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3 **RESOLUTION #Z06 - 02**

4 **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF**
5 **DORAL, FLORIDA AUTHORIZING AND APPROVING 55,000**
6 **SQUARE FOOT OFFICE BUILDING WITH ACCESSORY RETAIL**
7 **USES LOCATED ON THE NE CORNER OF NW 25TH STREET**
8 **AND NW 102ND AVENUE; PROVIDING AN EFFECTIVE DATE**

9 WHEREAS, Industrial Warehouse Associates, LLC, ("Applicant") has
10 requested approval of a 55,000 square foot office building with accessory retail
11 uses on the property located on the NE corner of NW 25th Street and NW 102nd
12 Avenue, as depicted on Exhibit "A" attached hereto; and

13 WHEREAS, the planned facility is consistent with all applicable zoning
14 and landscaping requirements pertaining to site development

15 WHEREAS, the proposed redevelopment of the property is consistent
16 with the proposed future land use designation of the property; and

17 WHEREAS, the proposed facility meets all requirements pertaining to
18 the DRI; and

19 WHEREAS, on February 22, 2006 the City Council, after careful review
20 and deliberation, including a review of staff's recommendation, determined that
21 it is in the best interests of the citizens of the City of Doral to approve the
22 revised Site Plan, subject to conditions;

23 **NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF**
24 **THE CITY OF DORAL, FLORIDA THAT:**

25 **Section 1.** The City Council of the City of Doral hereby approves
26 Applicant's application for a 55,000 square foot square office building with

1 accessory retail uses on the property located on the NE corner of NW 25th
2 Street and NW 102nd, subject to the following conditions:

- 3 1. Applicant shall comply with the landscaping regulations as
4 prescribed in the City's Zoning in Progress Ordinance.
- 5 2. Applicant shall coordinate a nighttime inspection of the parking lot
6 lighting with staff and the adjacent residential property owners to
7 ensure that lighting is appropriate and glare is not a problem.
- 8 3. Applicant shall produce the City with a covenant that restricts the
9 following uses: daycare and private lounge. The hours of
10 operation for the storage use shall be limited to 7:00 am until
11 11:00 pm.
- 12 4. Applicant shall construct a dumpster enclosure that is
13 architecturally compatible with the building.
- 14 5. Applicant shall construct a minimum 6' high masonry wall along
15 the north and east perimeter of the site
- 16 6. Applicant shall place a "No Right Turn" sign at each driveway cut,
17 subject to approval by City's traffic consultant

18 **Section 2.** This Resolution shall be recorded in the Public Records of
19 Miami-Dade County, Florida and the Applicant shall pay the costs of
20 recording said document.

21 **Section 3.** This resolution shall become effective upon its passage
22 and adoption by the City Council.

1 WHEREAS, a motion to approve the Resolution was offered by
2 Councilwoman Ruiz, who moved its adoption. The motion was seconded by
3 Councilman Van Name and upon being put to a vote, the vote was as follows:

4	Mayor Juan Carlos Bermudez	yes
5	Vice Mayor Peter Cabrera	yes
6	Councilmember Michael DiPietro	yes
7	Councilwoman Sandra Ruiz	yes
8	Councilmember Robert Van Name	yes

9
10 PASSED AND ADOPTED this 22nd day of February, 2006.

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23
24




JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:



CITY CLERK

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY FOR THE
SOLE USE OF THE CITY OF DORAL:

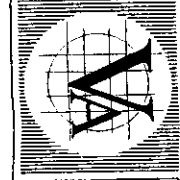


JOHN J. HEARN, CITY ATTORNEY

REVISIONS:	
01-20-06	CITY OF DORAL COMMENTS
11-28-06	CITY OF DORAL COMMENTS

REVISIONS:	

REVISIONS:	



VILLA & ASSOCIATES INC.
 ARCHITECTURE
 7344 SW 48 STREET
 MIAMI FL 33156
 CONSULTANT:

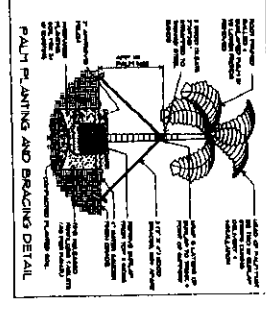
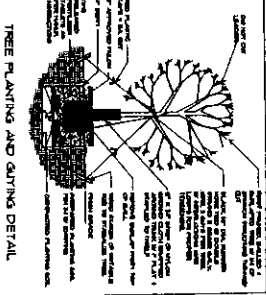
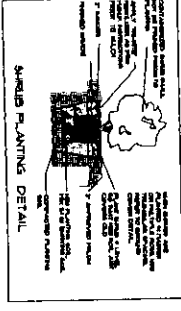
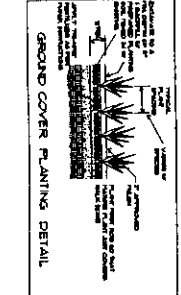
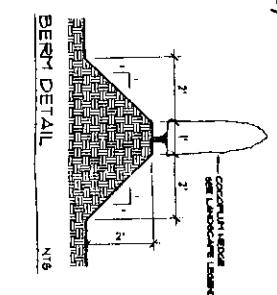
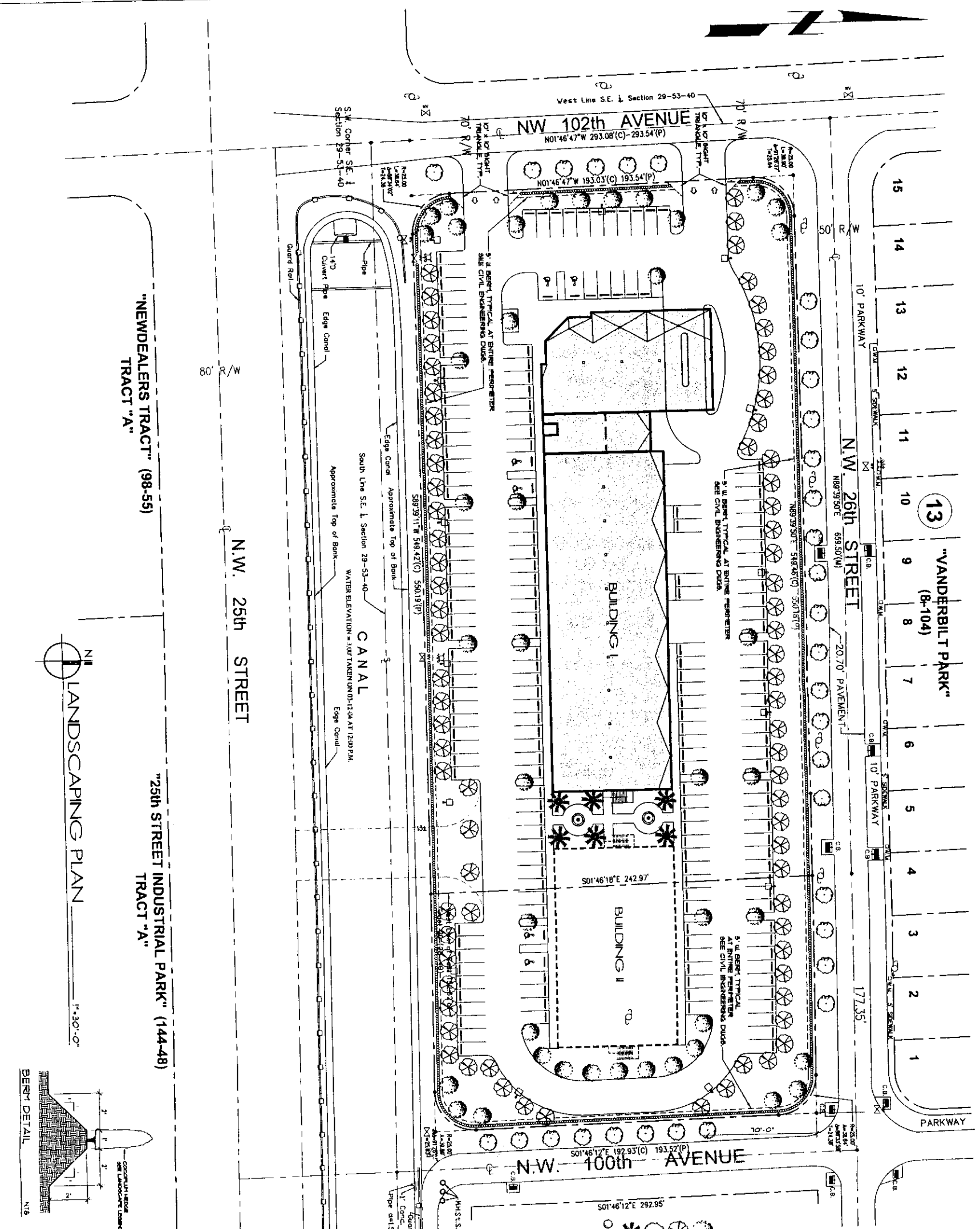
INTERIOR DESIGN
 (305) 661-0811

SEAL
 JORGE L. BLAVENZANO
 NO. APPROVED

**THE POINT
 AT DORAL**

NW 102nd AVENUE & 28th STREET
 MIAMI-DADE FLORIDA

DATE: 11-28-06
 SCALE: 1" = 30'
 DRAWING NO.: L-1 OF 1



LANDSCAPE NOTES

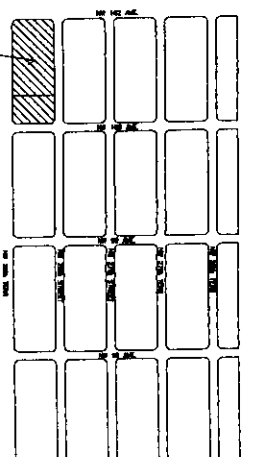
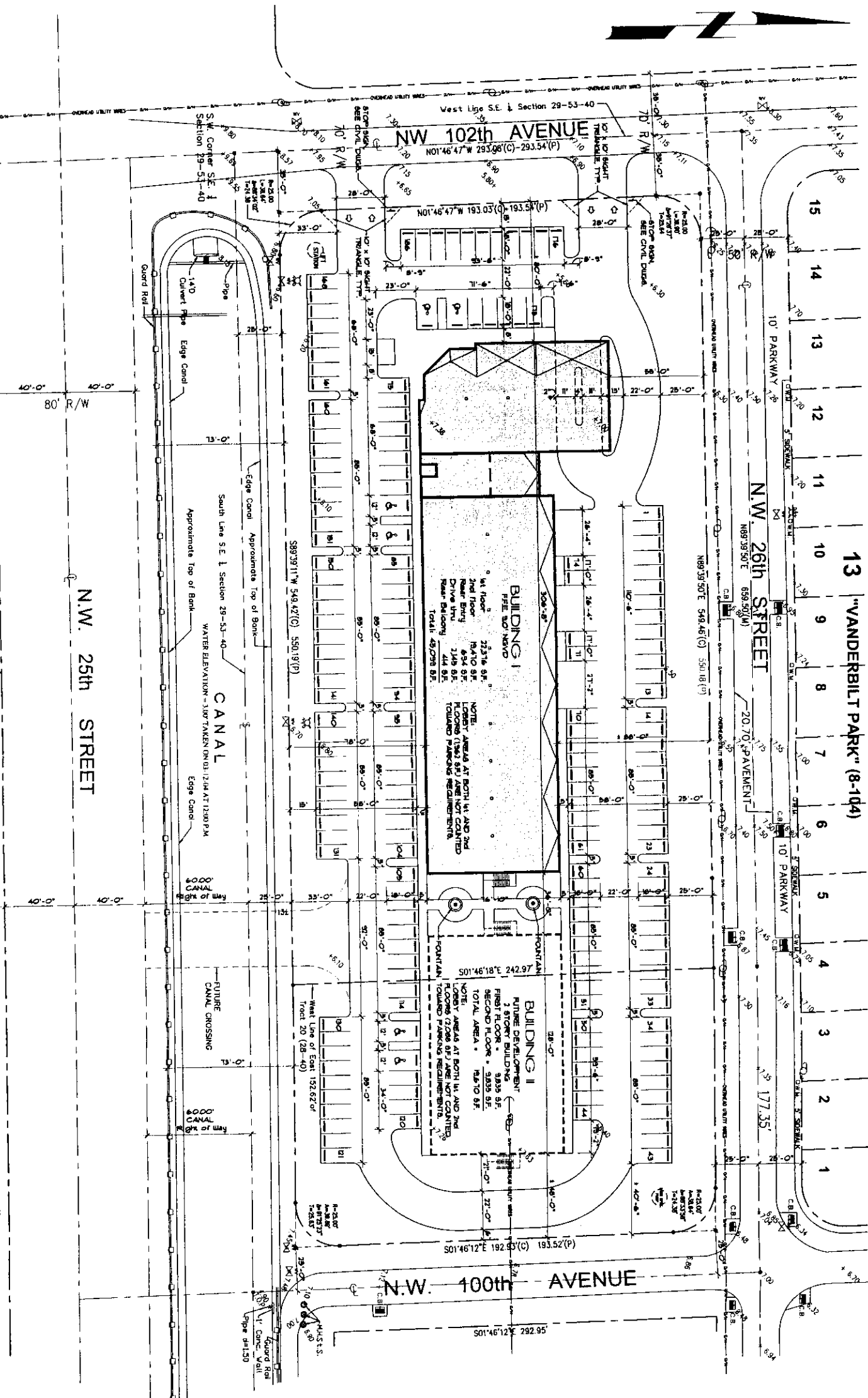
1. ALL PLANT MATERIALS SHALL BE IN 10% BETTER IN GRADE AND QUALITY.
2. ALL TREES SHALL BE NON-INVASIVE ORIGINALLY TOLENTANT.
3. ALL SHRUBS SHALL BE NON-INVASIVE ORIGINALLY TOLENTANT.
4. PLANTS SHALL NOT EXCEED 50% OF ALL REQUIRED TREES AT INSTANTIAL MATURE.
5. ALL PERMITTING OR OTHER AGENCIES SHALL HAVE AN OVERALL HEIGHT OF 10'-0" AND A DENSITY OF 50%.
6. ALL PERMITTING OR OTHER AGENCIES SHALL HAVE A 5'-0" MINIMUM CLEARANCE FROM THE GROUND TO THE TOP OF THE CANOPY.
7. ALL PERMITTING OR OTHER AGENCIES SHALL HAVE A 5'-0" MINIMUM CLEARANCE FROM THE GROUND TO THE TOP OF THE CANOPY.
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GENERAL LANDSCAPE NOTES

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KEY	CATION NAME	BOTANICAL NAME	HEIGHT AT PLANTING	NATIVE	QUANTITY
A	PEARL PALM	COCCOCCIA DIVERSICOLA	3' TO 5'	YES	4
B	SILVER BUTTWOOD	CONOCARPUS ERECTA	10' TO 15'	YES	11
C	YACONANT	BERBERIS THUNBERGII	3' TO 4'	YES	31
E	ROYAL PALM	ROSTKIA BATA	4' TO 6'	YES	4
G	RED-TIP COCONUT (OR EQUAL NATIVE)	COCOS THALICTRATA	10' TO 15'	YES	100

LANDSCAPE LEGEND	SYMBOL	DESCRIPTION
1	(Symbol)	PEARL PALM
2	(Symbol)	SILVER BUTTWOOD
3	(Symbol)	YACONANT
4	(Symbol)	ROYAL PALM
5	(Symbol)	RED-TIP COCONUT



SITE SUMMARY

LOCATION - VACANT LAND NW 102 AVENUE AND NW 26th STREET MIAMI, FLORIDA

LOT NO - 35-3078-003-1951, 35-3078-003-1953, 35-3078-003-1950, 35-3078-003-1952 AND 35-3078-003-0880

LOT AREA - NET: 333 ACRES • 146,083 SF.

ZONING - OPO (OFFICE PARK DISTRICT)

PROPOSED BUILDINGS

BUILDING I - OPO BUILDING

FIRST FLOOR	21,578 SF.
SECOND FLOOR	6,934 SF.
DRIVE THRU	3,185 SF.
REAR DRIVE	78,414 SF.
TOTAL BUILDING	110,111 SF.

BUILDING II - FUTURE DEVELOPMENT

FIRST FLOOR	9,835 SF.
SECOND FLOOR	9,835 SF.
TOTAL AREA	19,670 SF.

TOTAL PROPOSED PHASE I: 49,078 SF.

PROPOSED SITE AREAS

LOT SF.	146,083 SF.
TOTAL LOT COVERAGE PHASE I	29,518 SF. 20.2%
FUTURE PHASE II	5,835 SF. 4.0%
PAVED AREA	63,846 SF. 43.7%
LANDSCAPE OPEN AREA	49,487 SF. 33.8%

FAR CALCULATION

BUILDING I FAR (MINIMUM)	41,646 SF. 28.5%
BUILDING II FAR (MINIMUM)	15,700 SF. 10.8%
TOTAL PROPOSED FAR	61,346 SF. 42.4%

SETBACKS

PROVIDED	REQUIRED
FRONT	10'-0"
REAR	30'-0"
SIDE STREET	5'-0"
REAR	5'-0"
REAR	5'-0"

PARKING

PARKING SPACES REQUIRED (PHASE I AND II)

PHASE I: 16 SPACES (OFFICE AREAS 34,900 SF • 887,000 SF •)

PHASE II: 31 SPACES (OFFICE AREAS 5,083 SF • 129,100 SF •)

PHASE II: 35 SPACES (OFFICE AREAS 17,861 SF • 447,000 SF •)

TOTAL PARKING SPACES REQUIRED: 82 SPACES

PARKING PROVIDED: 86 SPACES

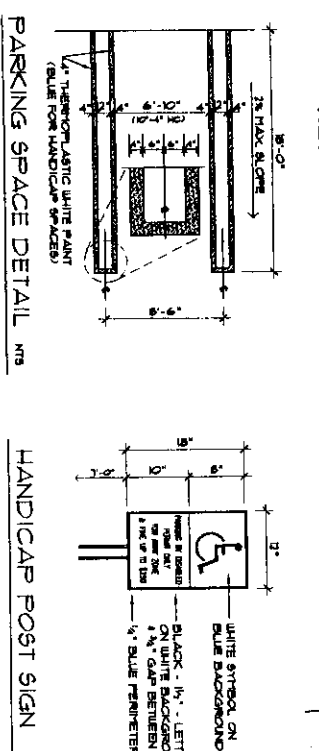
• STANDARD - 83' X 31'

• HANDICAP - 8' X 9'

TOTAL PARKING PROVIDED: 86 SPACES

LANDSCAPE

SEE SHEET L-1 FOR LANDSCAPE INFORMATION



SITE PLAN

1" = 30'-0"

LEGAL DESCRIPTION

Lot 26 and the West 12.62 feet of Lot 27 in Block 20, of VANDERBILT PARK, as recorded in Plat Book 8 of Page 104, of the Public Records of Dade County, Florida, recorded in Plat Book 28 of Page 40, of the Public Records of Dade County, Florida, N/A/A the West 12.62 feet of Lot 4, all of lots 5 to 26, and the West 12.82 feet of Lot 27, Block 20, of VANDERBILT PARK, recorded in Plat Book 8 of Page 104, of the Public Records of Dade County, Florida.

740 East 27.38 feet of Lot 27, and of the Lots 28, 29 and 30 in Block 20, of VANDERBILT PARK, according to the Plat thereof, as recorded in Plat Book 8, Page 104, of the Public Records of Miami-Dade County, Florida, and the East 152.62 feet of the South 1/2 of Tract 20 recorded in Plat Book 28, Page 40, of the Public Records of Miami-Dade County, Florida.

DRIVE THRU NOTE:

AS PER SECTION 35-3843(C)(1)(B) OF THE HDCC, THERE ARE NO DRIVE IN RESTAURANT FACILITIES IN THIS PROJECT. THE DRIVE THRU PROVIDED SHALL BE FOR OFFICE USE.

FLOOD LEGEND

PCOL-VA - SEE FIVE SHEETS

LEGAL DESCRIPTION

SEE SHEET L-1 FOR LEGAL DESCRIPTION

REVISIONS:

NO.	DATE	BY	DESCRIPTION
10-30-08			CITY OF DORAL COMMENTS
11-25-08			CITY OF DORAL COMMENTS

REVISIONS:

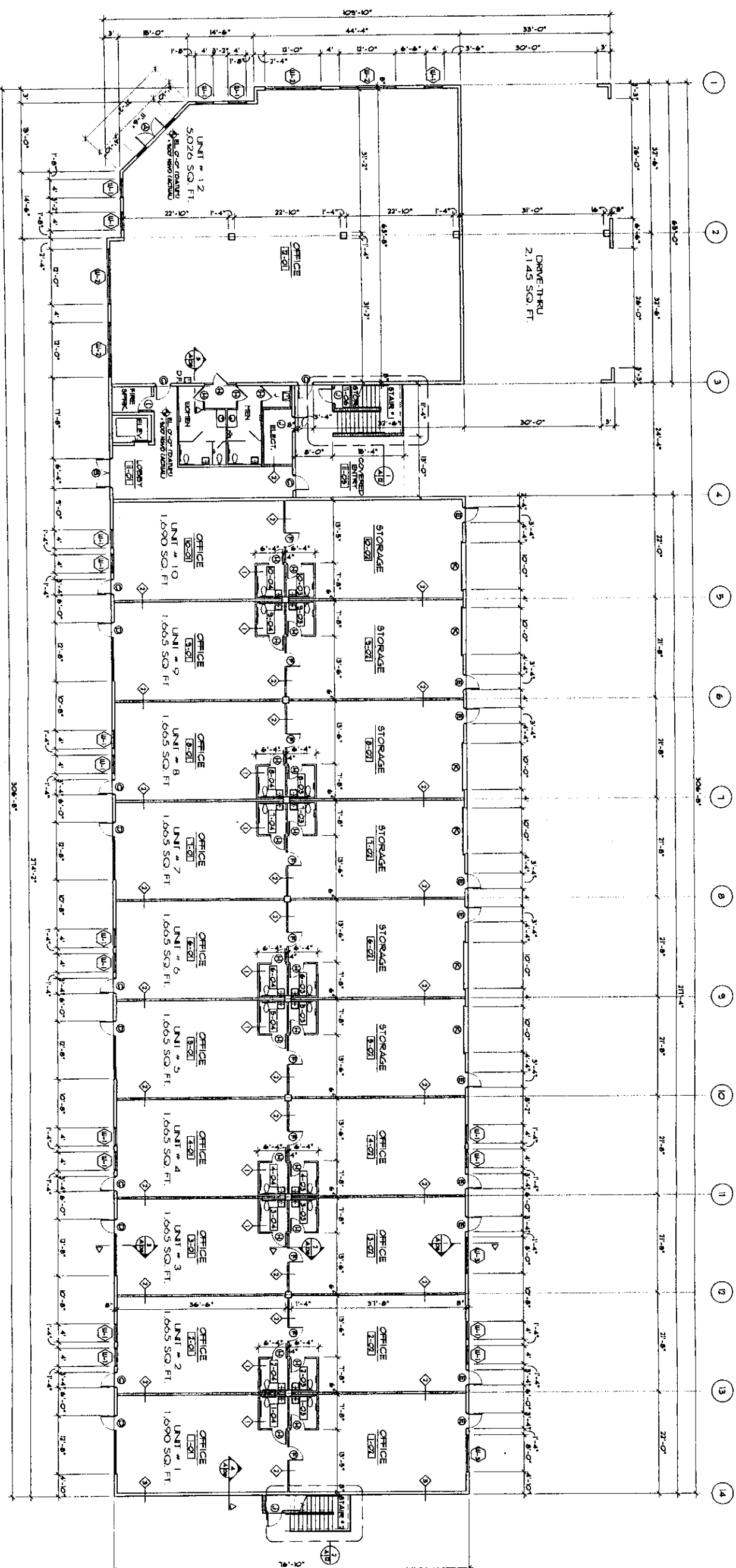


VILLA & ASSOCIATES INC.
ARCHITECTURE PLANNING
7344 SW 48 STREET MIAMI FL 33156
MITCHELL OSBORN (305) 981-9381
CONSULTANT:

SEAL
JAMES L. VILAYARDNO
NO. 14007870

THE POINT AT DORAL
NW 102nd AVENUE & 26th STREET MIAMI-DADE FLORIDA

DATE: 11-29-08 SCALE: 1" = 30'
DATE SUBMITTED FOR SEAL: 11-29-08
DRAWING NO.: A-1 OF 6

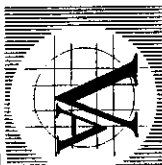


WALL LEGEND

	1/2" GYP. BOARD PARTITION ADD SOUND INSULATION		1/2" UP WALL PANEL, UP TO HD. NUMBER STRIPS AT 6" OC UP TO ORIGINAL AND NEW WALLS TO ORIGINAL PAINT FINISH AT EXTERIOR SIDE (SEE EXT. ELEVATIONS)
	1/2" GYP. BOARD PARTITION ADD SOUND INSULATION		1/2" UP WALL, UP TO HD. NUMBER STRIPS AT 6" OC UP TO ORIGINAL AND NEW WALLS TO ORIGINAL PAINT FINISH AT EXTERIOR SIDE (SEE EXT. ELEVATIONS)
	1/2" GYP. BOARD PARTITION ADD SOUND INSULATION		1/2" UP WALL, UP TO HD. NUMBER STRIPS AT 6" OC UP TO ORIGINAL AND NEW WALLS TO ORIGINAL PAINT FINISH AT EXTERIOR SIDE (SEE EXT. ELEVATIONS)
	1/2" GYP. BOARD PARTITION ADD SOUND INSULATION		1/2" UP WALL, UP TO HD. NUMBER STRIPS AT 6" OC UP TO ORIGINAL AND NEW WALLS TO ORIGINAL PAINT FINISH AT EXTERIOR SIDE (SEE EXT. ELEVATIONS)

GROUND FLOOR PLAN 3/32" = 1'-0"

REVISIONS:	REVISIONS:
D-10-08	CITY OF DORAL COMMENTS
T-28-08	CITY OF DORAL COMMENTS

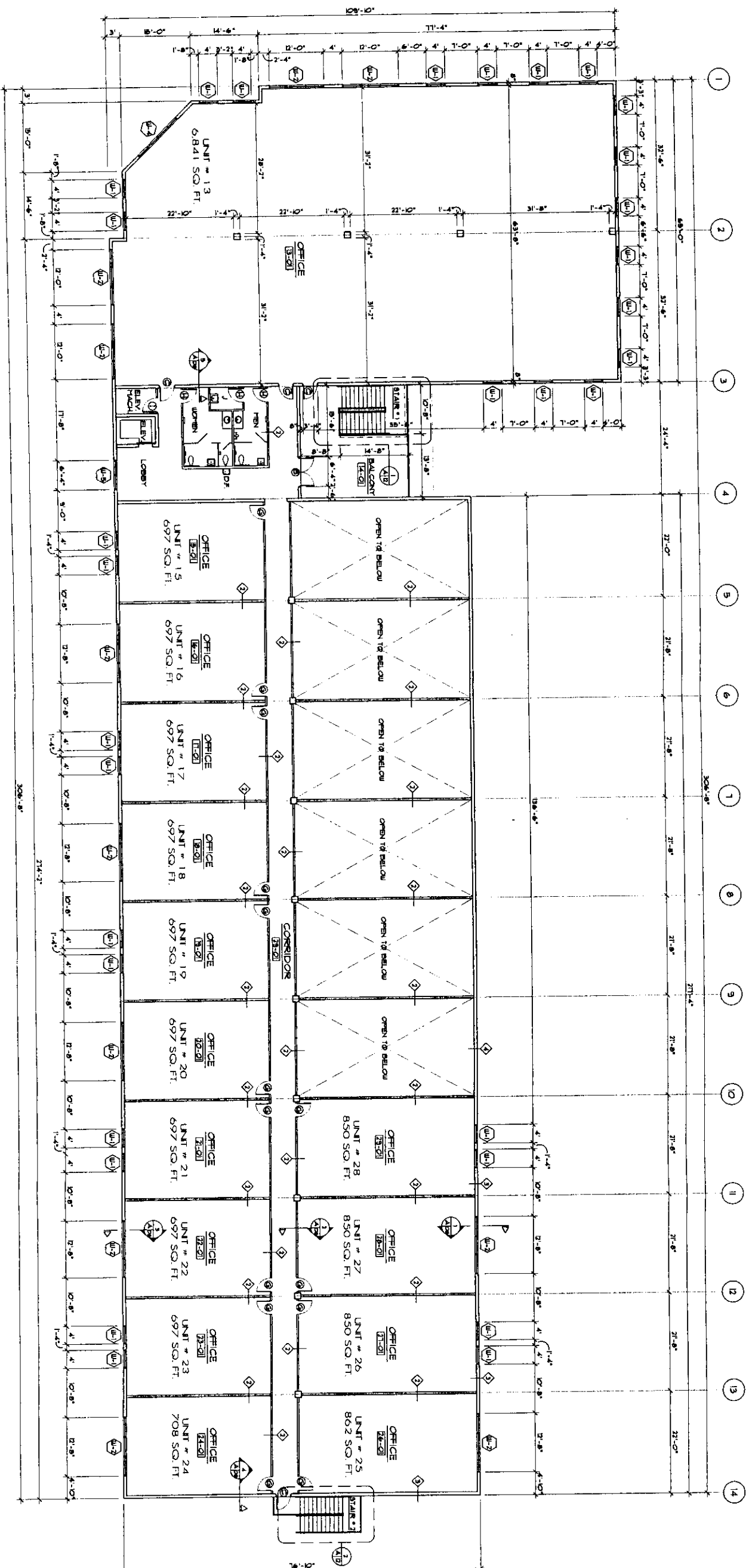


VILLA & ASSOCIATES INC.
 ARCHITECTURE
 7344 SW 48 STREET
 MIAMI FL 33155
 (305) 961-9791
 CONSULTANT:

SCALE
 JAMES L. VILAVANOND
 NO. ANNOTATED

**THE POINT
 AT DORAL**
 NW 102ND AVENUE & 28TH STREET
 MIAMI-DADE, FLORIDA

DATE:	SCALE:
T-28-08	3/32" = 1'
DATE SUBMITTED FOR PERM:	
SHEET NO.:	SHEET TOTAL:
A-2	OF 6



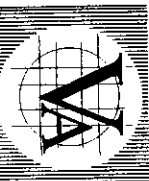
WALL LEGEND

	1/2" GRC 6" x 12" GA. HTL. STUP PARTITION AT 7'-0" O.C. w/ 1/2" DRYWALL. USE GYPSUM BOARD AT RESTROOMS. ADD SOUND INSULATION.		1 1/2" GRC 12" x 12" GA. HTL. STUP PARTITION AT 7'-0" O.C. w/ 1/2" DRYWALL. ADD SOUND INSULATION.
	1/2" GRC 6" x 12" GA. HTL. STUP PARTITION AT 7'-0" O.C. w/ 5/8" TYPE 'X' DRYWALL. ADD SOUND INSULATION. AT BOTH SIDES. ADD SOUND INSULATION.		1 1/2" GRC 12" x 12" GA. HTL. STUP PARTITION AT 7'-0" O.C. w/ 1/2" DRYWALL. ADD SOUND INSULATION. AT BOTH SIDES. ADD SOUND INSULATION.
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NB
SECOND FLOOR PLAN
 3/32" = 1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION
1	11-28-06	CITY OF DORAL COMMENTS
2	11-29-06	CITY OF DORAL COMMENTS

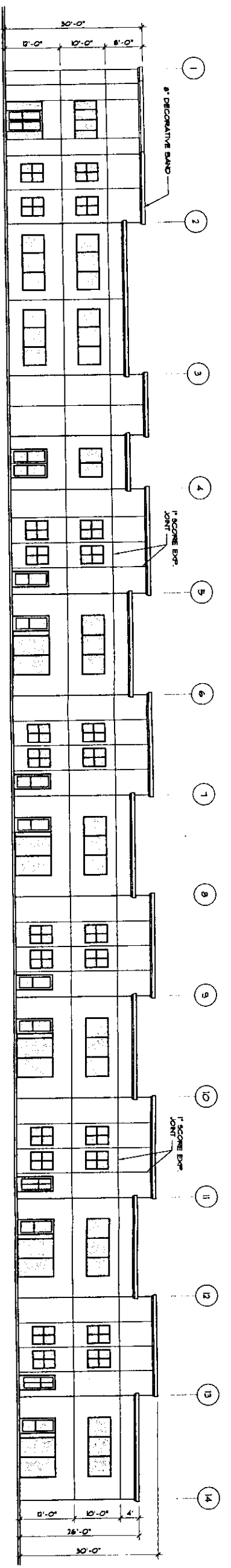


VILLA & ASSOCIATES INC.
 ARCHITECTURE
 7264 SW 48 STREET
 MAAMI FL 33186
 INTERIOR DESIGN
 (305) 991-8381
 CONSULTANT:

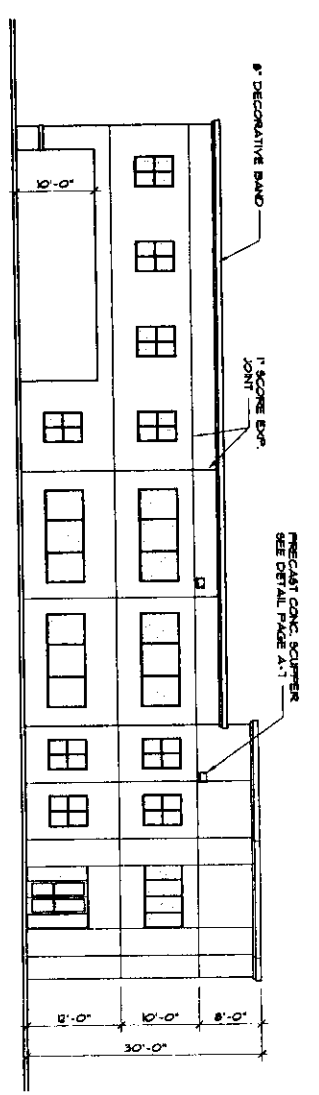
SCALE
 JOHN L. VILANDRO
 M.O. ARCHITECT

**THE POINT
 AT DORAL**
 NW 102nd AVENUE & 26th STREET
 MAAMI-DADE FLORIDA

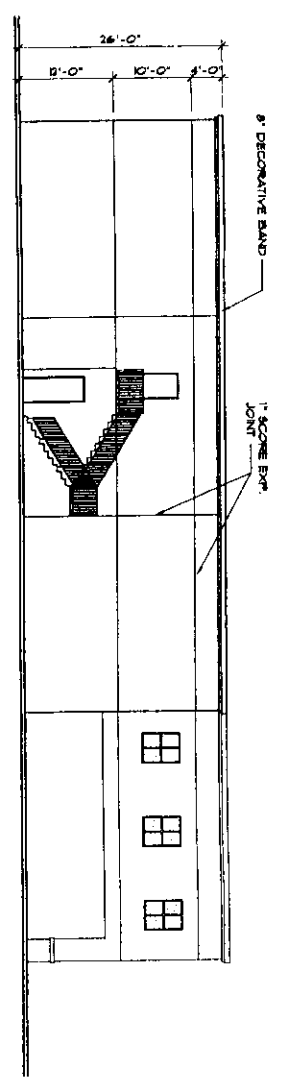
DATE: 11-28-06
SCALE: 3/32" = 1'-0"
DATE SUBMITTED FOR REVIEW:
PROJECT NO.: A-3 OF 6



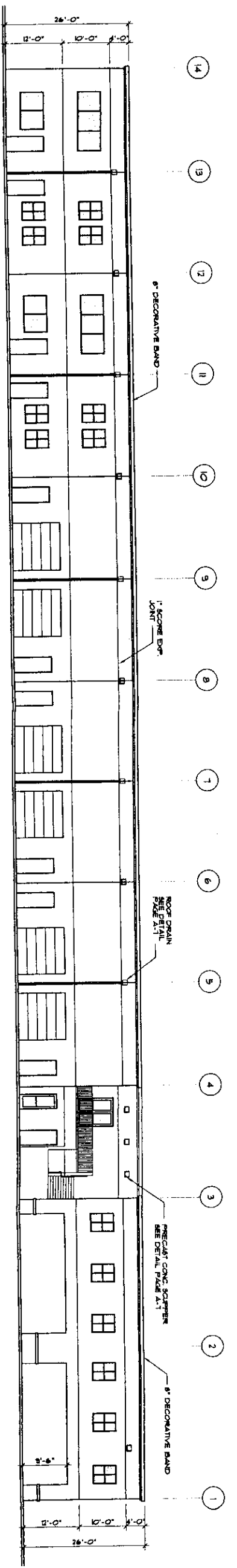
FRONT ELEVATION (SOUTH) ——— 3/32" = 1'-0"



SIDE ELEVATION (WEST) ——— 3/32" = 1'-0"

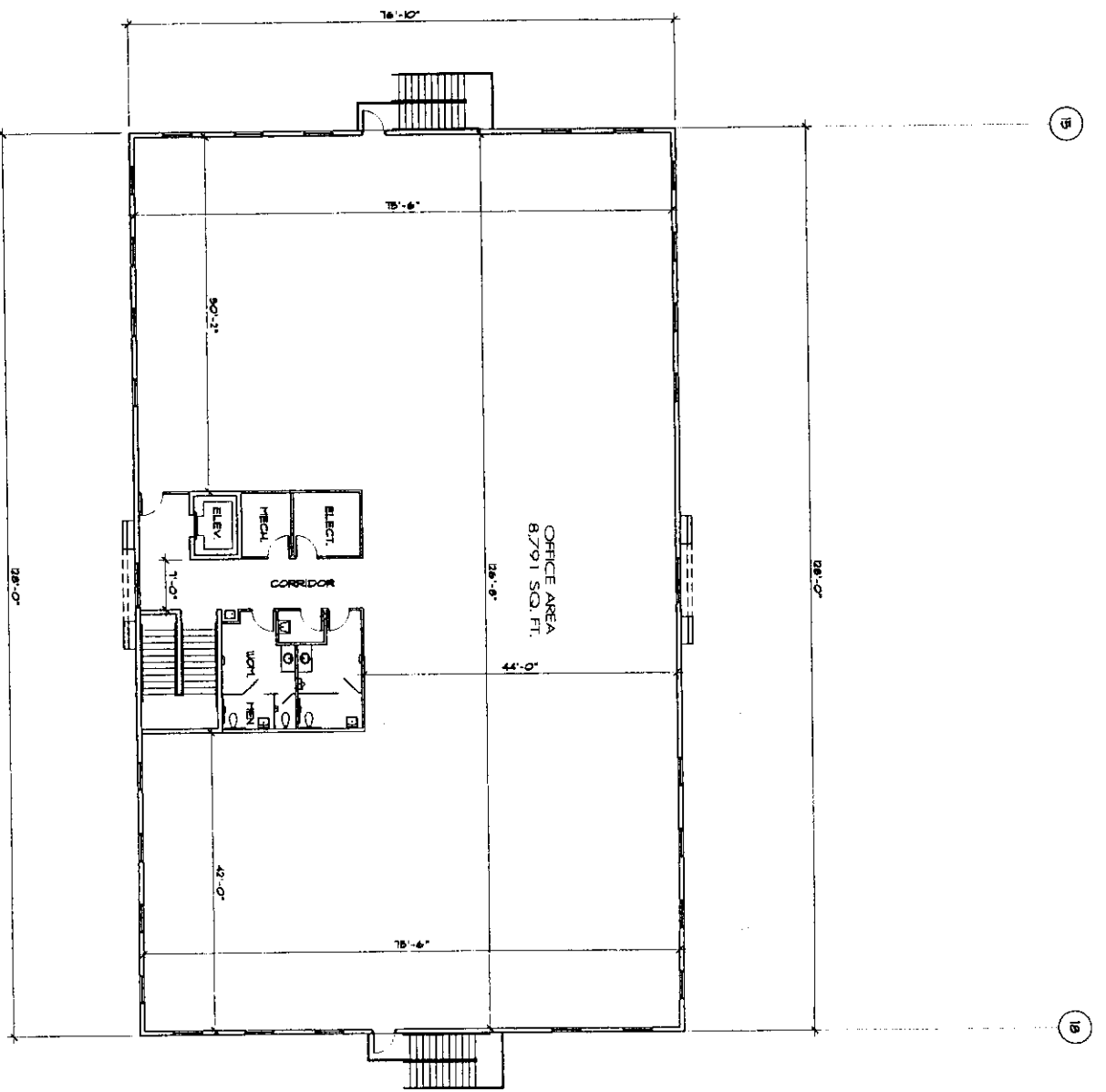


SIDE ELEVATION (EAST) ——— 3/32" = 1'-0"

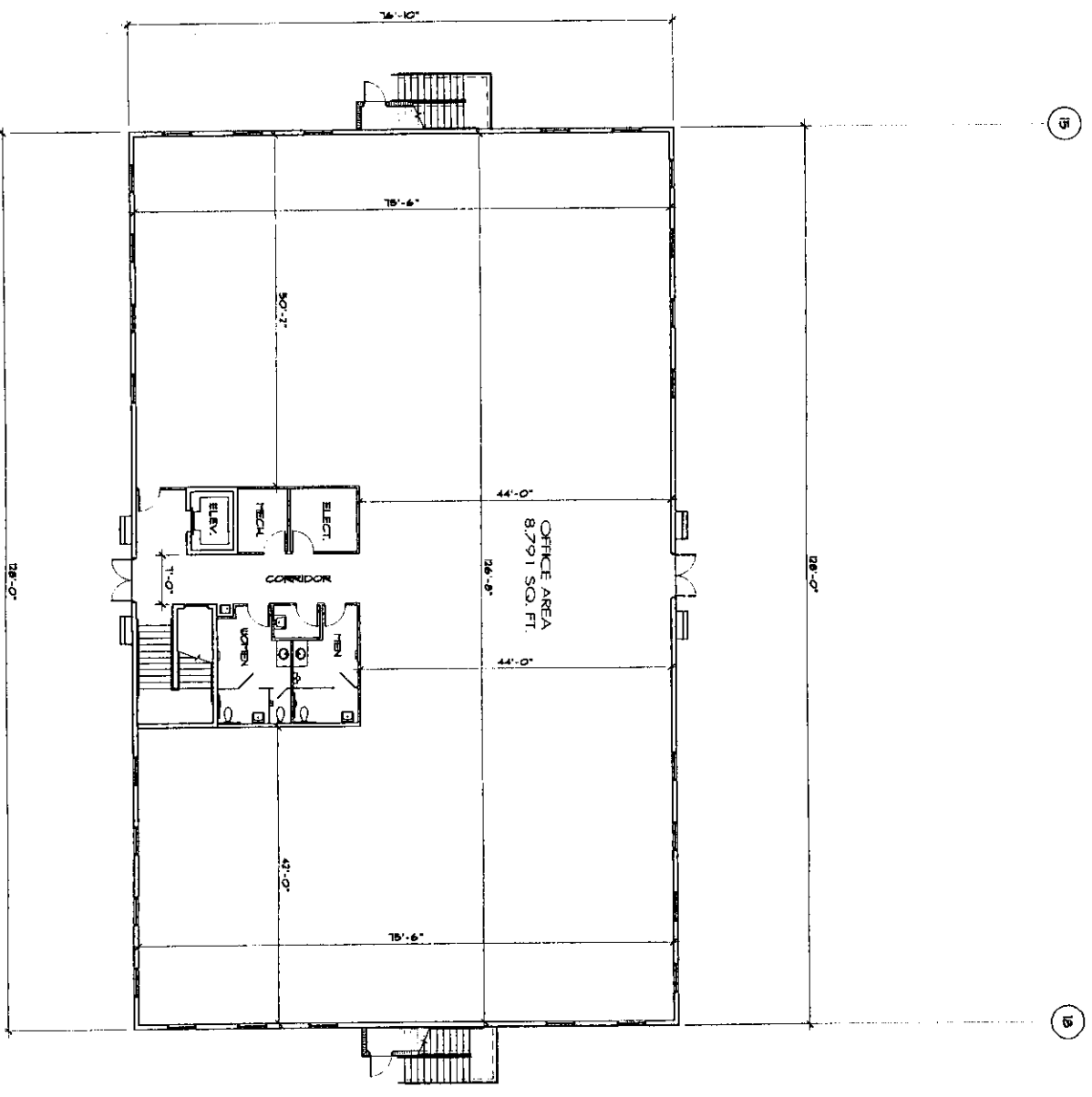


REAR ELEVATION (NORTH) ——— 3/32" = 1'-0"

REVISIONS:		REVISIONS:	
0-D-06	CITY OF DORAL COMMENTS		
1-28-08	CITY OF DORAL COMMENTS		
		VILLA & ASSOCIATES INC. ARCHITECTURE PLANNING INTERIOR DESIGN 7944 SW 48 STREET MAIAE FL 33183 (305) 961-9781 CONSULTANT:	
		SEAL:	
THE POINT AT DORAL NW 102nd AVENUE & 28th STREET MAIAE-DADE, FLORIDA		DATE: 11-29-08 SCALE: 3/32" = 1' SHEET NUMBERED PER SET: _____ DRAWING NO.: A-4 OF 6	

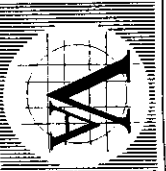


N
SECOND FLOOR PLAN — 3/32" = 1'-0"



N
GROUND FLOOR PLAN — 3/32" = 1'-0"

REVISIONS :	REVISIONS :
11-28-06 CITY OF DORAL COMMENTS	
11-28-06 CITY OF DORAL COMMENTS	

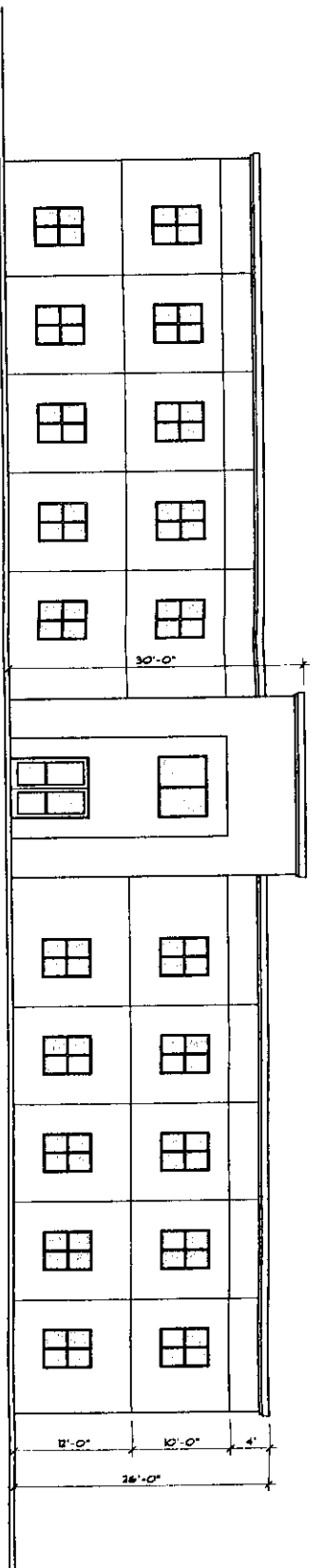


VILLA & ASSOCIATES INC.
ARCHITECTURE PLANNING INTERIOR DESIGN
7344 SW 46 STREET MAAMI FL 33166
(305) 981-8181
CONSULTANT :

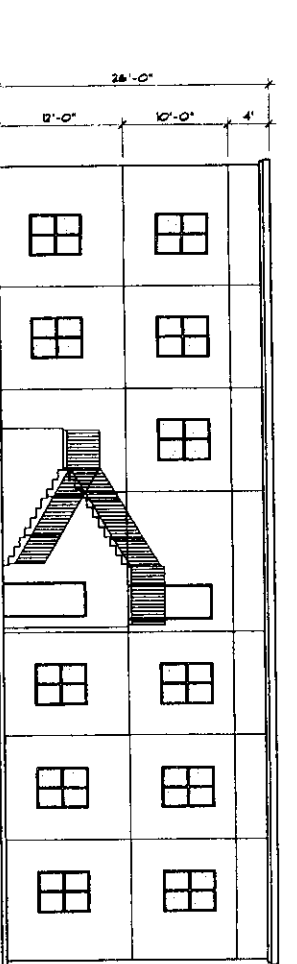
REAL
JOSE L. YLLANORICO
NO. APPROVED

THE POINT AT DORAL
NW 102nd AVENUE & 26th STREET MAAMI-DADE, FLORIDA

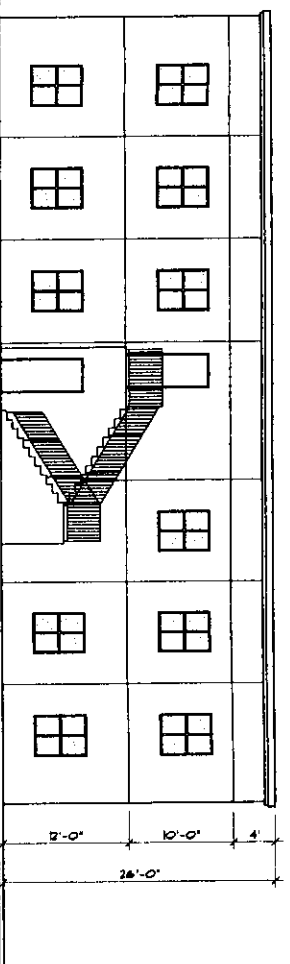
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11-28-06	0/32" = 1'
DATE QUANTITIES FOR BIDS	
DRAWING NO. :	
A-5 OF 6	



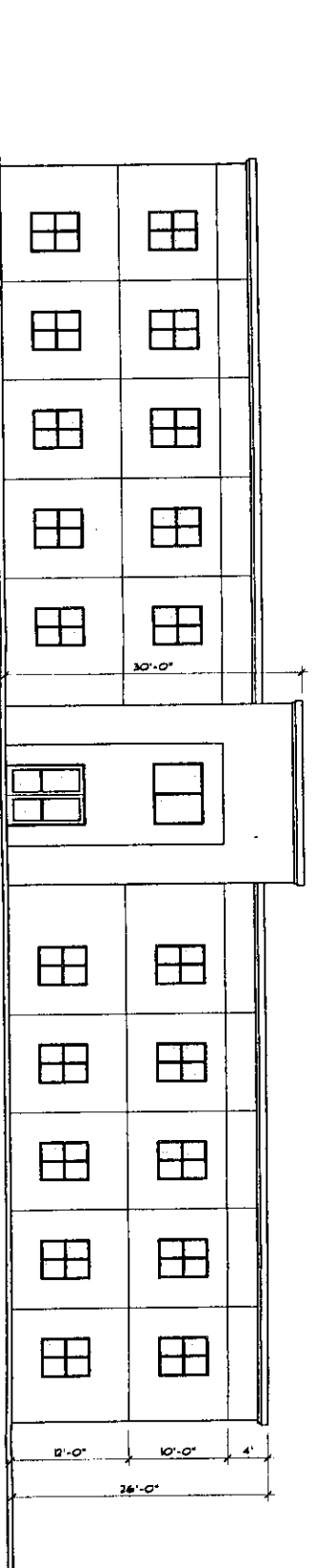
FRONT ELEVATION (SOUTH) $\frac{1}{8}'' = 1'-0''$



SIDE ELEVATION (WEST) $\frac{1}{8}'' = 1'-0''$

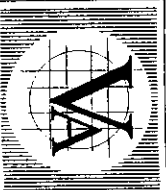


SIDE ELEVATION (EAST) $\frac{1}{8}'' = 1'-0''$



REAR ELEVATION (NORTH) $\frac{3}{32}'' = 1'-0''$

REVISIONS :	REVISIONS :
07-01-08 CITY OF DORAL COMMENTS	
11-28-08 CITY OF DORAL COMMENTS	



VILLA & ASSOCIATES INC.
 ARCHITECTURE PLANNING INTERIOR DESIGN
 7544 SW 48 STREET MAAMI FL 33185 (305) 987-9781
 CONSULTANT :

SEAL
 JORGE L. VILLAVENCO
 P.R. ARCHITECT

THE POINT AT DORAL
 1475 102nd AVENUE & 26th STREET MAAMI-DADE, FLORIDA

SHEET : 6 OF 6
 DATE : 11-28-08
 SCALE : 1/8" = 1'-0"
 DRAWING NO. : A-6 OF 6