAPE, INC.  
12773 W. FOREST HILL BLVD  
SUITE 213  
WELLINGTON, FL 33414  
(861) 796-0448  
CARL B. HIGGINS #0001436 ASLA

**LANDSCAPE & IRRIGATION SPECIFICATIONS**

DRAWN: M.C.  
CHECKED: R. BARTLETT  
DATE: 10-28-03  
SCALE: N.T.S.  
JOB NUMBER:  
SHEET: L-3  
OF SHEETS

# EXHIBIT “B”



CFN 2007R0160389  
DR Bk 25366 Pgs 1970 - 1977; (8pgs)  
RECORDED 02/14/2007 12:44:36  
HARVEY RUVIN, CLERK OF COURT  
MIAMI-DADE COUNTY, FLORIDA

This instrument was prepared by:

Name: Juan J. Mayol, Jr., Esq.  
Address: Holland & Knight LLP  
701 Brickell Avenue  
Suite 3000  
Miami, Florida 33131



(Space Reserved for Clerk of the Court)

**DECLARATION OF RESTRICTIONS**

*WHEREAS*, the undersigned, FRAGADOR, LLC, a Florida limited liability company (the "Owner"), holds the fee simple title to that certain parcel of land, which is legally described in Exhibit "A" to this Declaration (hereinafter the "Property"); and

*WHEREAS*, the Owner has heretofore submitted an application for site plan approval (the "Application") to the City of Doral (the "City") to facilitate the development of the Property.

*NOW, THEREFORE*, in order to assure the City that the representations made by the Owner during consideration of the Application will be abided by, the Owner freely, voluntarily and without duress, makes the following Declaration of Restrictions covering and running with the Property:

1. **Use Restrictions.** Notwithstanding the approval of the Application, and subject to all applicable Code requirements, the Owner agrees to limit the use of the Property to prohibit those uses listed below:

- a) Auditoriums;
- b) Automobile storage within a building;
- c) Boats carrying passengers on excursion, sightseeing, pleasure or fishing trips;
- d) Convention halls;
- e) Medical observation dormitories;
- f) Private clubs;

8

- g) Self-standing pubs and bars not associated with a restaurant; and
- h) Rental of trucks.

2. **Site Plan.** The Property shall be developed substantially in accordance with the plans previously submitted, entitled, "Fraga Properties at Doral", prepared by CKE Group, Inc., dated July 31, 2006, said plans being filed with the City of Doral Planning and Zoning Department, and by reference made a part of this Declaration, as may be amended during the public hearing on the Application (the "Plan"), except that, subject to all governmental approvals, the masonry wall along the western and southern perimeter of the site shall be six feet and eight inches (6'8") in height, and that pavers will be installed at the driveways along NW 107<sup>th</sup> Avenue and NW 74<sup>th</sup> Street.

3. **Delivery and Trash Pick-Up Hours.** No deliveries or trash pick up shall take place other than between the hours of 7:00 AM and 7:00 PM, Monday through Friday. Additionally, the overnight parking of delivery trucks on the Property shall be prohibited.

4. **Construction Hours and Activities.** The Owner shall limit construction activities to the hours of 7:00 AM to 7:00 PM, Monday through Friday, and 10:00 AM to 5:00 PM on Saturday. No construction activities shall take place on Sundays. The use of explosives shall be strictly prohibited. In the event a hurricane warning is issued for Miami-Dade County, the Owner shall promptly secure all construction materials to minimize the potential for damage from flying objects to adjacent properties.

5. **Hours of Operation.** No tenants of the building designated as "Retail" on the Plan shall be permitted to operate between the hours of 1:00 AM and 6:00 AM. Nothing stated herein shall prohibit the tenant of the building designated as "CVS Pharmacy" on the Plan from operating twenty-four (24) hours a day.

6. **Security During Construction.** The Owner shall provide adequate security (on-site) commencing ten (10) business days after final electrical inspection approval on the first building



permit for the development, and through the completion of construction, between the hours of 7:00 PM and 7:00 AM, Monday through Friday, and 24 hours during weekends and holidays.

7. **Miscellaneous.**

A. **City Inspection.** As further part of this Declaration, it is hereby understood and agreed that any official inspector of the City, or its agents duly authorized, may have the privilege at any time during normal working hours of entering and inspecting the use of the premises to determine whether or not the requirements of the building and zoning regulations and the conditions herein agreed to are being complied with.

B. **Covenant Running with the Land.** This Declaration on the part of the Owner shall constitute a covenant running with the land and may be recorded, at the Owner's expense, in the Public Records of Miami-Dade County, Florida, and shall remain in full force and effect and be binding upon the undersigned Owner, its heirs, successors and assigns until such time as the same is modified or released. These restrictions during their lifetime shall be for the benefit of, and limitation upon, all present and future owners of the real property and for the public welfare.

C. **Term.** This Declaration is to run with the land and shall be binding on all parties and all persons claiming under it for a period of thirty (30) years from the date that this Declaration is recorded, after which time it shall be extended automatically for successive periods of ten (10) years each, unless an instrument signed by the, then, owner(s) of the Property has been recorded agreeing to change the covenant in whole, or in part, provided that the Declaration has first been modified or released by the City and the Owner has secured the consent of the adjacent property owners as described below.

D. **Modification, Amendment, Release.** This Declaration of Restrictions may be modified, amended or released as to the land herein described, or any portion thereof, by a

written instrument executed by the, then, owner(s) of such portion of the Property that is covered under such modification, amendment or release, including joinders of all mortgagees, if any, provided that the same is also approved by the City Council, or other procedure permitted under the City of Doral Code, whichever by law has jurisdiction over such matters.

Should this Declaration of Restrictions be so modified, amended or released, the Planning Director, or the executive officer of the successor of the Community Development Department Planning Division, or in the absence of such director or executive officer by his assistant in charge of the office in his absence, shall forthwith execute a written instrument effectuating and acknowledging such modification, amendment or release.

**E. Enforcement.** Enforcement shall be by action against any parties or person violating, or attempting to violate, any covenants. The prevailing party in any action or suit pertaining to or arising out of this Declaration shall be entitled to recover, in addition to costs and disbursements allowed by law, such sum as the Court may adjudge to be reasonable for the services of his attorney. This enforcement provision shall be in addition to any other remedies available at law, in equity or both.

**F. Authorization for the City to Withhold Permits and Inspections.** In the event the terms of this Declaration are not being complied with, in addition to any other remedies available, the City is hereby authorized to withhold any further permits, and refuse to make any inspections or grant any approvals, until such time as this Declaration is complied with.

**G. Election of Remedies.** All rights, remedies and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies or privileges.

H. **Presumption of Compliance.** Where construction has occurred on the Property, or any portion thereof, pursuant to a lawful permit issued by the City, and inspections made and approval of occupancy given by the City, then such construction, inspection and approval shall create a rebuttable presumption that the buildings or structures thus constructed comply with the intent and spirit of this Declaration.

I. **Severability.** Invalidation of any one of these covenants, by judgment of Court, shall not affect any of the other provisions which shall remain in full force and effect.

J. **Recording.** This Declaration shall be filed of record in the Public Records of Miami-Dade County, Florida, at the cost of the Owner, following the adoption by the City Council of a resolution approving the Application.

**[Signature Pages Follow]**

IN WITNESS WHEREOF, we have hereunto set our hands and seal this 8<sup>th</sup> day of

February, 2007

WITNESSES:

**FRAGADOR, LLC,**  
a Florida limited liability company

*Milagros Llanes*  
Signature

Milagros Llanes  
Print Name

*Linda Tillery*  
Signature

LINDA TILLERY  
Print Name

By: *AF*  
Signature

Antonio C. Fraga / Vice-President  
Print Name/Title

Address: 1320 South Dixie Highway  
Suite 214  
Coral Gables, FL 33146

STATE OF FLORIDA            )  
  ) SS.  
COUNTY OF MIAMI-DADE )

The foregoing instrument was acknowledged before me this 8<sup>th</sup> day of February, 2007, by Antonio C. Fraga on behalf of Fragador, LLC, a Florida limited liability company, who is personally known to me or has produced \_\_\_\_\_ as identification, and acknowledged that they did execute this instrument freely and voluntarily for the purposes stated herein.

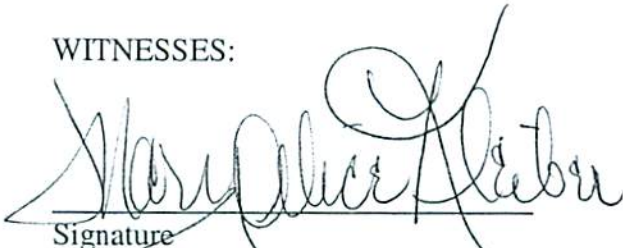
My Commission Expires:

*Milagros Llanes*  
Notary Public, State of Florida  
Milagros Llanes  
Print Name



IN WITNESS WHEREOF, we have hereunto set our hands and seal this \_\_\_\_\_ day of \_\_\_\_\_, 2006.

WITNESSES:

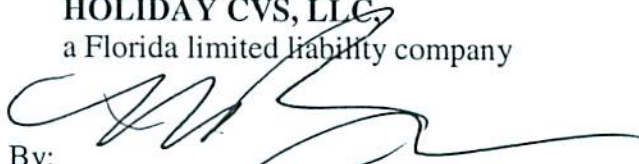
  
Signature  
Mary Alice Kleiber  
Print Name

Print Name

  
Signature

Dawn M Bucci  
Print Name

**HOLIDAY CVS, LLC**  
a Florida limited liability company

  
By: \_\_\_\_\_  
Signature

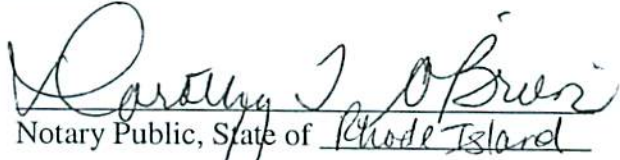
Michael B. Nulman  
Assistant Secretary  
Print Name/Title

Address: Michael B. Nulman, Esquire  
CVS Pharmacy  
One CVS Drive  
Woonsocket, RI 02895

STATE OF ~~FLORIDA~~ Rhode Island  
COUNTY OF ~~MIAMI-DADE~~ Providence ) SS.

The foregoing instrument was acknowledged before me this 7 day of February, 2006, by Michael B. Nulman on behalf of Holiday CVS, LLC, a Florida limited liability company, who is personally known to me or has produced \_\_\_\_\_ as identification, and acknowledged that they did execute this instrument freely and voluntarily for the purposes stated herein.

My Commission Expires:

  
Notary Public, State of Rhode Island

Dorothy T. O'Brien  
Notary Public  
State of Rhode Island  
My Commission Expires 08/15/2009

JOINDER AND CONSENT BY MORTGAGEE

The undersigned, TotalBank, a Florida banking corporation, Mortgagee under that certain Mortgage from Fragador LLC, a Florida limited liability corporation, as recorded in Official Records Book 23649, Page 2533, in the Public Records of Miami-Dade County, Florida, covering all/or a portion of the property described in the foregoing Declaration of Restrictions, does hereby consent to the execution of this Declaration of Restrictions by Fragador, LLC, a Florida limited liability company, and agree that in the event Mortgagee or any other party shall obtain title to the property through foreclosure or deed-in-lieu of foreclosure, this Declaration of Restrictions shall be binding upon the entity obtaining title as the then owner of such property.

IN WITNESS OF THE FOREGOING, the Mortgagee has set Mortgagee's hand and seal the 9 day of FEB., 2007

WITNESSES:

TOTALBANK, a Florida banking corporation

[Signature]

By:

[Signature]

RUCHI SACHNEY  
[Print Name]

Name: JOSE MONTE

Title: SENIOR VICE PRESIDENT

[Signature]

Susana Trudden  
[Print Name]

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 9<sup>th</sup> day of February, 2007, by Jose M. Monte, as Senior Vice-President of TotalBank, a Florida banking corporation, on behalf of the corporation, who is personally known to me/has produced \_\_\_\_\_ as identification.

Printed/Typed Name:

[Signature]

Notary Public-State of Florida

Commission Number:

STATE OF FLORIDA, COUNTY OF DADE  
I HEREBY CERTIFY that this is a true and correct copy of the original filed in my office on 17th day of August, A.D. 2007  
WITNESSE my hand and Official Seal  
[Signature]  
MARVEY RUMPH, CLERK of Circuit and County Courts  
By: [Signature] 2007 D.C.

