

**RESOLUTION No. 16-172**

**A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING A SITE PLAN FOR HAWTHORN SUITES HOTEL FOR A TOTAL OF 82 GUEST ROOMS AND PARKING FOR A PROPERTY LOCATED AT 3500 NW 78 AVENUE, DORAL, FLORIDA; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, On November 18, 2015, the City of Doral adopted Ordinance No. 2015-40 amending the City's Land Development Code to establish procedures for the Mayor and City Council site plan review and approval process;

**WHEREAS**, 3500 Property Holdings LLC (the "Applicant") has submitted an application for Mayor and Council site plan approval for a hotel consisting of 72,912 square feet and 82 guest rooms located at 3500 NW 78<sup>th</sup> Avenue; and

**WHEREAS**, staff recommends approval of the requested site plan.

**WHEREAS**, pursuant to law, notice has been given by publication in a paper of general circulation in the City, notifying the public of this proposed Resolution and of the public hearings; and

**WHEREAS**, the Mayor and City Council of the City of Doral finds that the adoption and implementation of this Resolution is in the best interest and welfare of the residents of the City.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, THAT:**

**Section 1. Recital.** The above recitals are confirmed, adopted, and incorporate herein and made a part hereof by this reference.

**Section 2. Approval of Site Plan.** The Mayor and City Council hereby approves the site plan for a hotel consisting of 72,912 square feet and 82 guest rooms located at 3500 NW 78<sup>th</sup> Avenue subject to the following conditions agreed to by the Applicant and City as part of the site plan development agreement approval. The Site Plan attached here to as Exhibit "A" is approved subject to the following conditions set forth in the Development Agreement.

1. Applicant must submit separate plans for Entrance Feature.
2. All applicable impact fees shall be paid by the Applicant prior to issuance of a building permit.
3. The proposed project shall be built in substantial conformance with the plans entitled Hawthorn Suites by Wyndham, Prepared by MF Architects, dated stamped received July 19, 2016, consisting of 20 sheets, as amended.
4. The Property shall be landscaped in accordance with the landscape plan, prepared by Lewis Aquilino, L+A+D, date received July 19, 2016, as amended, and included with the site plan submittal.
5. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
6. The applicant shall comply with Ordinance No. 2015-09 "Public Arts Program"
7. All applicable local, state and federal permits must be obtained before commencement of the development.
8. Add a note to the building permit plan stating that the Developer shall comply with the Solar Reflective Index (SRI) requirements for multi-family residential projects in Sec. 77-195 of the City of Doral Code.
9. The project shall comply with the requirements set forth in Sections in Ordinance No. 2016-03, if applicable.

10. The project should incorporate the Low Impact Development (LID) practices in the project design consistent with Section 74-881 of the Land Development Code.
11. Provide compliance with the Floodplain Management regulation (Sec. 53-344).
12. Project shall meet the requirements of the City's Floodplain Management Ordinance. Project team should contact the City's Floodplain Administrator to review the requirements of the Floodplain Management Ordinance.
13. A revised Sheet L-1 depicting the revised Landscape Legend shall be submitted at time of Building Permit.
14. Applicant shall indicate how the project will meet the requirement of the LDC Sec. 77-195 solar reflective index (SRI) of 28 or greater.
15. The project is encourage to participate in the City's Green Program (Ordinance No. 2013-37).
16. The Applicant shall comply with applicable conditions and requirements provided by Miami-Dade County Public Works Department, Water and Sewer Department, Fire Rescue Department, and Regulatory and Economics Resources (DRER) prior to issuance of building permit.
17. The hours of operation during the construction shall adhere to as per Noise Ordinance No. 2011-01.
18. The Applicant shall submit a construction staging plan for review and approval prior to commencement of construction. The staging area shall be kept clean at all times, adequately screened and located away from view of existing homes located adjacent to the construction site.
19. Access points for construction vehicles shall be identified as part of the construction plan submitted to the City. Construction vehicles with access to the site shall adhere to existing "no thru truck" areas.
20. The Applicant shall provide a Construction Air Quality Management Plan to the Department prior to the start of construction.
21. A Stormwater Pollution Prevention Plan (SPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for

- implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where top soil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
22. The Applicant shall preserve existing trees (including native trees) during the development of the project, wherever possible. If the trees must be removed, the Applicant shall be required to mitigate the impact in accordance with DRER requirements. If the relocated trees do not survive, the Applicant shall be required to replace the trees in compliance with DRER requirements.
  23. The Applicant shall meet the requirements of the Miami-Dade County Water-Use Efficiency Standards Manual, effective January 2009, as may be amended from time to time.
  24. All stormwater shall be retained on site in accordance with applicable law.
  25. All stormwater drainage systems shall be maintained in working conditions at all times in order to avoid localize flooding during and after a storm.
  26. Parking shall be prohibited on top of any drainage inlet or drainage manhole.
  27. Developer shall be responsible for providing the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
  28. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP) Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center.



Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.

29. Noncompliance with the approved site plan and the terms of this approval shall be considered a violation of the City Code.
30. Approval Traffic Analysis Plan, if required.
31. Approval from Miami-Dade Public Works Traffic Division, if required.

The following comments are advisory and will be requirements for the Paving and Drainage submittal:

32. The revised “throat distance” of the driveway (measured from the edge of future road edge of pavement) was administratively approved taking into consideration the public access private road characteristics of the property and public roadway design standards. As such, roadway and infrastructure improvements are required for NW 78 Avenue per Miami-Dade County Public Works Standard Detail R 3.4, “70’ R/W – 3 Lanes Industrial” road section. Additional requirements shall include a sidewalk (5’ wide minimum) along the western access easement line, and a grass swale with trees between the curb & gutter and the front of sidewalk. On-street parallel parking is optional.
33. DERM approval will be required for all new onsite and offsite drainage.
34. Ensure that the hotel monument sign does not impede visibility of the roadway travel lane from vehicles exiting the hotel driveway.

**Section 3. Implementation.** The City Manager and the City Attorney are hereby authorized to take such further action as may be necessary to implement the purpose and provisions of this Resolution.

**Section 4. Effective Date.** This Resolution shall become effective upon its passage and adoption by the City Council and is binding on all successors and assigns.

The foregoing Resolution was offered by Councilmember Cabrera who moved its adoption. The motion was seconded by Councilmember Rodriguez and upon being put to a vote, the vote was as follows:

Mayor Luigi Boria	Yes
Vice Mayor Christi Fraga	Yes
Councilman Pete Cabrera	Yes
Councilwoman Ana Maria Rodriguez	Yes
Councilwoman Sandra Ruiz	Yes

PASSED AND ADOPTED this 23 day of August, 2016.

  
\_\_\_\_\_  
LUIGI BORIA, MAYOR

ATTEST:

  
\_\_\_\_\_  
CONNIE DIAZ, CMC  
CITY CLERK

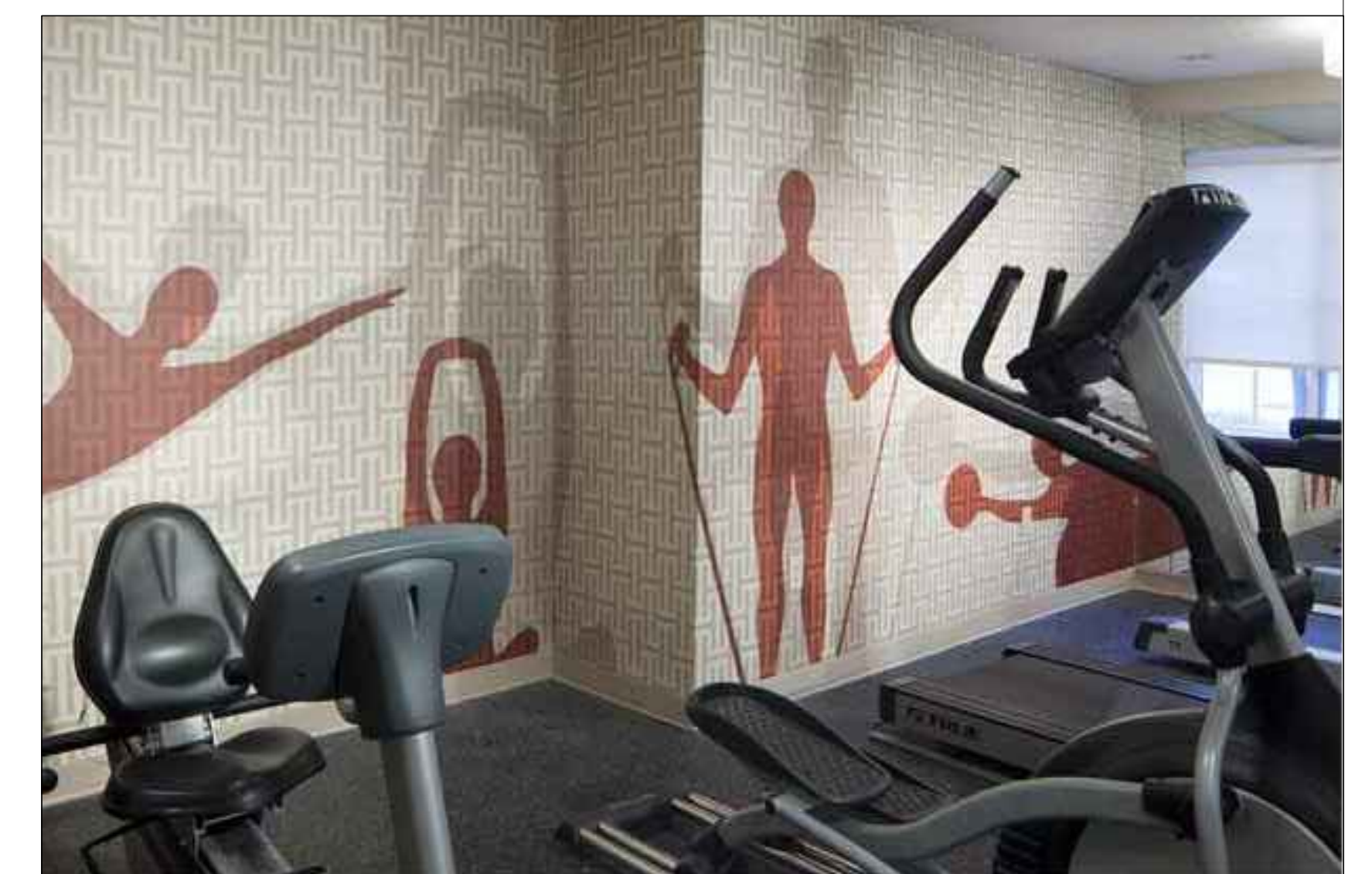
APPROVED AS TO FORM AND LEGAL SUFFIENCY  
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

  
\_\_\_\_\_  
WEISS, SEROTA, HELFMAN, COLE & BIERMAN, P.L.  
CITY ATTORNEY



# HAWTHORN<sup>®</sup>

## SUITES BY WYNDHAM



### OWNERS

3500 PROPERTY HOLDINGS, LLC.  
7801 NW 37th STREET SUITE 108  
DORAL, FL 33195  
T.786.703.4804

### CIVIL ENGINEER

RODOLFO IBARRA, P.E. P.A.  
12301 SW 128th COURT  
MIAMI, FL 33186  
T.305.281.8746

### LANDSCAPE ARCHITECT

LEWIS AQUI, L+A+D.  
7408 B SW 48th STREET  
MIAMI, FL 33155  
T.305.796.2575

### DEVELOPER / OWNERS REP.

NI2 CONSTRUCTION, CORP.  
2130 SW 13th AVENUE  
MIAMI, FL 33145  
T.786.347.1873

### STRUCTURAL ENGINEER

CSW STRUCTURAL GROUP, INC.  
5397 ORANGE DRIVE, SUITE 203  
DAVIE, FL 33314  
T.954.316.9001

### LANDSCAPE ARCHITECT

LEWIS AQUI, L+A+D.  
7408 B SW 48th STREET  
MIAMI, FL 33155  
T.305.796.2575

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FOR CORRECTING ANY ERRORS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

# HAWTHORN<sup>®</sup>

## SUITES BY WYNDHAM

HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
COVER SHEET

DATE:  
01.18.2016

SEAL:

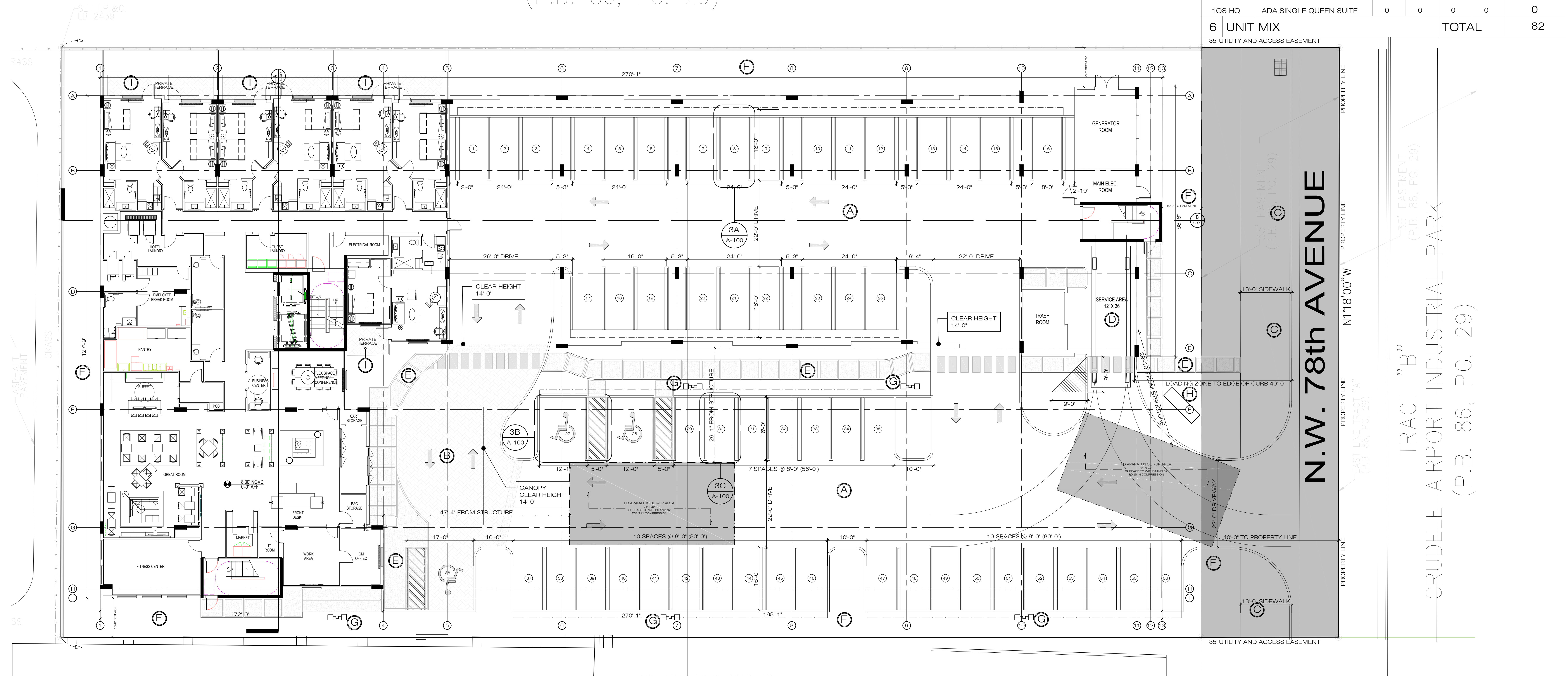
ARCH. LICENSE  
AR 0011733

A-000



TRACT "A"  
CRUDELE AIRPORT INDUSTRIAL PARK  
(P.B. 86, PG. 29)

MARK	ROOM TYPE	FLOOR LEVEL				TOTAL
		1	2	3	4	
1BEDS	2 BEDROOM SUITE	3	13	15	13	44
1BEDS HQ	ADA 2 BEDROOM SUITE	0	2	0	2	4
QQS	DOUBLE QUEEN STUDIO	0	7	7	7	21
QQS HQ	ADA DOUBLE QUEEN STUDIO	0	0	0	0	0
KS	KING STUDIO	0	3	3	3	9
KS HQ	ADA KING STUDIO	0	0	0	0	0
1QS	SINGLE QUEEN SUITE	1	1	1	1	4
1QS HQ	ADA SINGLE QUEEN SUITE	0	0	0	0	0
<b>6</b>	<b>UNIT MIX</b>	<b>TOTAL</b>				<b>82</b>



**1 SITE PLAN**

**SITE DATA:**  
 GROSS LOT AREA: 48,750.0427 SF  
 1.119 ACRES  
 SITE ADDRESS: 3500 NW 78TH AVE  
 LEGAL DESCRIPTION: CRUDELE AIRPORT INDUSTRIAL PARK  
 PB 86-29 N150' OF S385' OF TRACT A  
 OR 14691-2502 0690 1

**ZONING DATA:**

SITE DISTRICT: VILLAGE SUB-DISTRICT	REQUIRED	PROVIDED
DENSITY: (75 GR / ACRE)	83 GR	82 GR
BUILDING COVERAGE: .75 X GLA	36,562.531 SF	21,156.6456 SF
MAXIMUM HEIGHT: WIDTH OF R-O-W	50' R-O-W	49'-10"
OPEN SPACE: 10% OF GLA	4,875 SF	11,984 SF

**SETBACKS:**

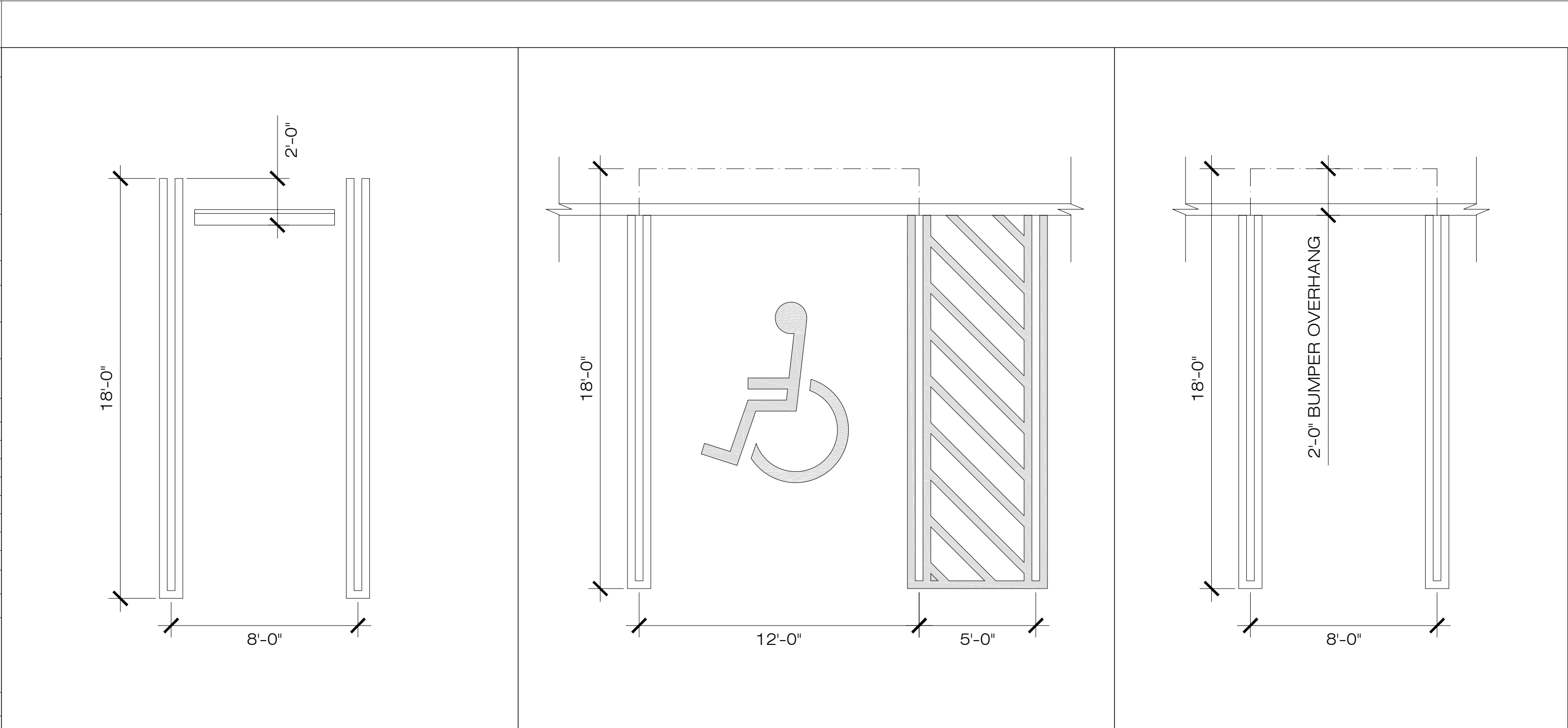
FRONT	0' - 10'-0"	10'-0" FROM EASEMENT
SIDE	0' - 10'-0"	10'-0"
REAR	0'	+- 10'-0"

**FAR:**

FLOOR	REQUIRED	PROVIDED
GRFUND FLOOR @ .75	36,562 SF	9,275 SF
2ND FLOOR @ .5	24,375 SF	21,271 SF
3RD FLOOR @ .5	24,375 SF	21,095 SF
4TH FLOOR @ .5	24,375 SF	21,271 SF
<b>TOTAL</b>	<b>109,687 SF</b>	<b>72,912 SF</b>

**PARKING: (LODGING)**

REQUIREMENT	REQUIRED	PROVIDED
1) 1 SPACE FOR THE FIRST 40 UNITS	40 SPACES	
2) 1 SPACE FOR EVERY 2 UNITS THEREAFTER	21 SPACES	
3) 1 SPACE FOR EVERY 4 EMPLOYEES	1 SPACE	
4) PARKING REDUCTION - 75% OF REQUIRED	-16 SPACES	
<b>TOTAL SPACES</b>	<b>46 SPACES</b>	<b>56 SPACES</b>



- 4 GENERAL NOTES**
- BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY.
  - LOT SHALL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES AND / OR RIGHT OF WAY.
  - PROVIDE "VULCLAY" WATERPROOFING AT ALL CONCRETE AND MASONRY WALLS EXPOSED TO EARTH.
  - FOR GRADING, PAVEMENTS, DRAINAGE SYSTEMS AND ALL OTHER SITE INFORMATION REFER TO CIVIL DRAWING.
  - ALL PERMANENT STRUCTURES MUST BE CLEAR OF THE RECORDED 35' ACCESS AND UTILITY EASEMENT LOCATED AT THE PRINCIPAL FRONTAGE OF THE PROPERTY.
  - ALL SITE CONCRETE PAVERS SHALL BE INSTALLED OVER A CRUSHED LIME ROCK BASE FOR LEVELING, OVER A PERMEABLE FABRIC TO PREVENT THE GROWTH OF VEGETATION BETWEEN THE CONCRETE PAVERS.
  - NO PLANTINGS OTHER THAN SOD FOR 24" FROM CONCRETE CURBS, WHERE PARKING STALLS OVERHANG.
- 5 SITE LEGEND**
- (A) ASPHALT PAVEMENT
  - (B) CONCRETE PAVERS
  - (C) STREET TREES WITH GRATES
  - (D) 12 X 36' LOADING AREA
  - (E) CONCRETE SIDEWALK
  - (F) LANDSCAPED AREAS
  - (G) PARKING LIGHTING
  - (H) HOTEL MONUMENT SIGN
  - (I) PRIVATE TERRACES
  - (1) PARKING COUNT

**2 ZONING DATA**

**3 PARKING SPACE DETAILS**

SCALE: 1/4" = 1'-0"

**4 GENERAL NOTES**

**5 SITE LEGEND**

**REVISIONS**

DATE	DESCRIPTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ANY AND ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ANY AND ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ANY AND ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED.



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

**MF Architects**  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

**DRAWN BY:**  
CAN

**SHEET TITLE:**  
SITE PLAN

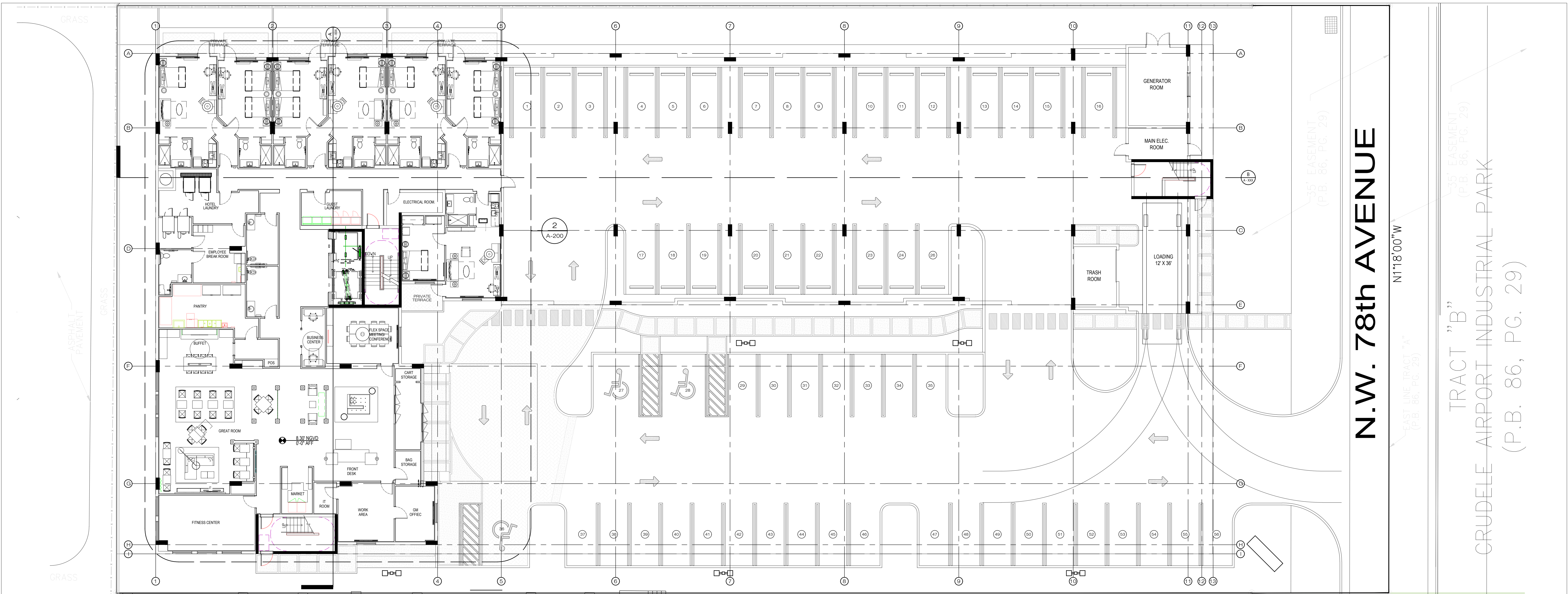
**DATE:**  
01.18.2016

**SEAL:**

**ARCH. LICENSE:**  
AR 0011733

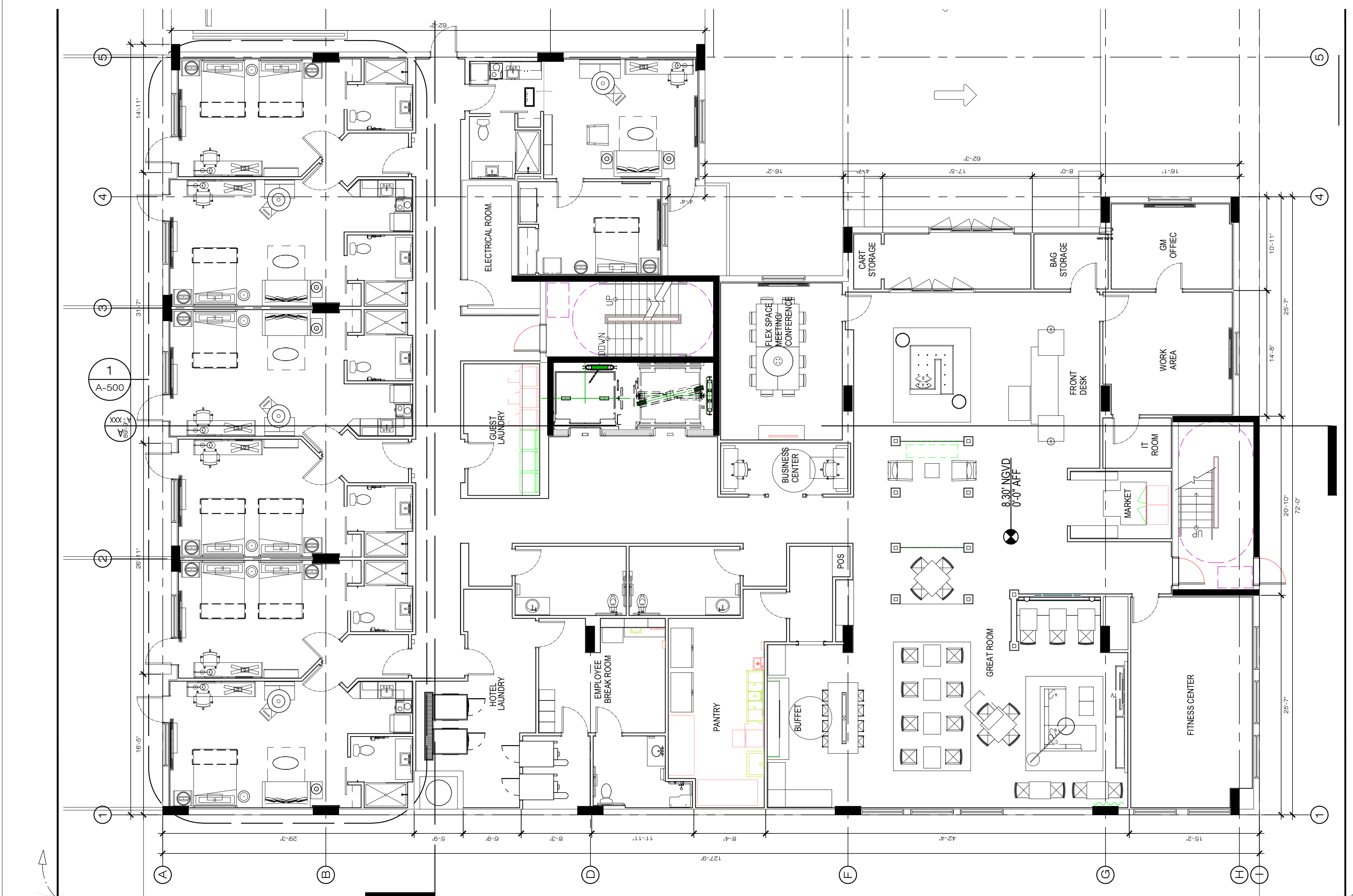
**A-100**





1 GROUND FLOOR PLAN

SCALE : 3/32 = 1'-0"



2 GROUND FLOOR PLAN - ENLARGED

SCALE : 1/8" = 1'-0"

1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
8. FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
9. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

3 GENERAL NOTES

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 SYMBOL LLEGEND

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE CONSTRUCTION OF THIS PROJECT.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
GROUND FLOOR PLAN

DATE:  
01.18.2016

SEAL:

ARCH. LICENSE  
AR 0011733

**A-200**



1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
5. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
6. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE. REFER TO SPECIFICATIONS SECTION 10-28-00.
7. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
8. 'CLEAR' DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
9. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
10. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
2ND FLOOR PLAN

DATE:  
01.18.2016

SEAL:

ARCH. LICENSE  
AR 0011733

**A-210**

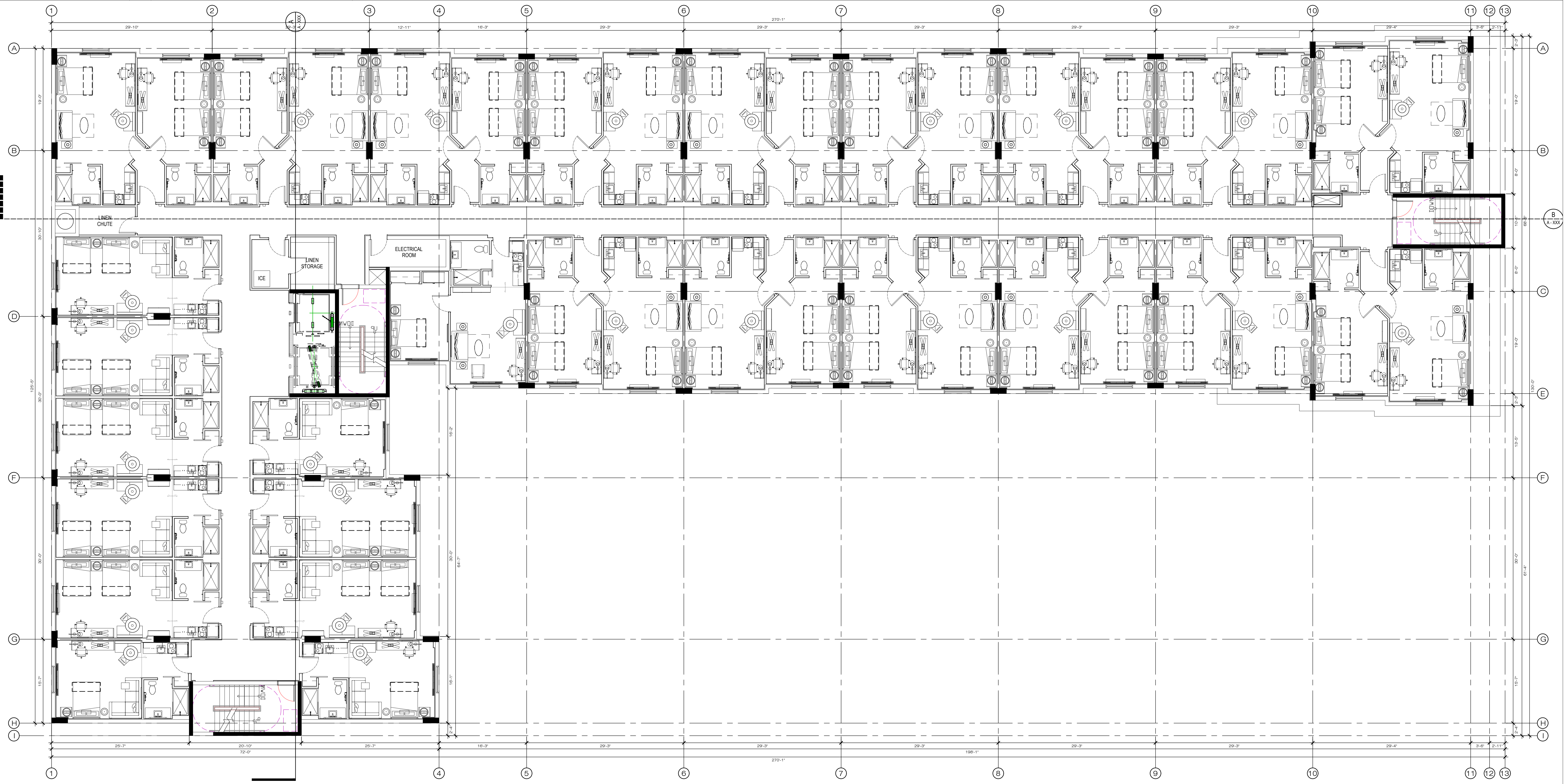


- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN FROM THE FACE UNLESS OTHERWISE SPECIFIED. ANY CONSTRUCTION IN AREA OF PROPOSED NEW WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DIMENSIONS AND LOCATIONS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE DRAWINGS AND SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
3RD FLOOR PLAN

DATE:  
01.18.2016  
SEAL:

ARCH. LICENSE  
AR 0011733

**A-220**



1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
9. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
10. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
4TH FLOOR PLAN

DATE:  
01.18.2016  
SEAL:

ARCH. LICENSE  
AR 0011733

A-230

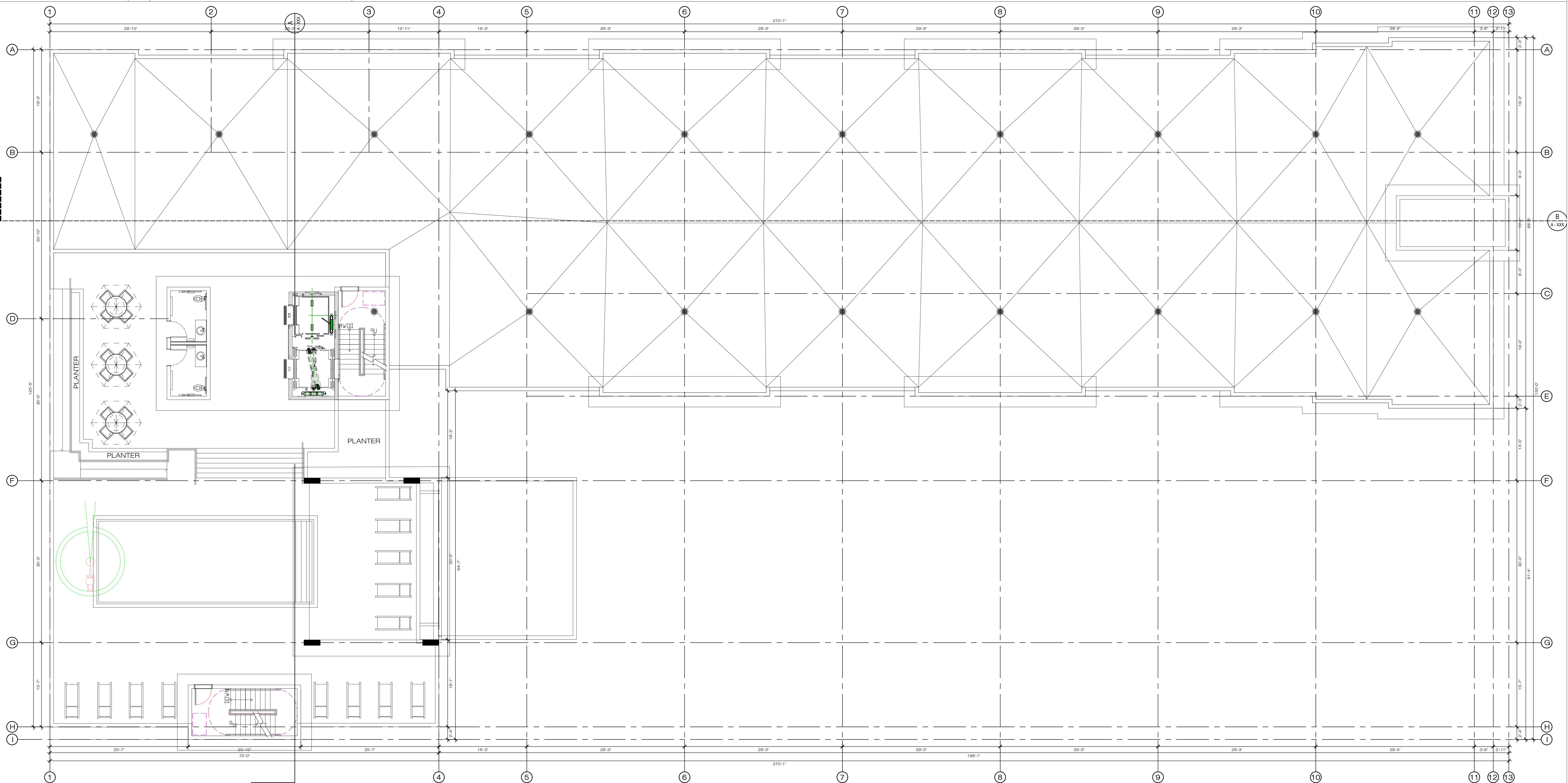


1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
8. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
9. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

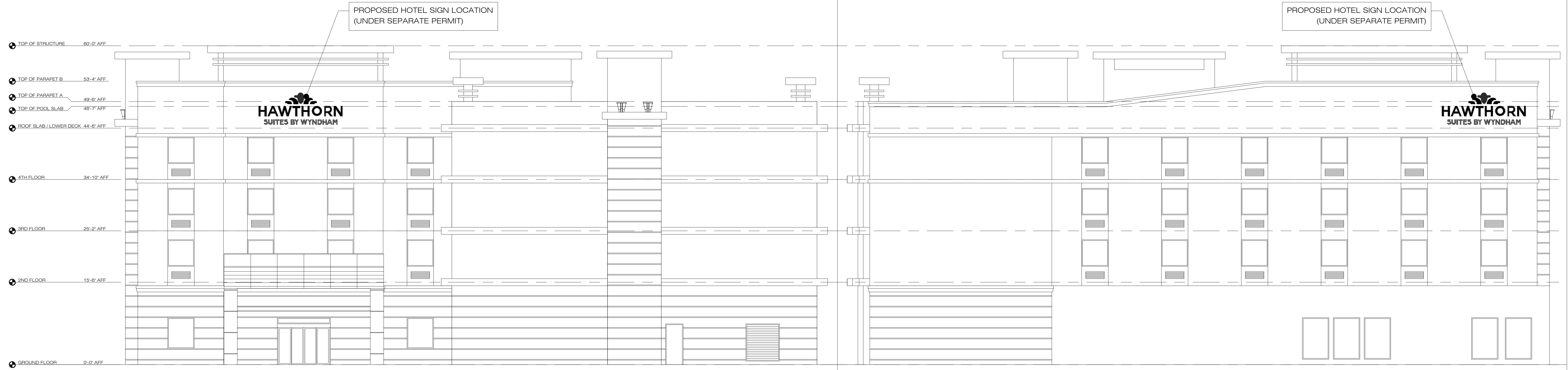
DRAWN BY:  
**CAN**

SHEET TITLE:  
 ROOF - POOL DECK PLAN

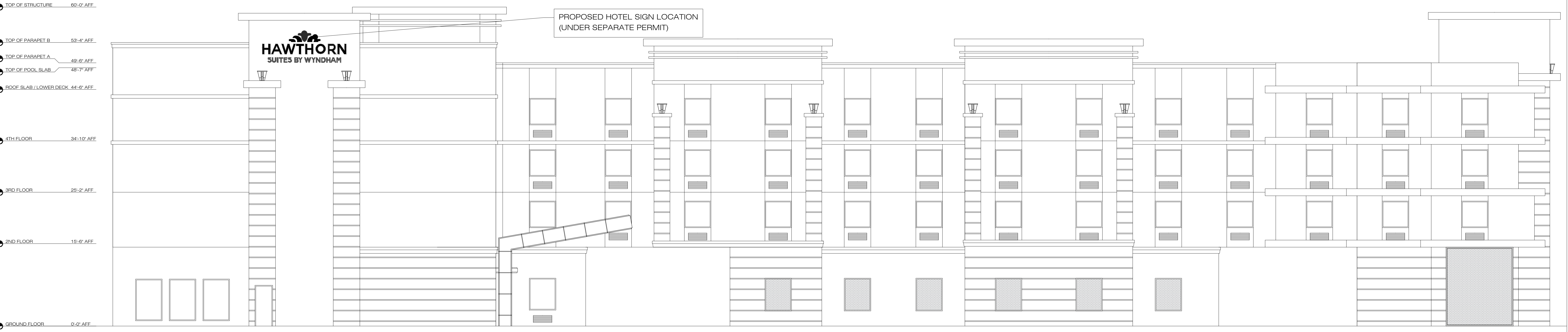
DATE:  
 01.18.2016  
 SEAL:

ARCH. LICENSE  
 AR 0011733

**A-240**



1 EAST ELEVATION SCALE : 1/8" = 1'-0" 2 WEST ELEVATION SCALE : 1/8" = 1'-0"



3 SOUTH ELEVATION SCALE : 1/8" = 1'-0"



4 NORTH ELEVATION SCALE : 1/8" = 1'-0"

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED. ANY CONSTRUCTION IN AREA OF PROPOSED NEW WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. EXISTING UTILITIES OR CONSTRUCTION, THESE DRAWINGS AND LOGS SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE DRAWINGS.



HAWTHORN SUITES BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
 CAN

SHEET TITLE:  
 EXTERIOR ELEVATIONS

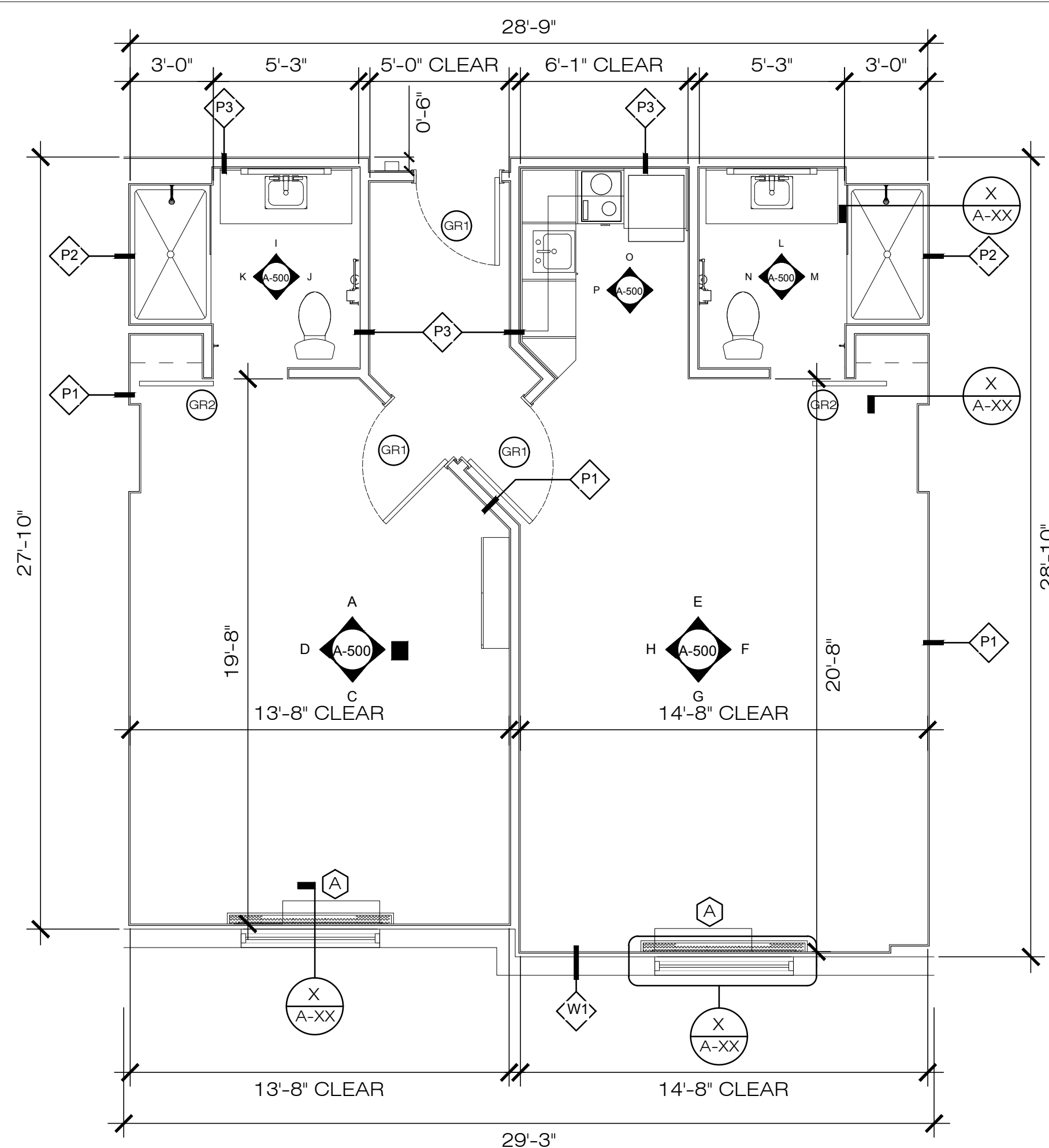
DATE:  
 01.18.2016

SEAL:

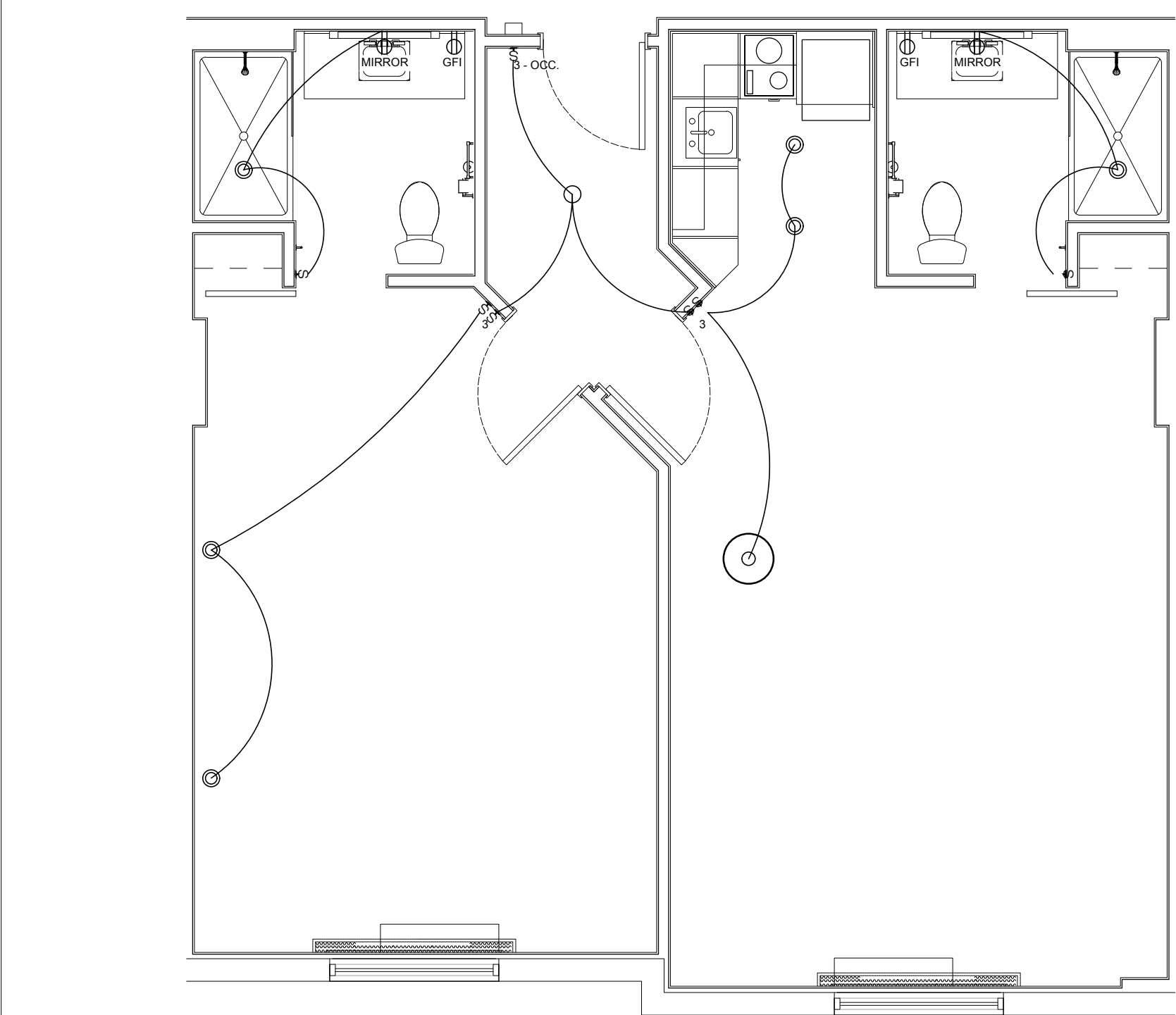
ARCH. LICENSE  
 AR 0011733

A-400

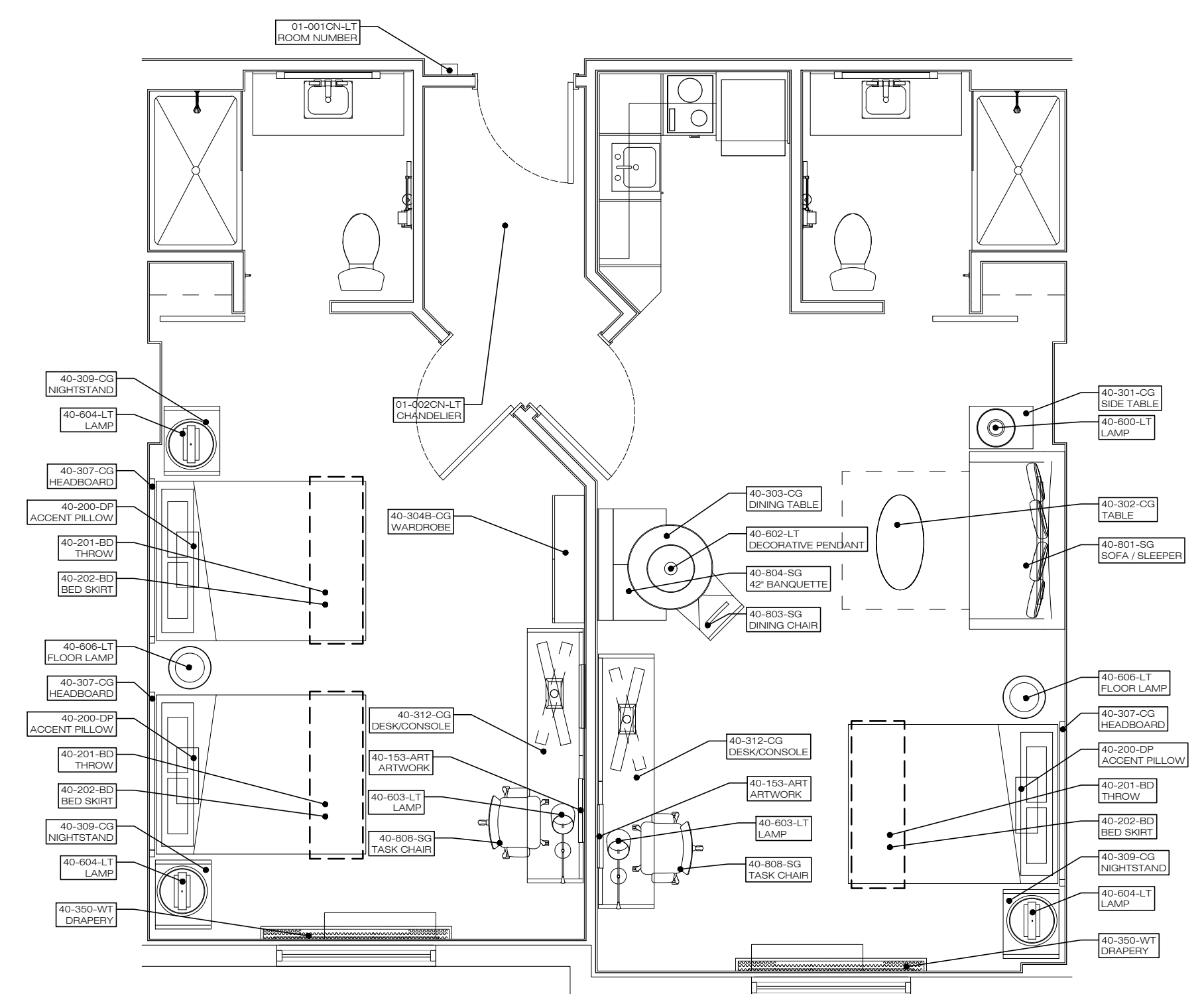




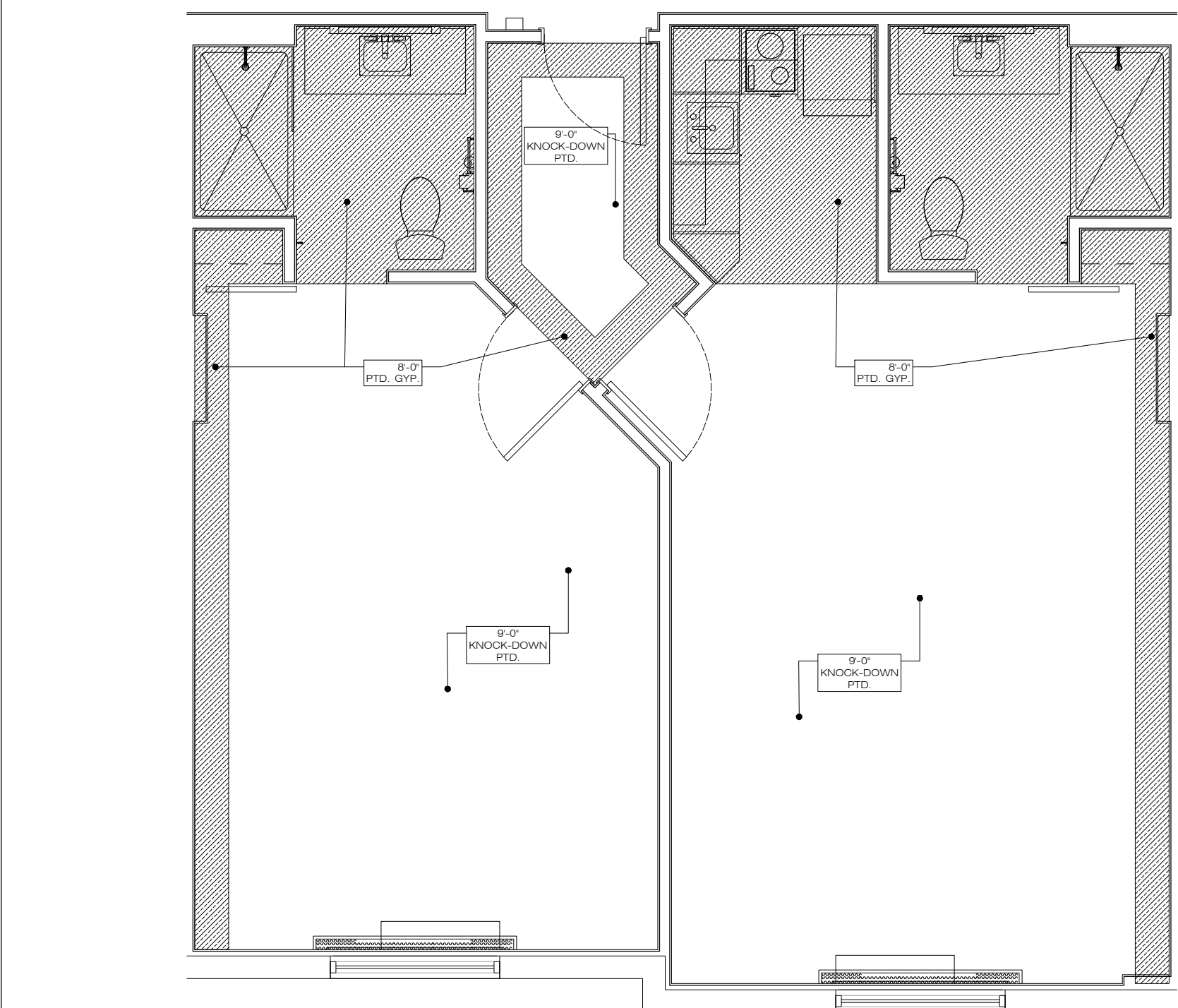
1 UNIT FLOOR PLAN



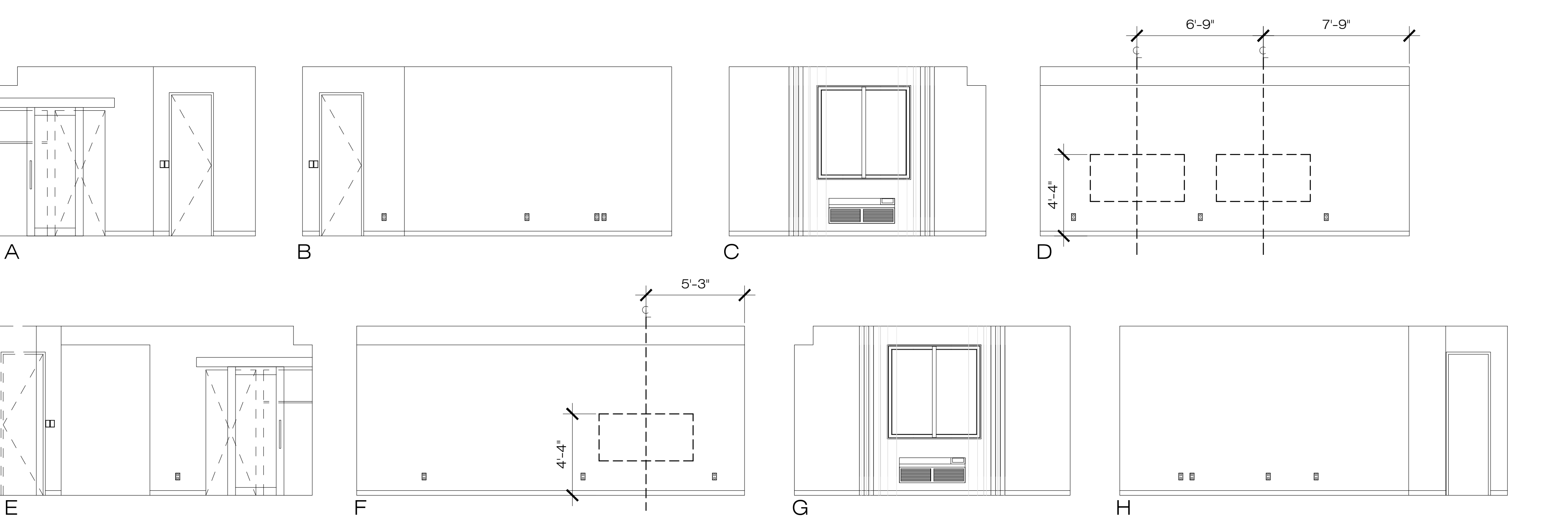
3 ELECTRICAL PLAN



2 FF&E PLAN  
SCALE : 1/4" = 1'-0"

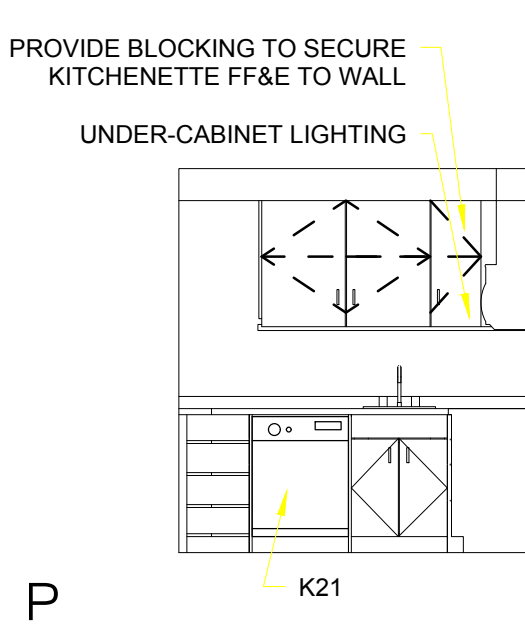
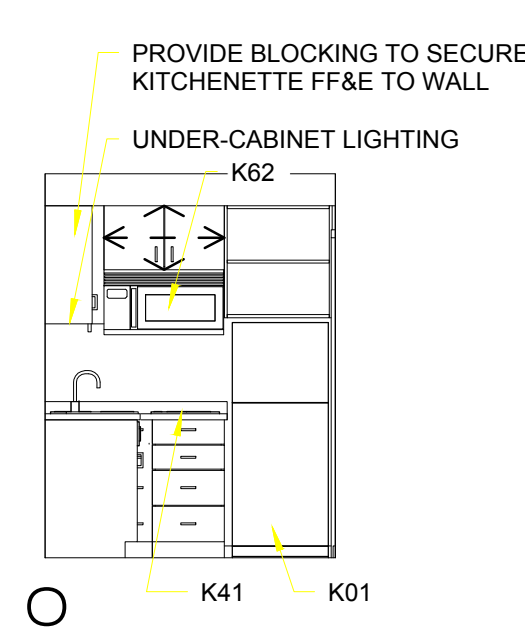
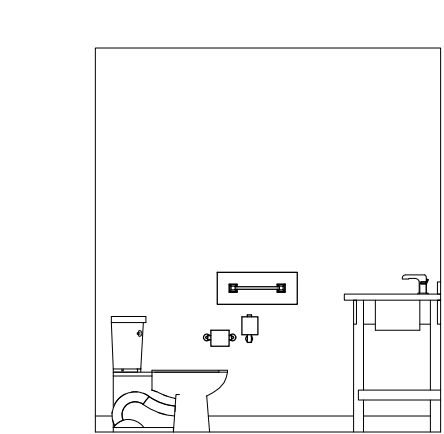
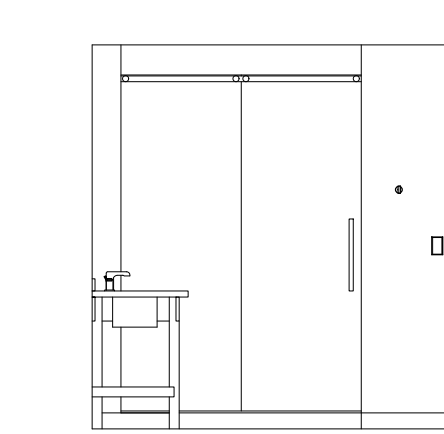
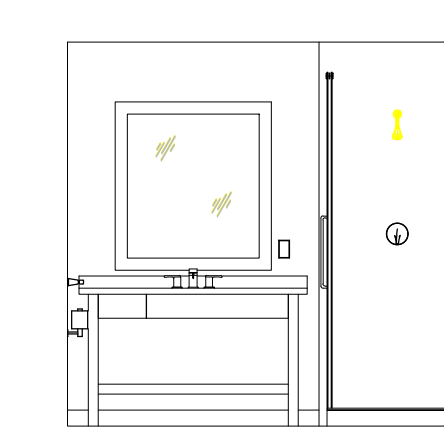
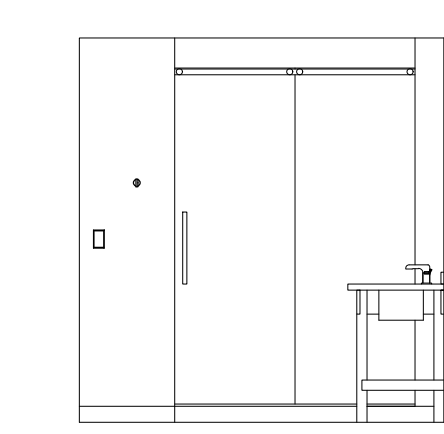
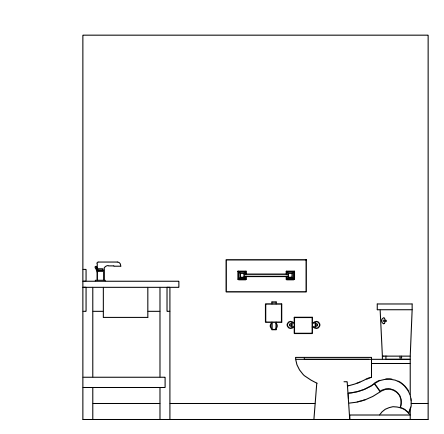
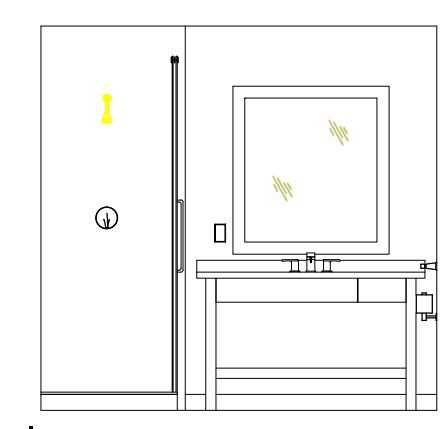


4 REFLECTED CEILING PLAN



5 ELEVATIONS - SLEEPING AREAS

SCALE : 1/4" = 1'-0"



6 ELEVATIONS - BATH & KITCHENS

SCALE : 1/4" = 1'-0"

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- (XXX) FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- (O) CEILING MOUNTED LIGHT FIXTURE
- (O) RECESSED LIGHT FIXTURE
- (3 way) 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- (3 way) 3 WAY LIGHT SWITCH
- (S) LIGHT SWITCH
- (R) RECEPTACLE
- (GFI) GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE TIME OF THE PROCEEDING WITH THE WORK. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS.



HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
ENLARGED (1 BEDS)  
1 BED SUITE

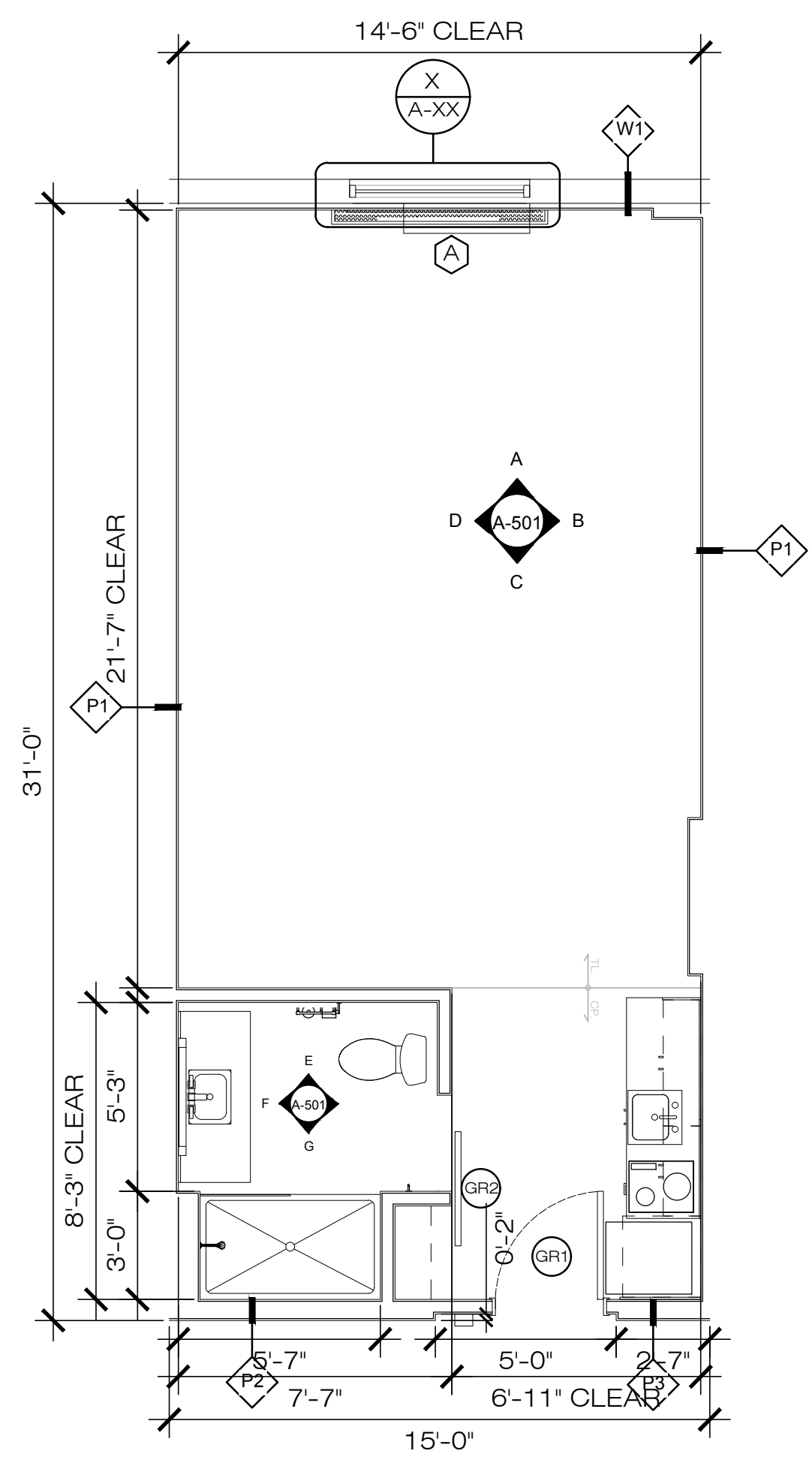
DATE:  
01.18.2016

SEAL:

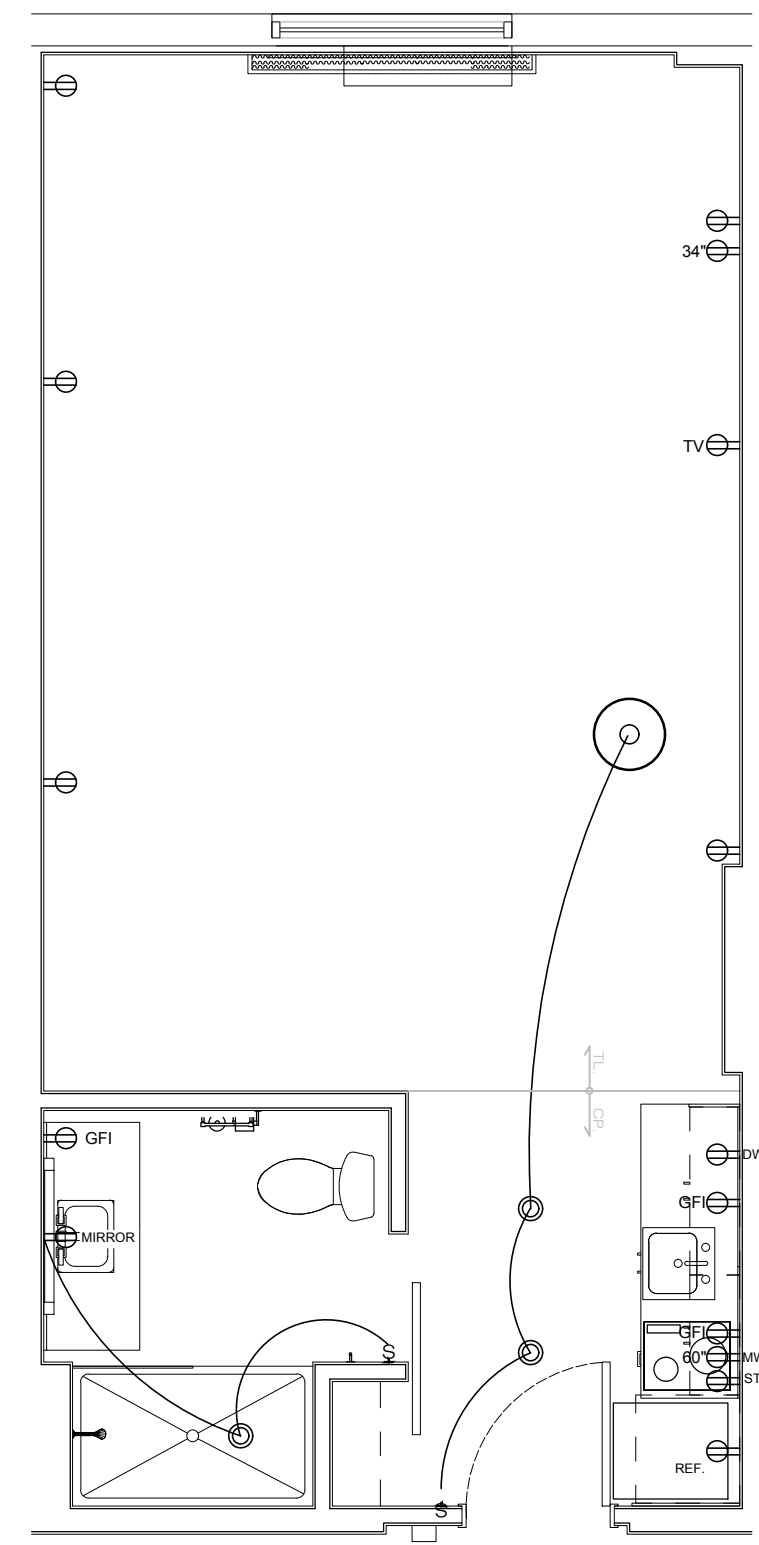
ARCH. LICENSE  
AR 0011733

A-500

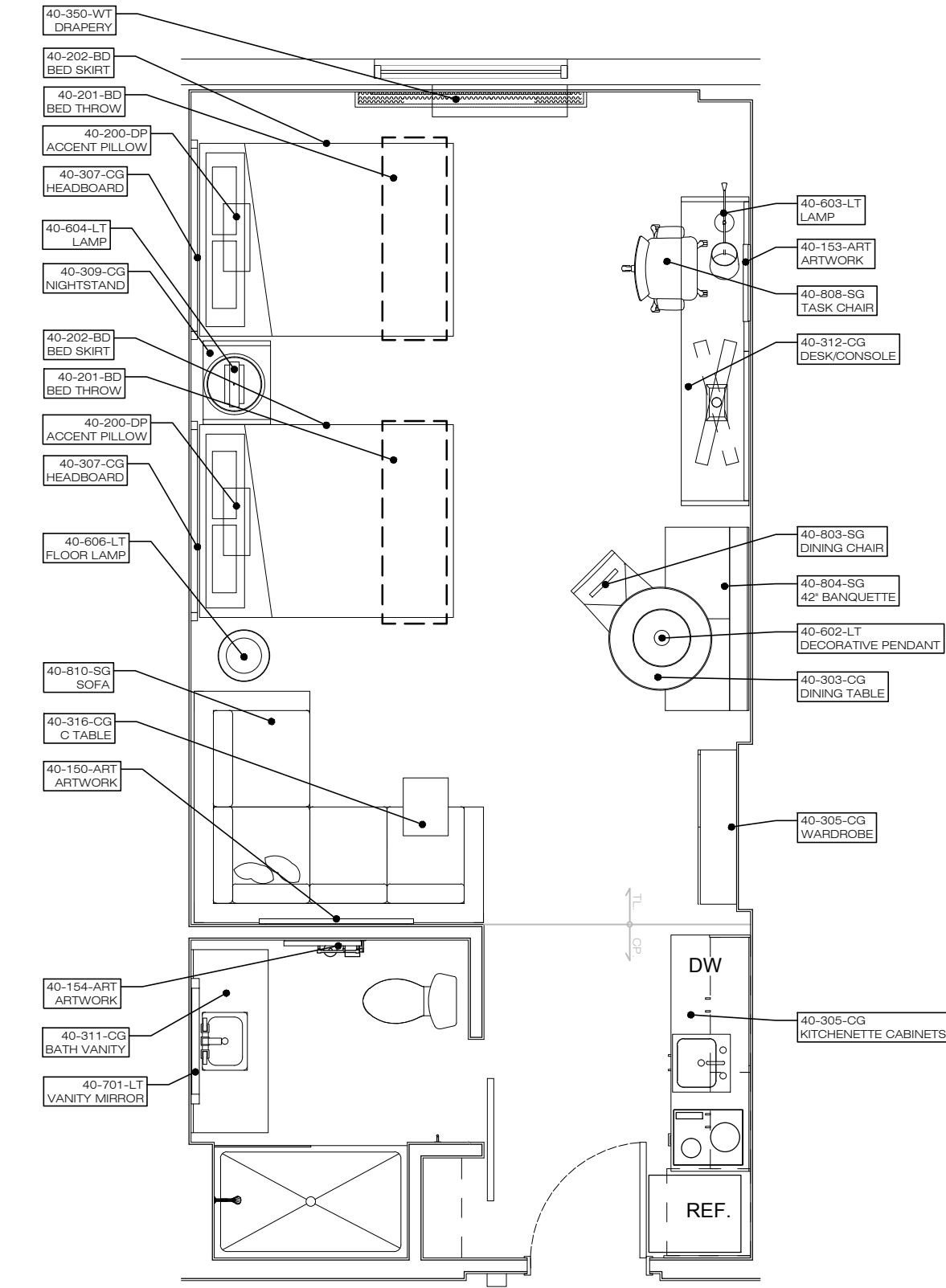




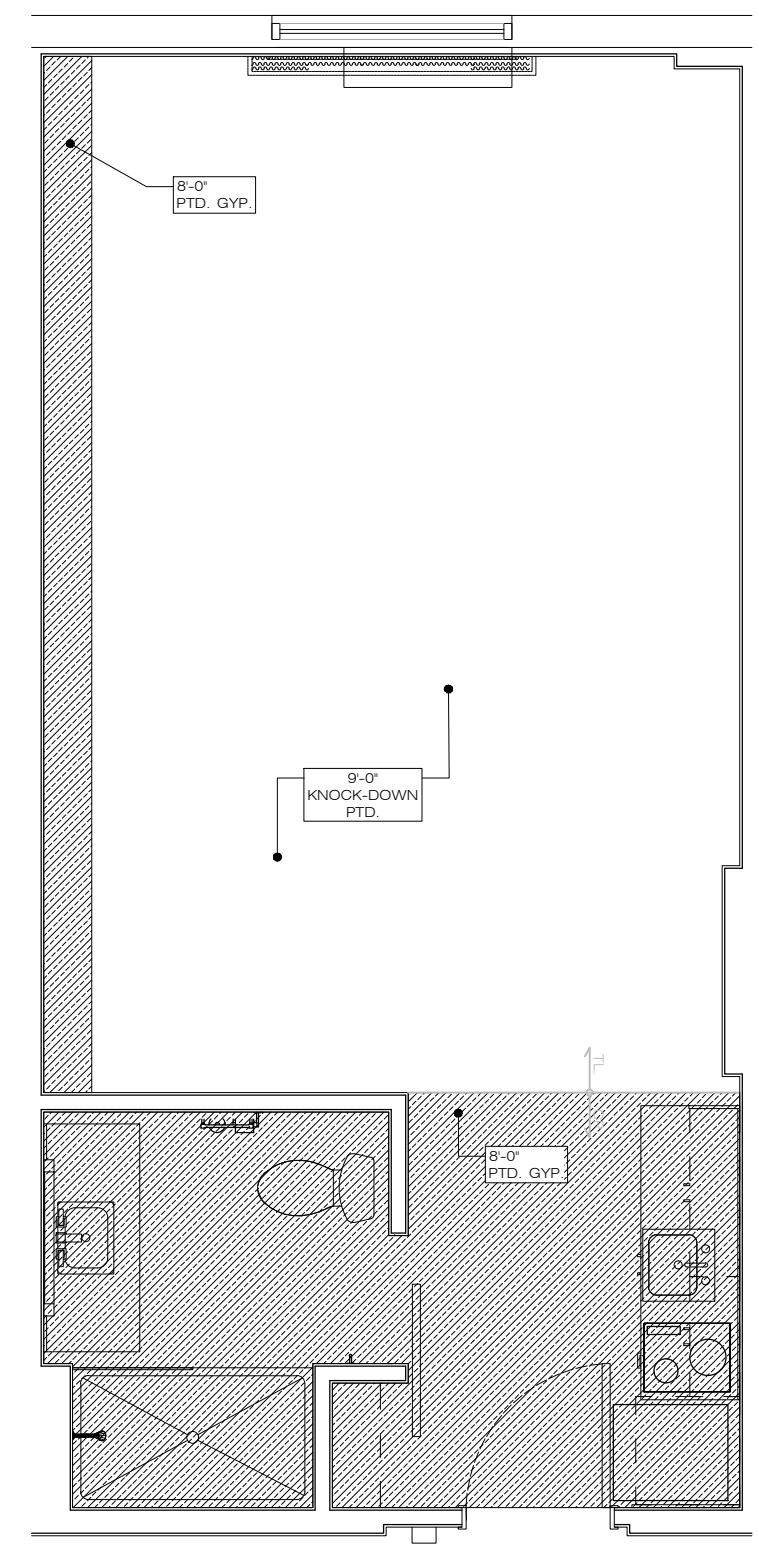
1 UNIT FLOOR PLAN



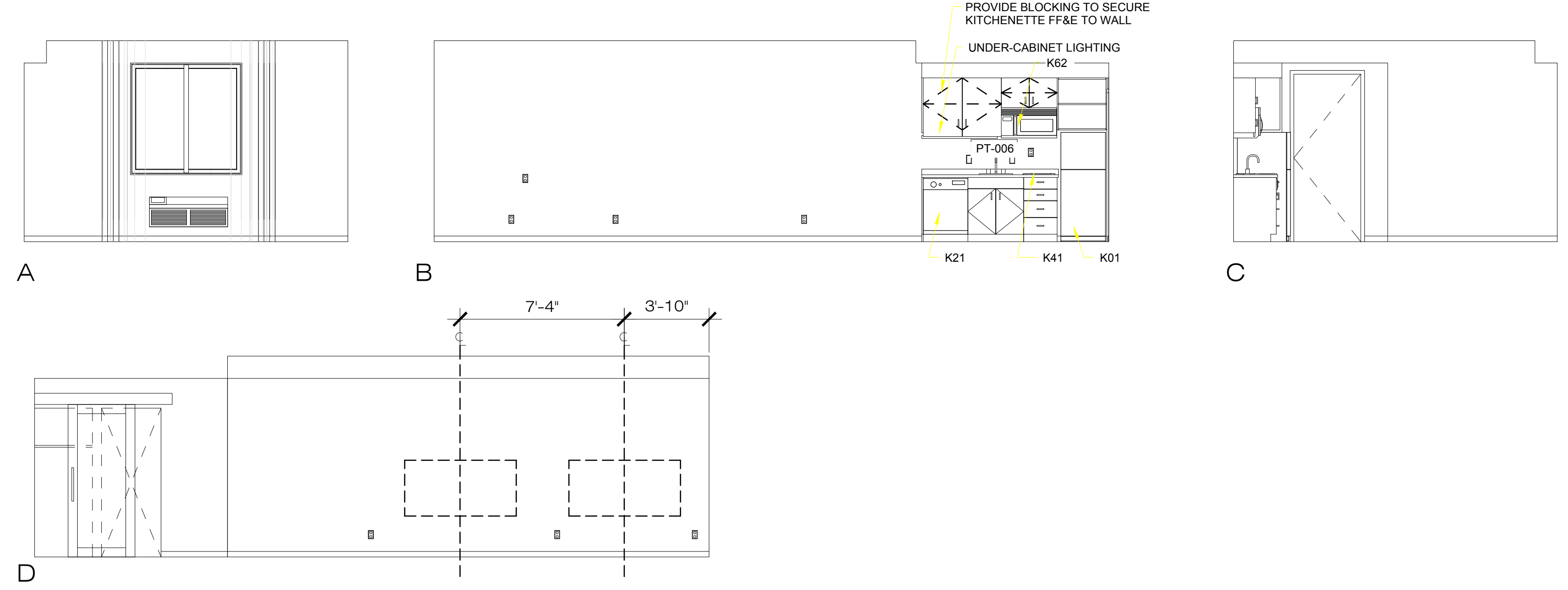
3 ELECTRICAL PLAN



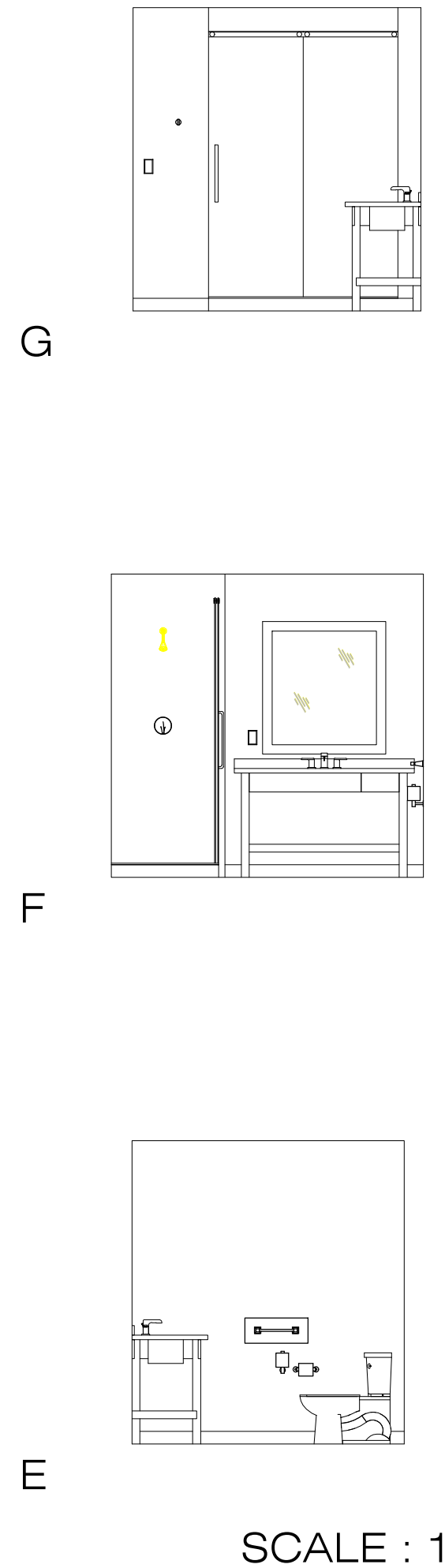
2 FF&E PLAN  
SCALE : 1/4" = 1'-0"



4 REFLECTED CEILING PLAN



5 ELEVATIONS  
SCALE : 1/4" = 1'-0"



6 ELEVATIONS - BATH  
SCALE : 1/4" = 1'-0"

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL. OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL. OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- XXX XXX FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- O CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- § LIGHT SWITCH
- ⊕ RECEPTACLE
- ⊕ GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH ANY WORK. ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE SPECIFIED.



HAWTHORN SUITES BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

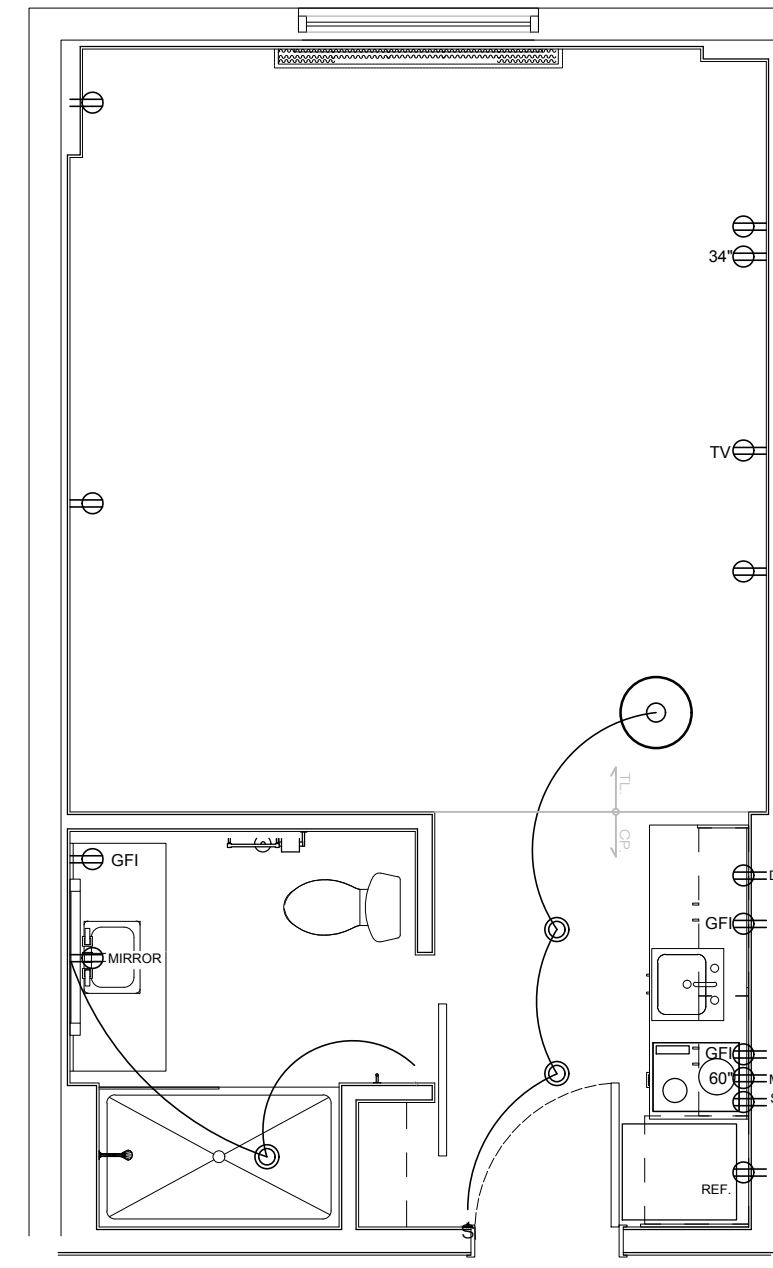
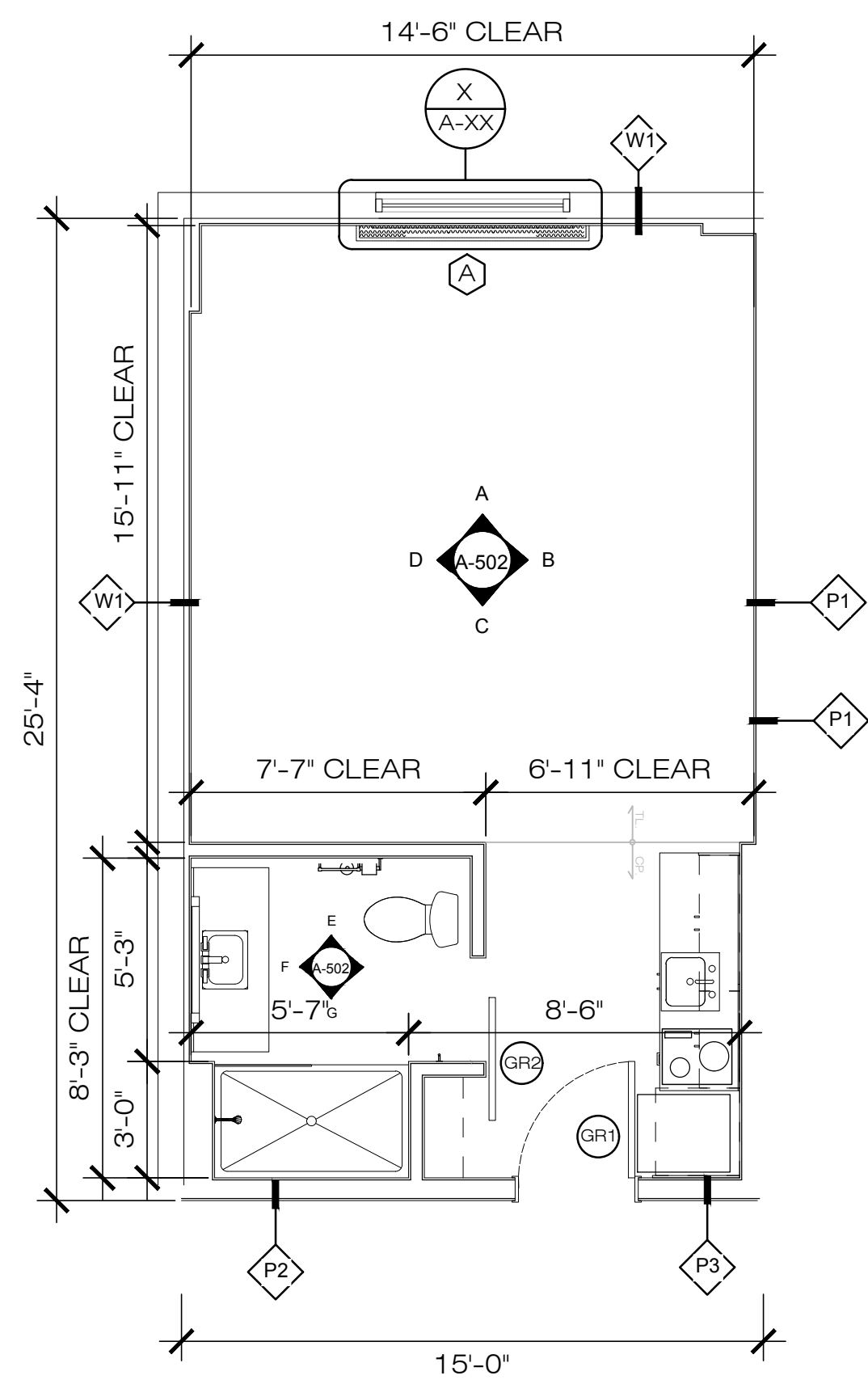
SHEET TITLE:  
ENLARGED (QQS)  
DOUBLE QUEEN

DATE:  
01.18.2016  
SEAL:

ARCH. LICENSE  
AR 0011733

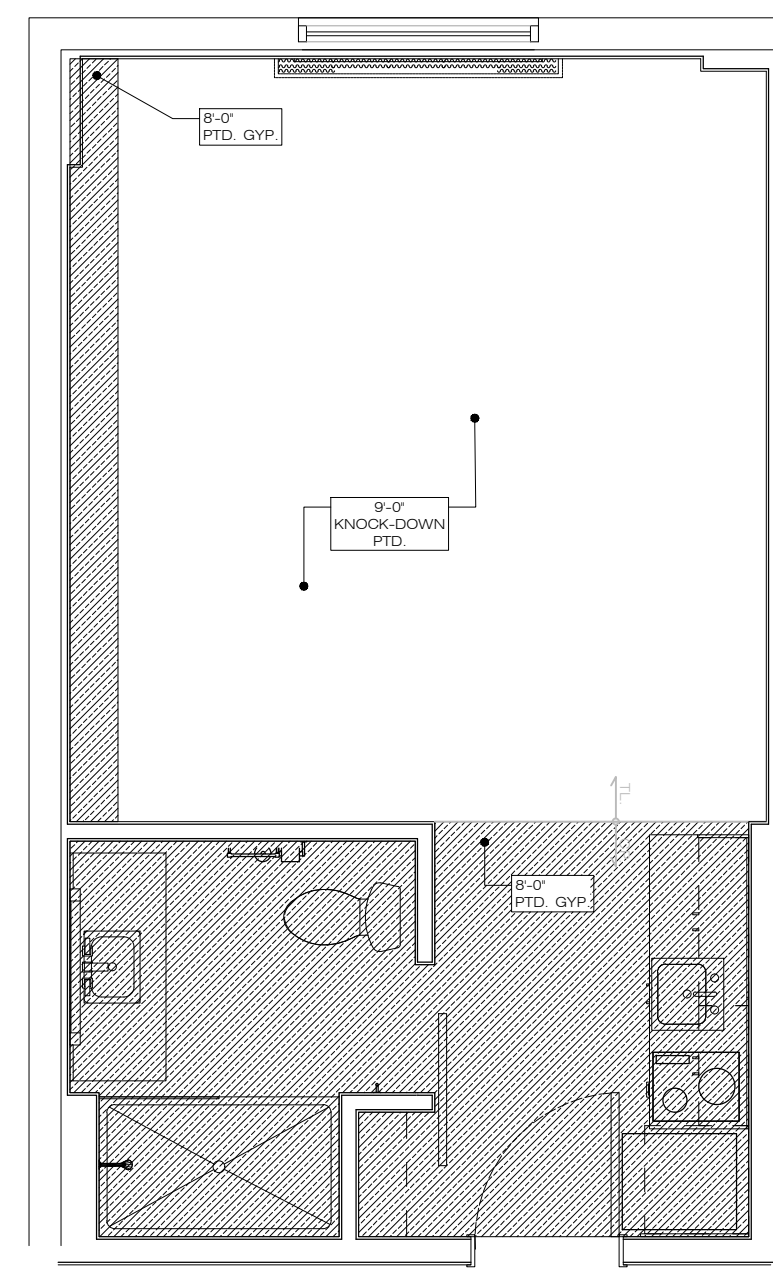
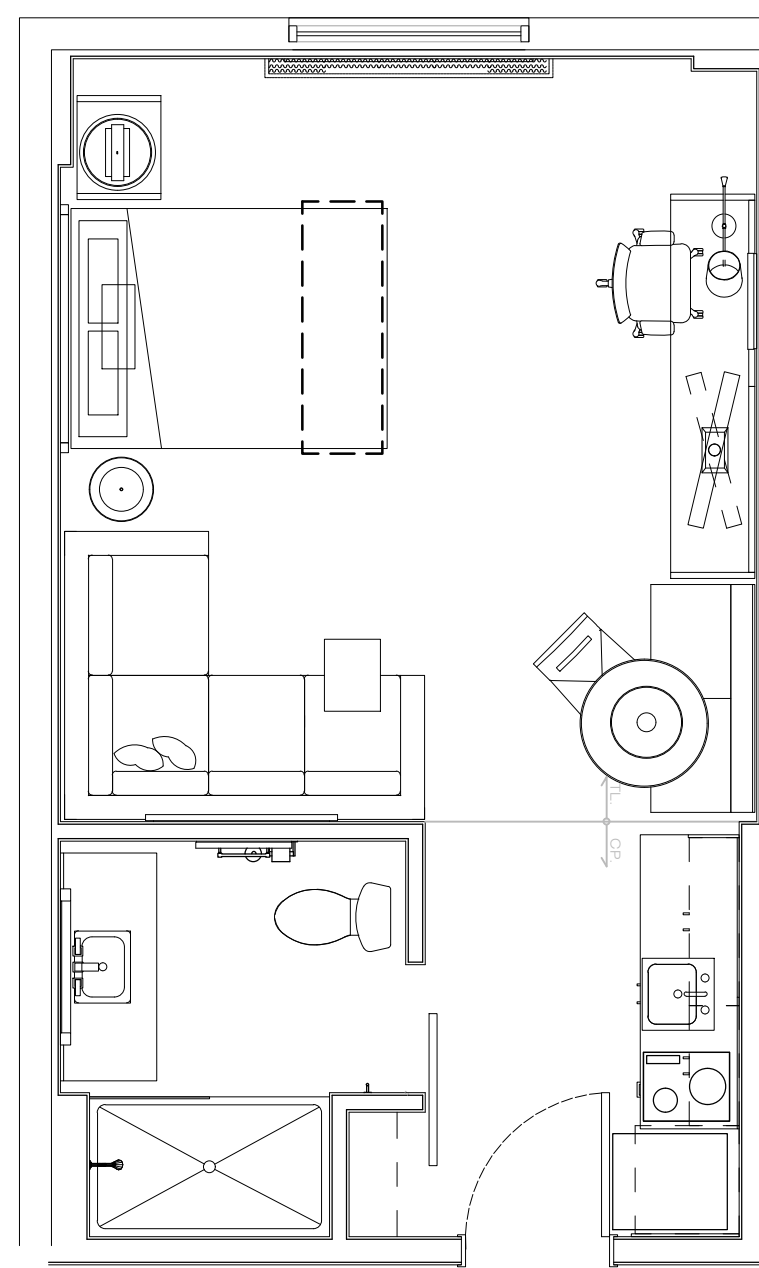
A-501





1 UNIT FLOOR PLAN

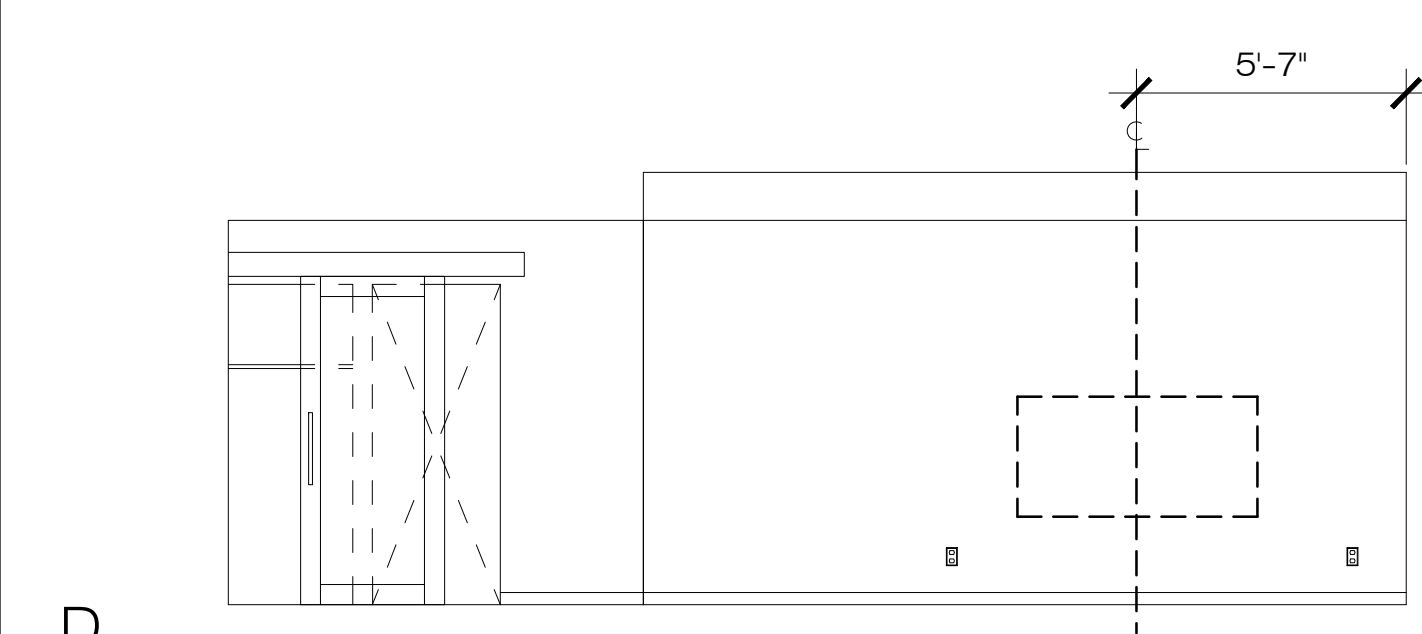
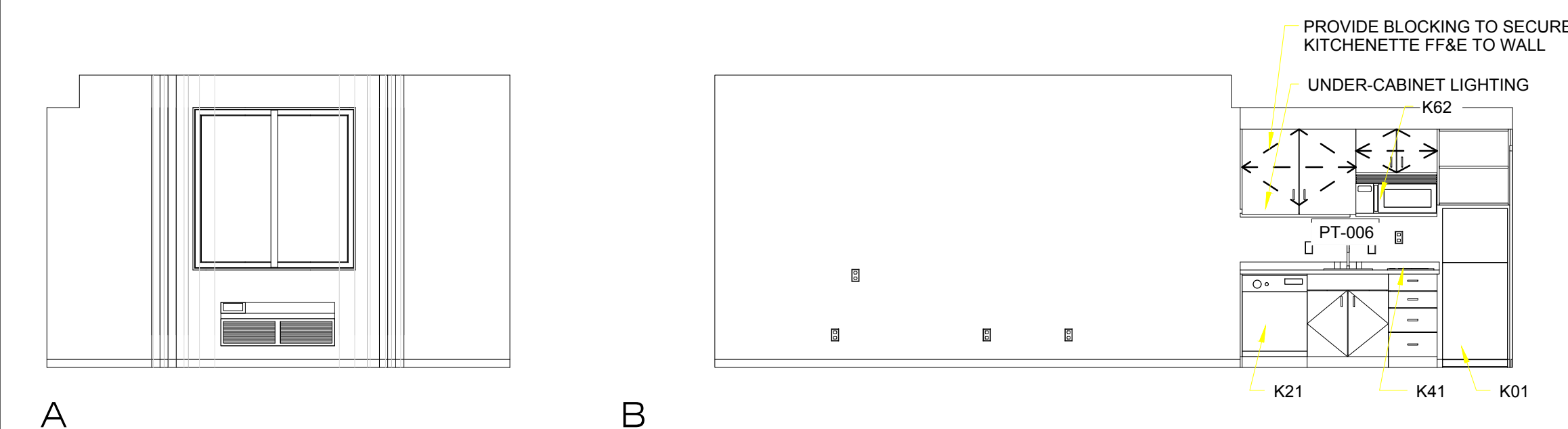
3 ELECTRICAL PLAN



2 FF&E PLAN

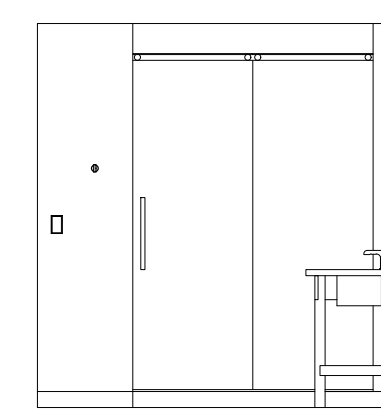
SCALE : 1/4" = 1'-0"

4 REFLECTED CEILING PLAN

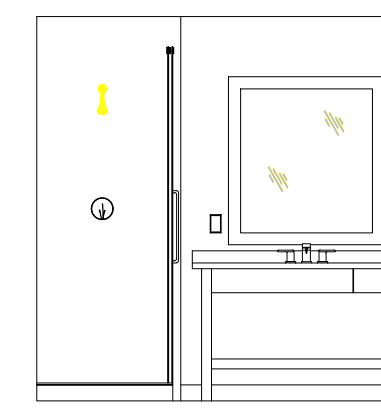


5 ELEVATIONS

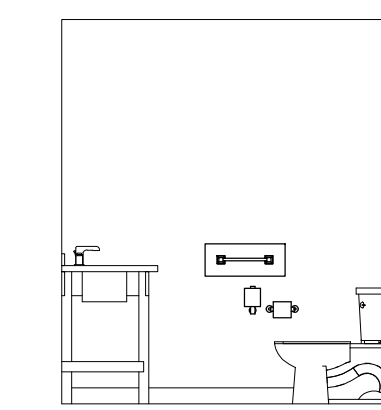
SCALE : 1/4" = 1'-0"



G



F



E

SCALE : 1/4" = 1'-0"

6 ELEVATIONS - BATH

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL. OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL. OF WALL ASSEMBLY. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- XXX XXX FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- (O) CEILING MOUNTED LIGHT FIXTURE
- (O) RECESSED LIGHT FIXTURE
- 3 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- 3 3 WAY LIGHT SWITCH
- (S) LIGHT SWITCH
- (S) RECEPTACLE
- (S) GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.



HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moine, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
ENLARGED (KS)  
KING STUDIO

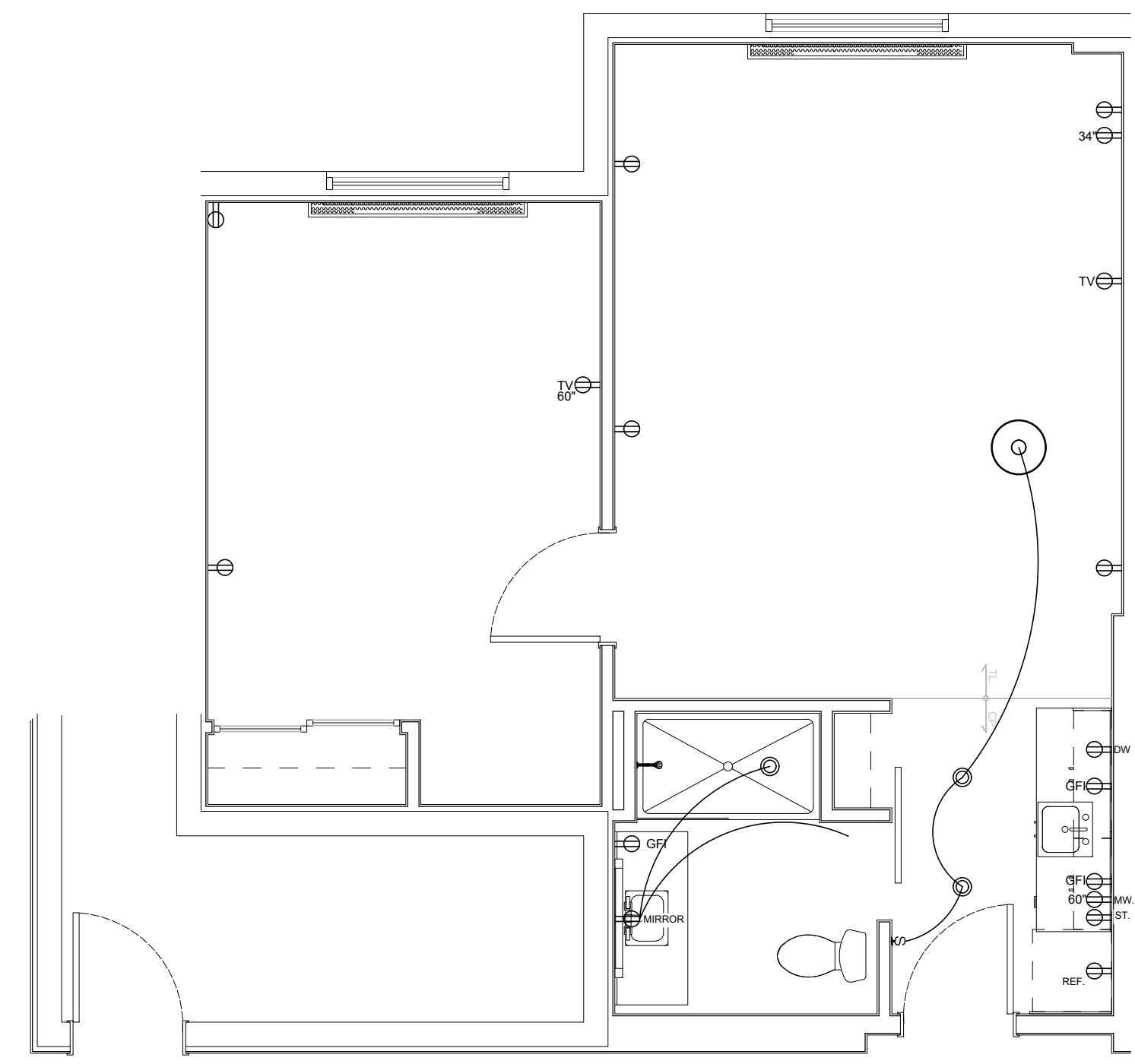
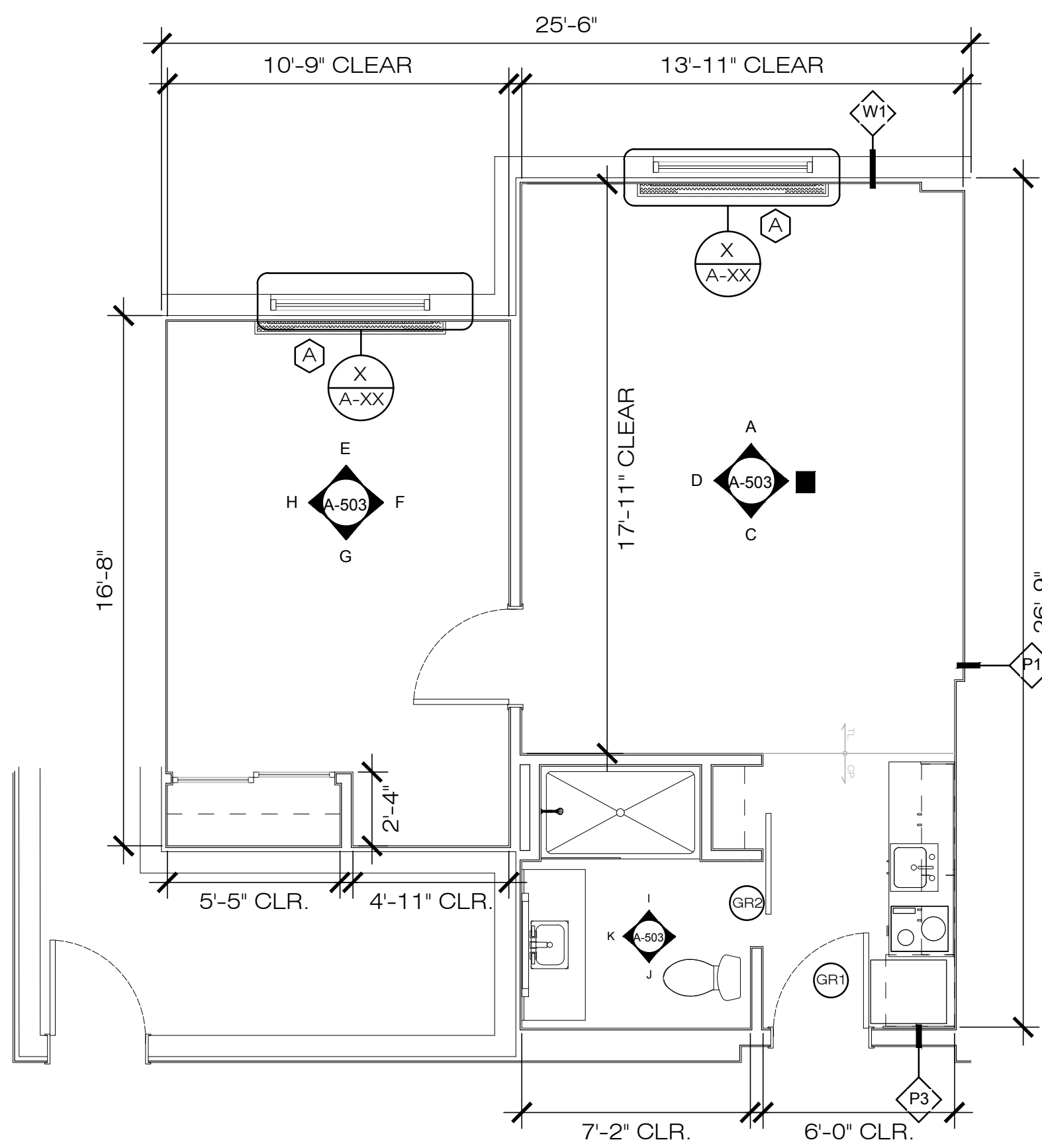
DATE:  
01.18.2016

SEAL:

ARCH. LICENSE  
AR 0011733

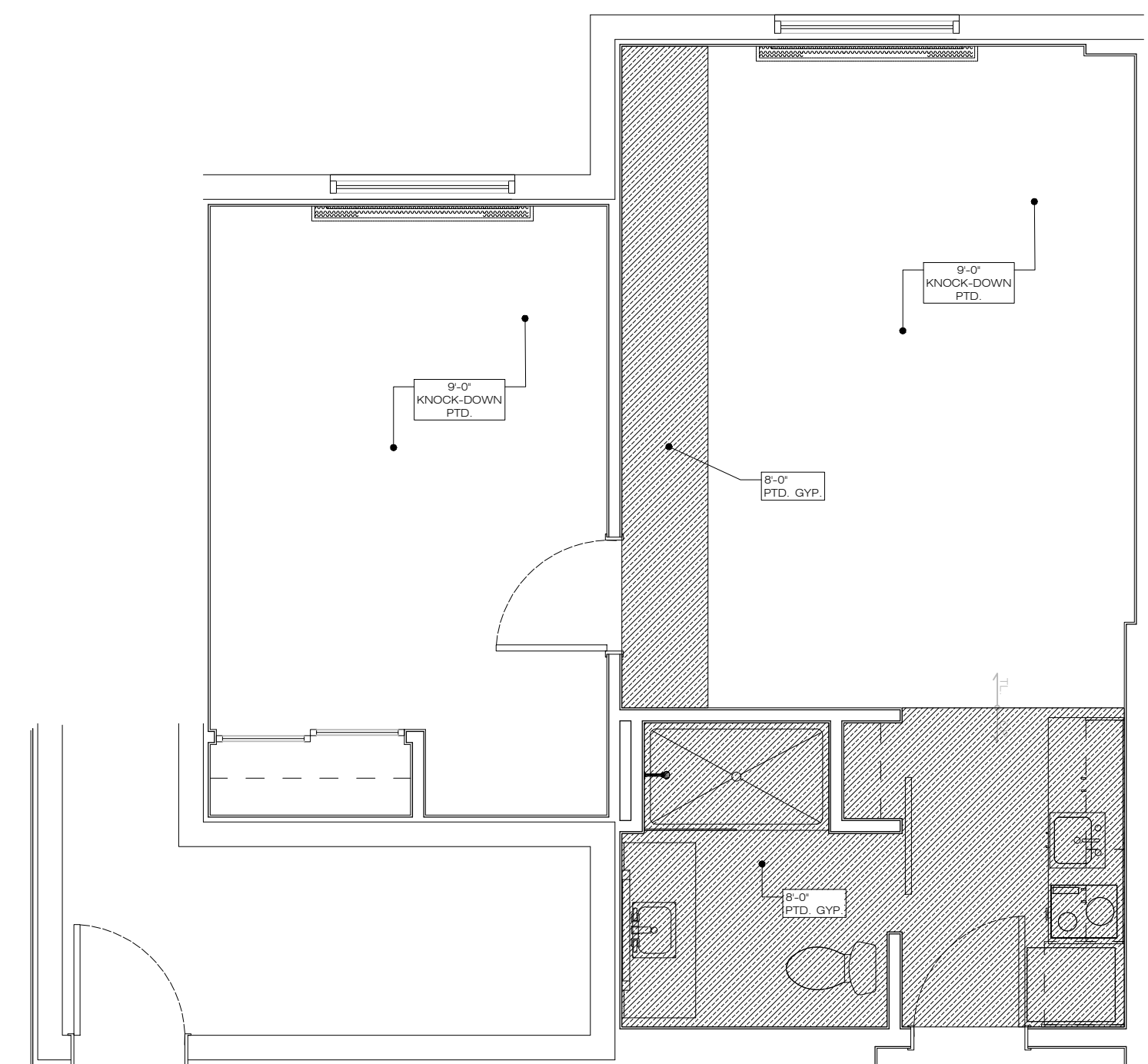
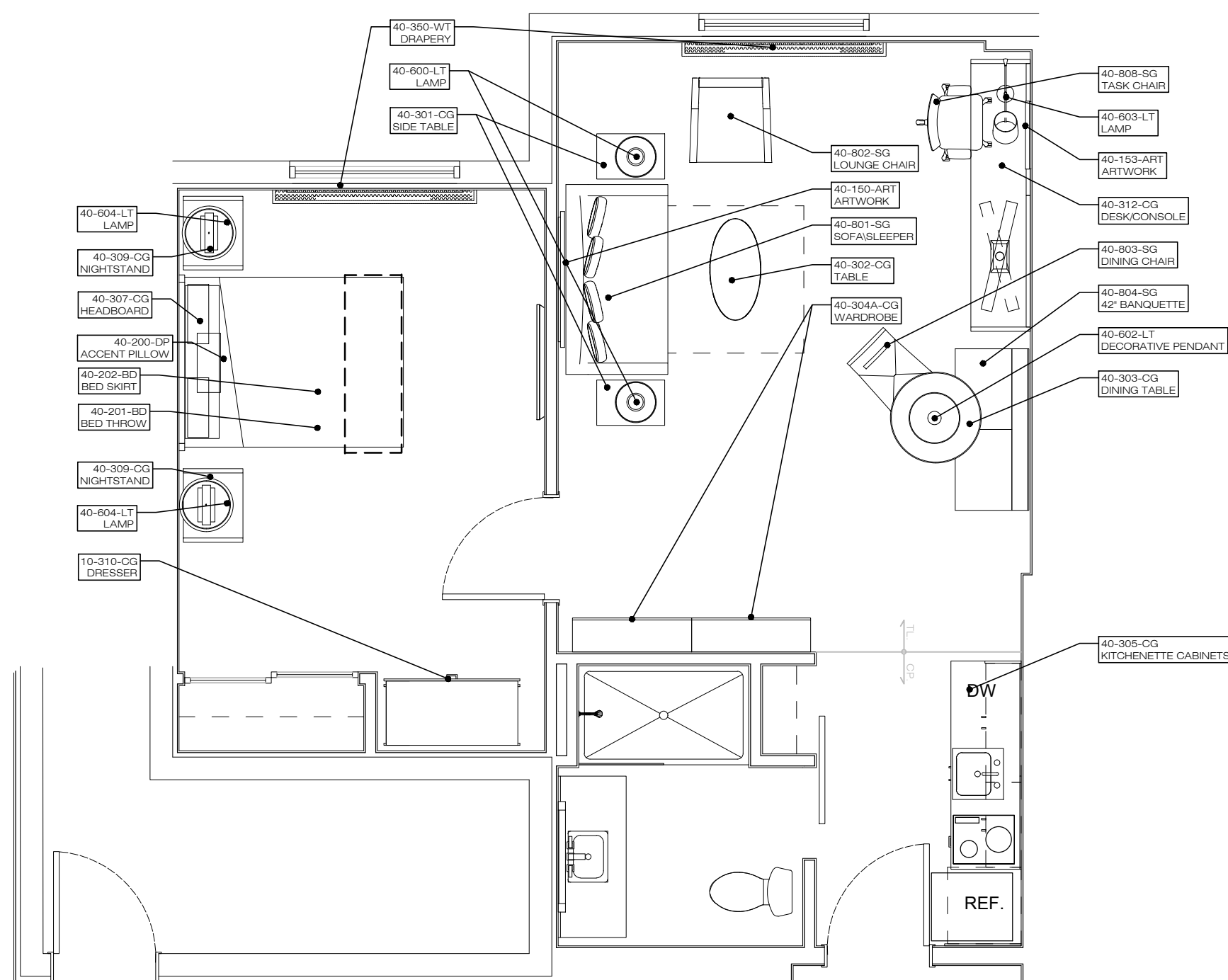
A-502





1 UNIT FLOOR PLAN

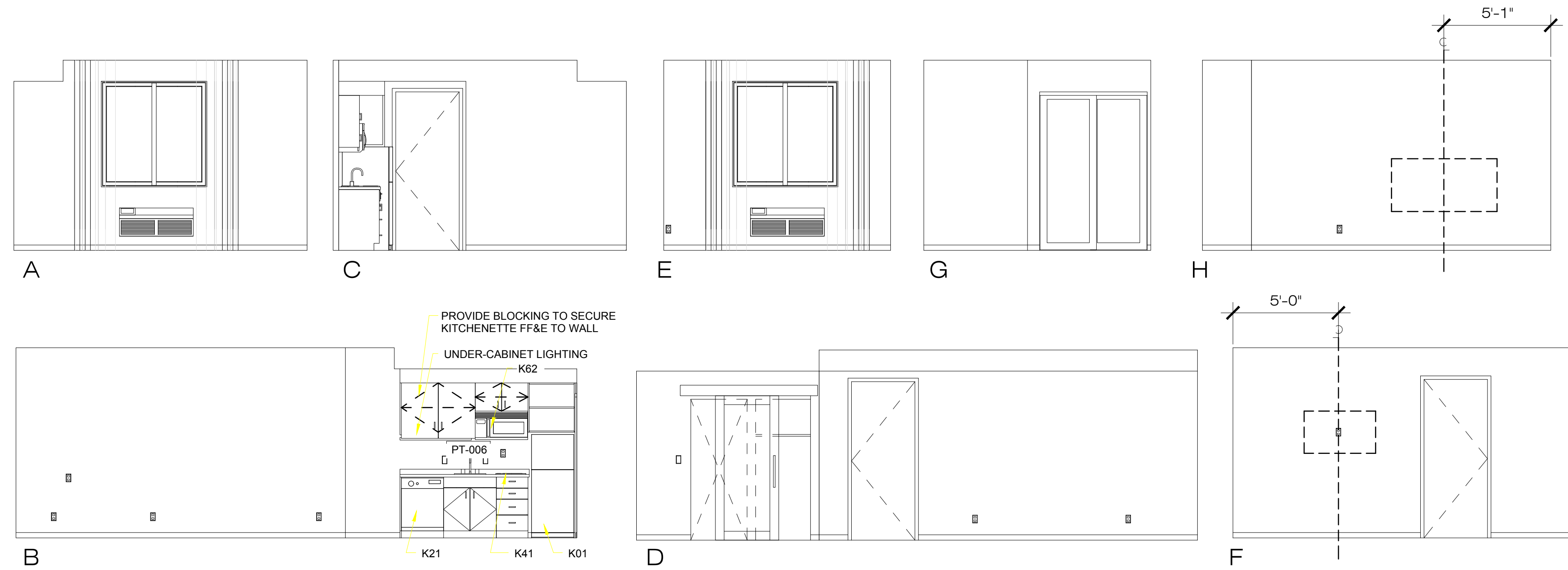
3 ELECTRICAL PLAN



2 FF&E PLAN

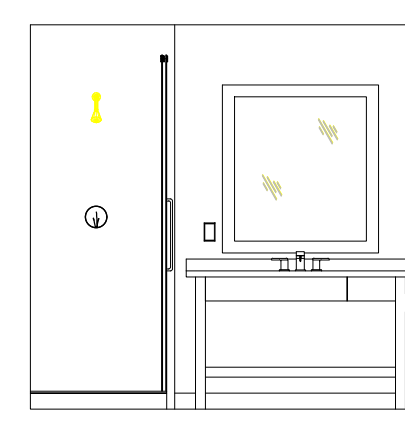
SCALE : 1/4" = 1'-0"

4 REFLECTED CEILING PLAN

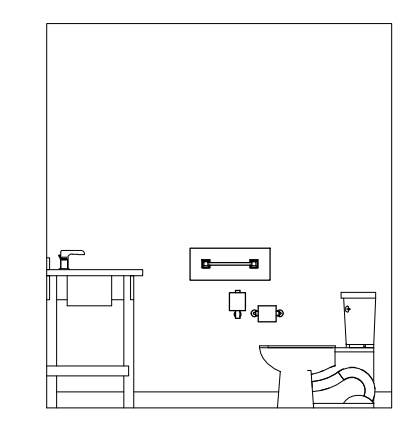


5 ELEVATIONS

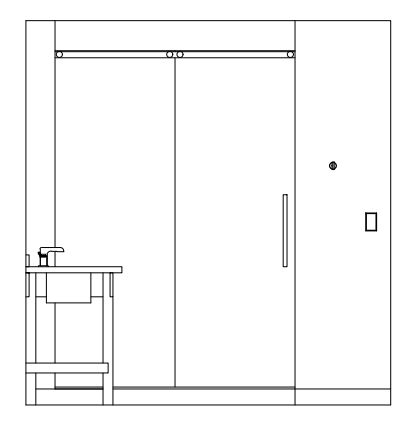
SCALE : 1/4" = 1'-0"



K



J



I

SCALE : 1/4" = 1'-0"

6 ELEVATIONS - BATH

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- (XXX) FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- (O) CEILING MOUNTED LIGHT FIXTURE
- (O) RECESSED LIGHT FIXTURE
- (3-WAY) 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- (3-WAY) 3 WAY LIGHT SWITCH
- (SW) LIGHT SWITCH
- (R) RECEPTACLE
- (GFI) GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

DATE	
REVISIONS	

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.



HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
ENLARGED (10S)  
SINGLE QUEEN SUITE

DATE:  
01.18.2016  
SEAL:

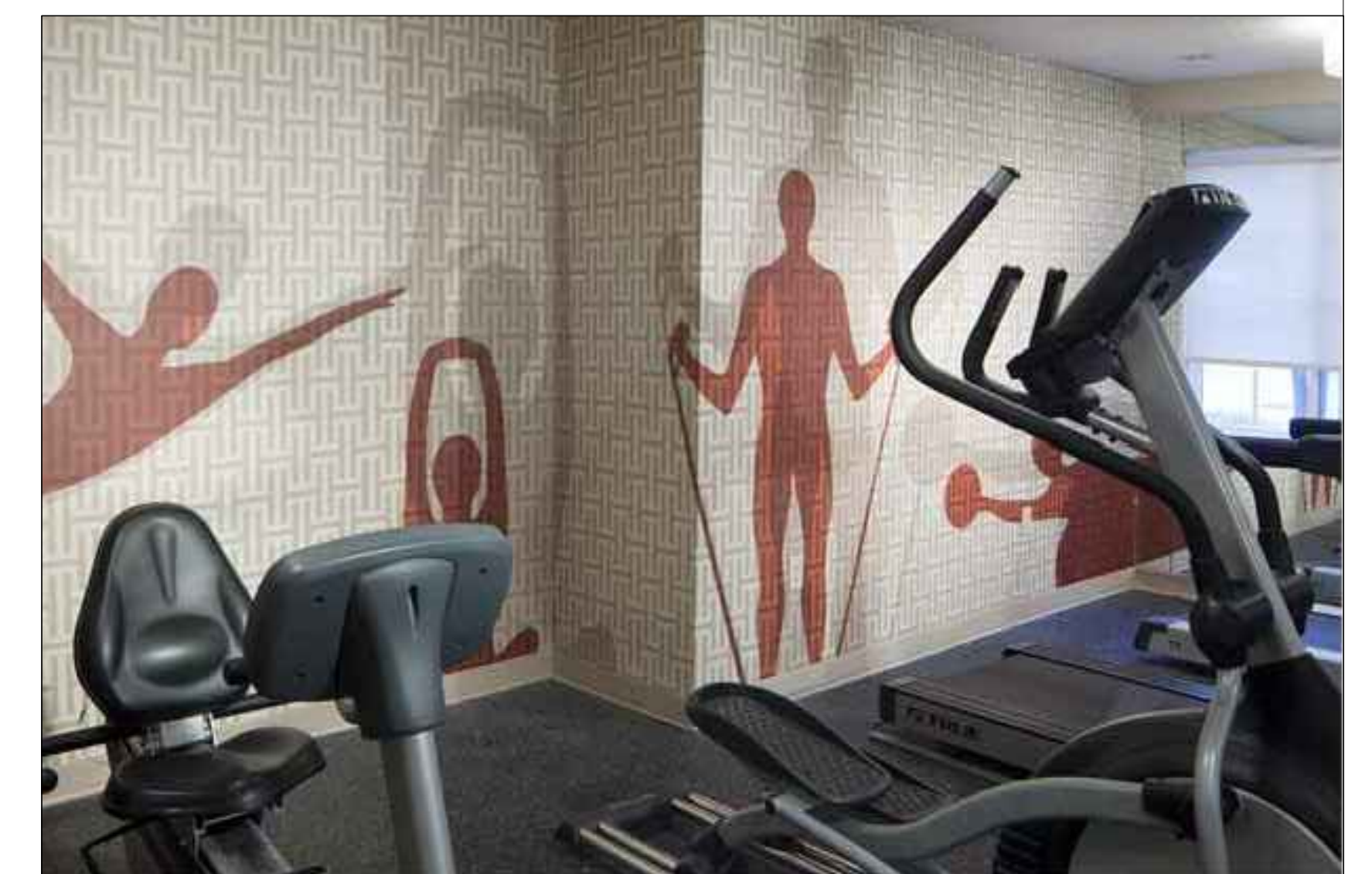
ARCH. LICENSE  
AR 0011733

A-503



# HAWTHORN<sup>®</sup>

## SUITES BY WYNDHAM



### OWNERS

3500 PROPERTY HOLDINGS, LLC.  
7801 NW 37th STREET SUITE 108  
DORAL, FL 33195  
T.786.703.4804

### CIVIL ENGINEER

RODOLFO IBARRA, P.E. P.A.  
12301 SW 128th COURT  
MIAMI, FL 33186  
T.305.281.8746

### LANDSCAPE ARCHITECT

LEWIS AQUI, L+A+D.  
7408 B SW 48th STREET  
MIAMI, FL 33155  
T.305.796.2575

### DEVELOPER / OWNERS REP.

NI2 CONSTRUCTION, CORP.  
2130 SW 13th AVENUE  
MIAMI, FL 33145  
T.786.347.1873

### STRUCTURAL ENGINEER

CSW STRUCTURAL GROUP, INC.  
5397 ORANGE DRIVE, SUITE 203  
DAVIE, FL 33314  
T.954.316.9001

### LANDSCAPE ARCHITECT

LEWIS AQUI, L+A+D.  
7408 B SW 48th STREET  
MIAMI, FL 33155  
T.305.796.2575

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FOR CORRECTING ANY ERRORS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

# HAWTHORN<sup>®</sup>

## SUITES BY WYNDHAM

HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
COVER SHEET

DATE:  
01.18.2016

SEAL:

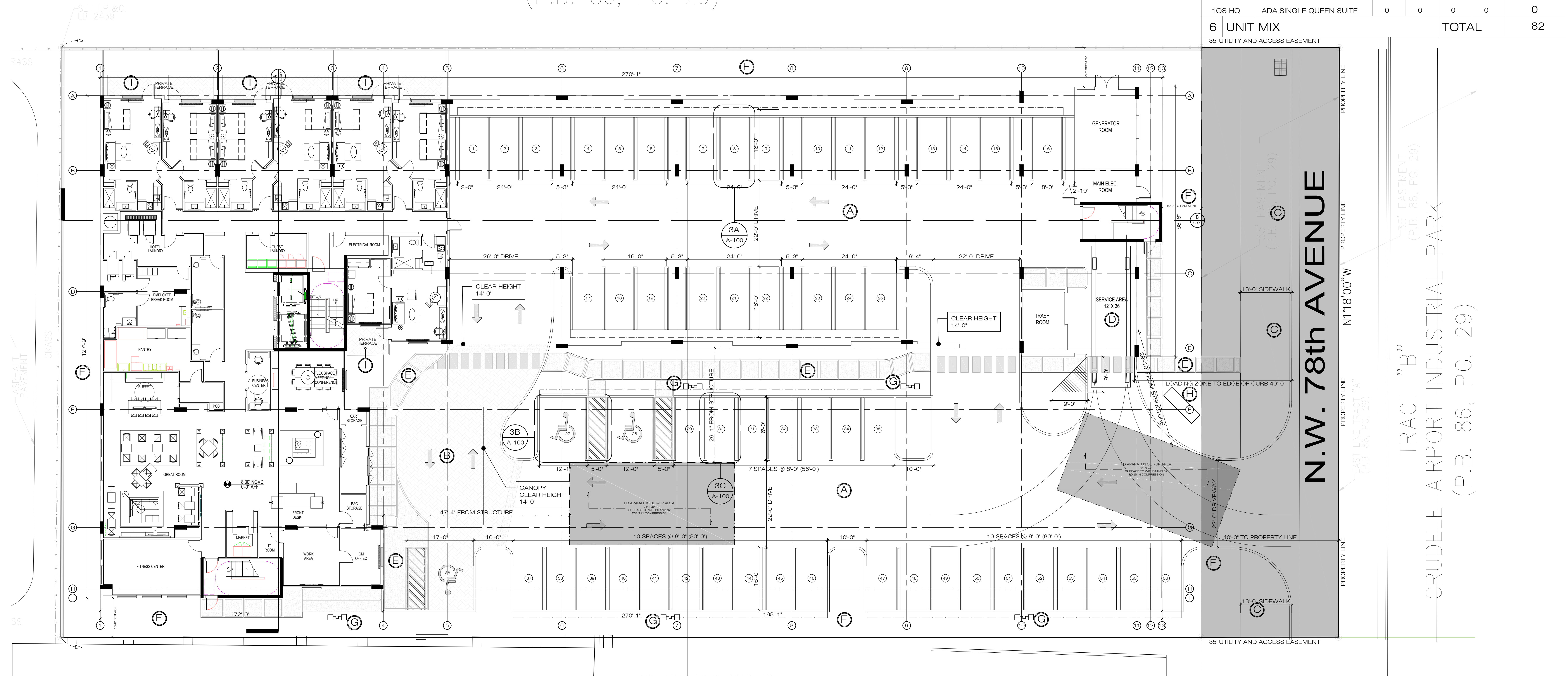
ARCH. LICENSE  
AR 0011733

A-000



TRACT "A"  
CRUDELE AIRPORT INDUSTRIAL PARK  
(P.B. 86, PG. 29)

MARK	ROOM TYPE	FLOOR LEVEL				TOTAL
		1	2	3	4	
1BEDS	2 BEDROOM SUITE	3	13	15	13	44
1BEDS HQ	ADA 2 BEDROOM SUITE	0	2	0	2	4
QQS	DOUBLE QUEEN STUDIO	0	7	7	7	21
QQS HQ	ADA DOUBLE QUEEN STUDIO	0	0	0	0	0
KS	KING STUDIO	0	3	3	3	9
KS HQ	ADA KING STUDIO	0	0	0	0	0
1QS	SINGLE QUEEN SUITE	1	1	1	1	4
1QS HQ	ADA SINGLE QUEEN SUITE	0	0	0	0	0
<b>6</b>	<b>UNIT MIX</b>	<b>TOTAL</b>				<b>82</b>

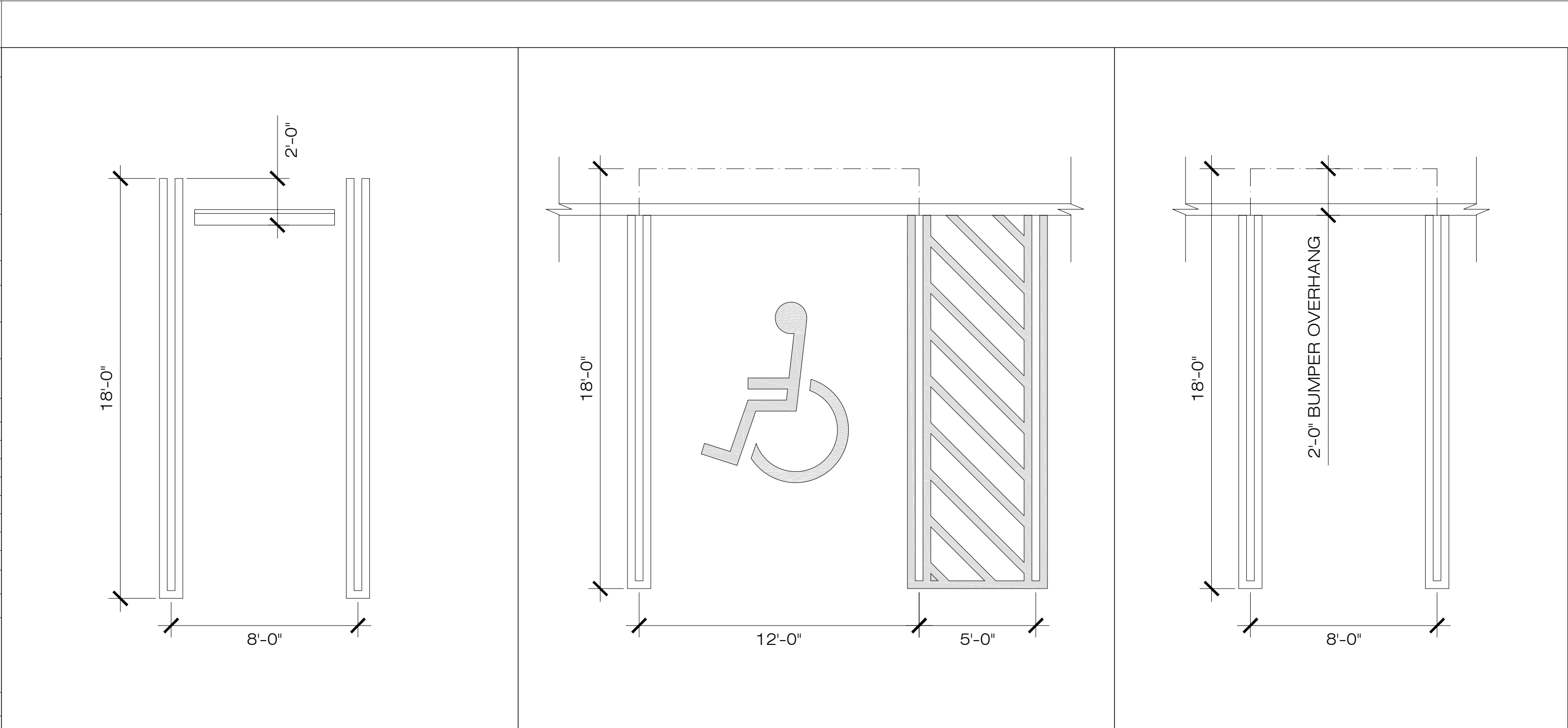


**1 SITE PLAN**

**SITE DATA:**  
 GROSS LOT AREA: 48,750.0427 SF  
 1.119 ACRES  
 SITE ADDRESS: 3500 NW 78TH AVE  
 LEGAL DESCRIPTION: CRUDELE AIRPORT INDUSTRIAL PARK  
 PB 86-29 N150' OF S385' OF TRACT A  
 OR 14691-2502 0690 1

**ZONING DATA:**

	REQUIRED	PROVIDED
DENSITY: (75 GR / ACRE)	83 GR	82 GR
BUILDING COVERAGE:	36,562.531 SF	21,156.6456 SF
.75 X GLA	50' R-O-W	49'-10"
MAXIMUM HEIGHT:	4,875 SF	11,984 SF
WIDTH OF R-O-W		
OPEN SPACE:		
10% OF GLA		
SETBACKS:		
FRONT	0' - 10'-0"	10'-0" FROM EASEMENT
SIDE	0' - 10'-0"	10'-0"
REAR	0'	+/- 10'-0"
FAR:		
GRFUND FLOOR @ .75	36,562 SF	9,275 SF
2ND FLOOR @ .5	24,375 SF	21,271 SF
3RD FLOOR @ .5	24,375 SF	21,095 SF
4TH FLOOR @ .5	24,375 SF	21,271 SF
TOTAL	109,687 SF	72,912 SF
PARKING: (LODGING)		
1) 1 SPACE FOR THE FIRST 40 UNITS	40 SPACES	
2) 1 SPACE FOR EVERY 2 UNITS THEREAFTER	21 SPACES	
3) 1 SPACE FOR EVERY 4 EMPLOYEES	1 SPACE	
4) PARKING REDUCTION - 75% OF REQUIRED	-16 SPACES	
TOTAL SPACES	46 SPACES	56 SPACES



- 4 GENERAL NOTES**
- BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY.
  - LOT SHALL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES AND / OR RIGHT OF WAY.
  - PROVIDE "VULCLAY" WATERPROOFING AT ALL CONCRETE AND MASONRY WALLS EXPOSED TO EARTH.
  - FOR GRADING, PAVEMENTS, DRAINAGE SYSTEMS AND ALL OTHER SITE INFORMATION REFER TO CIVIL DRAWING.
  - ALL PERMANENT STRUCTURES MUST BE CLEAR OF THE RECORDED 35' ACCESS AND UTILITY EASEMENT LOCATED AT THE PRINCIPAL FRONTAGE OF THE PROPERTY.
  - ALL SITE CONCRETE PAVERS SHALL BE INSTALLED OVER A CRUSHED LIME ROCK BASE FOR LEVELING, OVER A PERMEABLE FABRIC TO PREVENT THE GROWTH OF VEGETATION BETWEEN THE CONCRETE PAVERS.
  - NO PLANTINGS OTHER THAN SOD FOR 24" FROM CONCRETE CURBS, WHERE PARKING STALLS OVERHANG.
- 5 SITE LEGEND**
- (A) ASPHALT PAVEMENT
  - (B) CONCRETE PAVERS
  - (C) STREET TREES WITH GRATES
  - (D) 12 X 36' LOADING AREA
  - (E) CONCRETE SIDEWALK
  - (F) LANDSCAPED AREAS
  - (G) PARKING LIGHTING
  - (H) HOTEL MONUMENT SIGN
  - (I) PRIVATE TERRACES
  - (1) PARKING COUNT

DATE: \_\_\_\_\_

REVISIONS:

NO.	DATE	DESCRIPTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS.



**HAWTHORN SUITES**  
 BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

**MF Architects**  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

**DRAWN BY:**  
 CAN

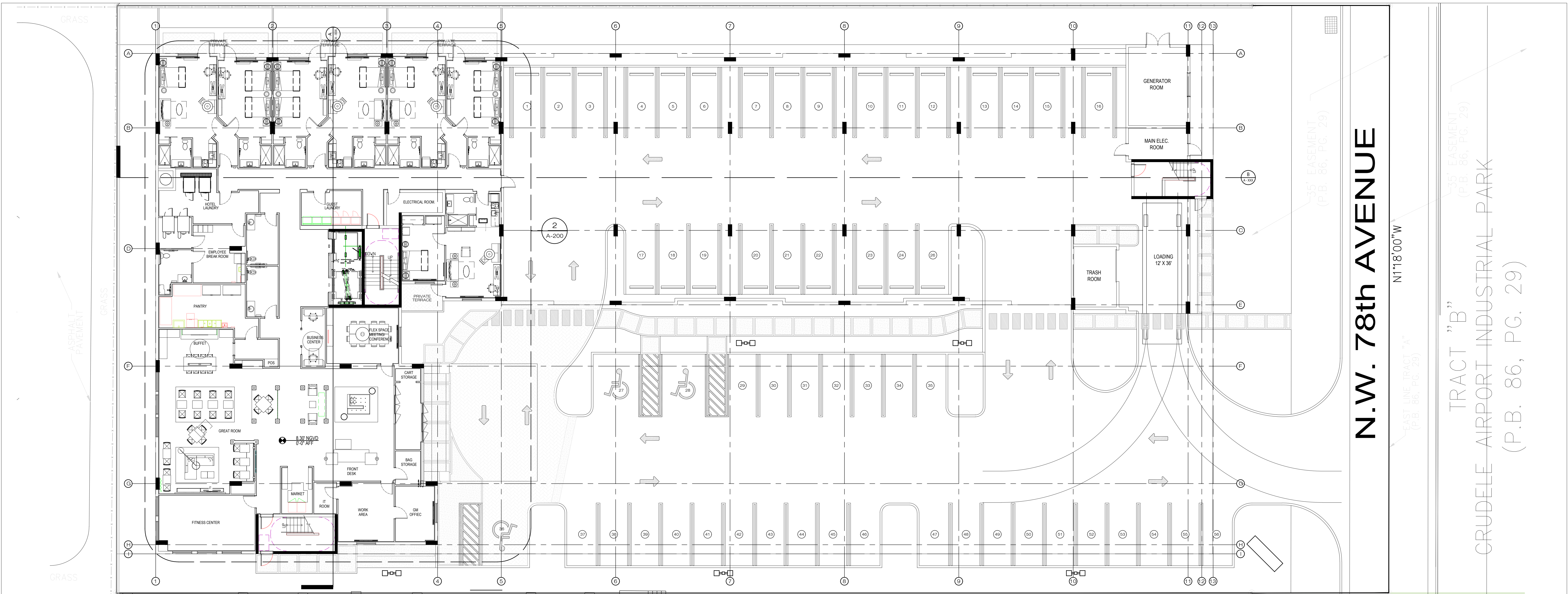
**SHEET TITLE:**  
 SITE PLAN

**DATE:**  
 01.18.2016

**SEAL:**

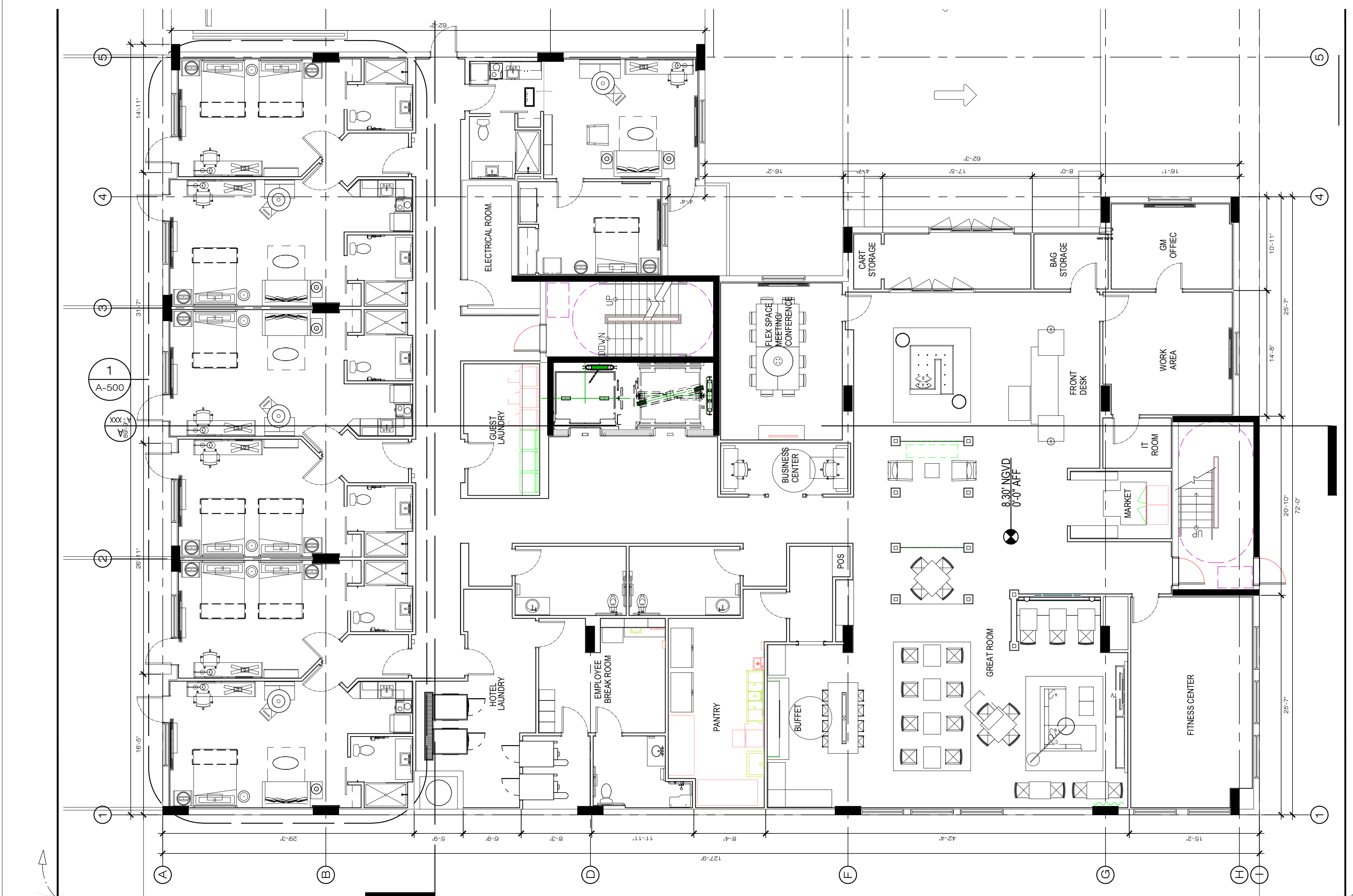
**ARCH. LICENSE:**  
 AR 0011733





1 GROUND FLOOR PLAN

SCALE : 3/32" = 1'-0"



2 GROUND FLOOR PLAN - ENLARGED

SCALE : 1/8" = 1'-0"

- 3 GENERAL NOTES
- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
  - REFER TO SPECIFICATIONS FOR FINISH INDEX.
  - REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
  - ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
  - USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
  - DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
  - ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
  - FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
  - WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
  - "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
  - SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
  - FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

3 GENERAL NOTES

- 3 SYMBOL LLEGEND
- REVISION TAG
  - GUESTROOM WITH COMMUNICATION FEATURES
  - GUESTROOM WITH MOBILITY FEATURES
  - ADA MANEUVERING CLEARANCE
  - WINDOW MARK
  - DOOR MARK
  - WALL TYPE - SEE SHEET A-050
  - FF&E MARK - REFER TO BRAND STANDARDS MANUAL
  - CEILING MOUNTED LIGHT FIXTURE
  - RECESSED LIGHT FIXTURE
  - 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
  - 3 WAY LIGHT SWITCH
  - LIGHT SWITCH
  - RECEPTACLE
  - GFI RECEPTACLE
  - DESIGN CRITERIA MARK

3 SYMBOL LLEGEND

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL FIELD MEASUREMENTS TO BE TAKEN DURING CONSTRUCTION IN AREA OF PROPOSED NEW WORK. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES TO THE DIMENSIONS OF THE EXISTING UTILITIES OR CONSTRUCTION, THESE DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND THE STATE OF FLORIDA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND THE STATE OF FLORIDA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND THE STATE OF FLORIDA.



HAWTHORN SUITES BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

HAWTHORN SUITES BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
 CAN

SHEET TITLE:  
 GROUND FLOOR PLAN

DATE:  
 01.18.2016

SEAL:

ARCH. LICENSE  
 AR 0011733

A-200



1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
5. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
6. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE. REFER TO SPECIFICATIONS SECTION 10-28-00.
7. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
8. 'CLEAR' DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
9. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
10. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING UTILITIES OR CONSTRUCTION. THESE DIMENSIONS AND LOCATIONS ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING UTILITIES OR CONSTRUCTION.



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
 2ND FLOOR PLAN

DATE:  
 01.18.2016

SEAL:

ARCH. LICENSE  
 AR 0011733

**A-210**

REVISIONS	DATE



1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
9. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
10. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE SHOWN ON ANY AND ALL CONSTRUCTION SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING UTILITIES OR OBSTRUCTIONS. THESE DIMENSIONS AND LOCATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY AS-BUILT INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY AS-BUILT INFORMATION.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
3RD FLOOR PLAN

DATE:  
01.18.2016  
SEAL:

ARCH. LICENSE  
AR 0011733

**A-220**



1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
9. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
10. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
4TH FLOOR PLAN

DATE:  
01.18.2016

SEAL:

ARCH. LICENSE  
AR 0011733

**A-230**

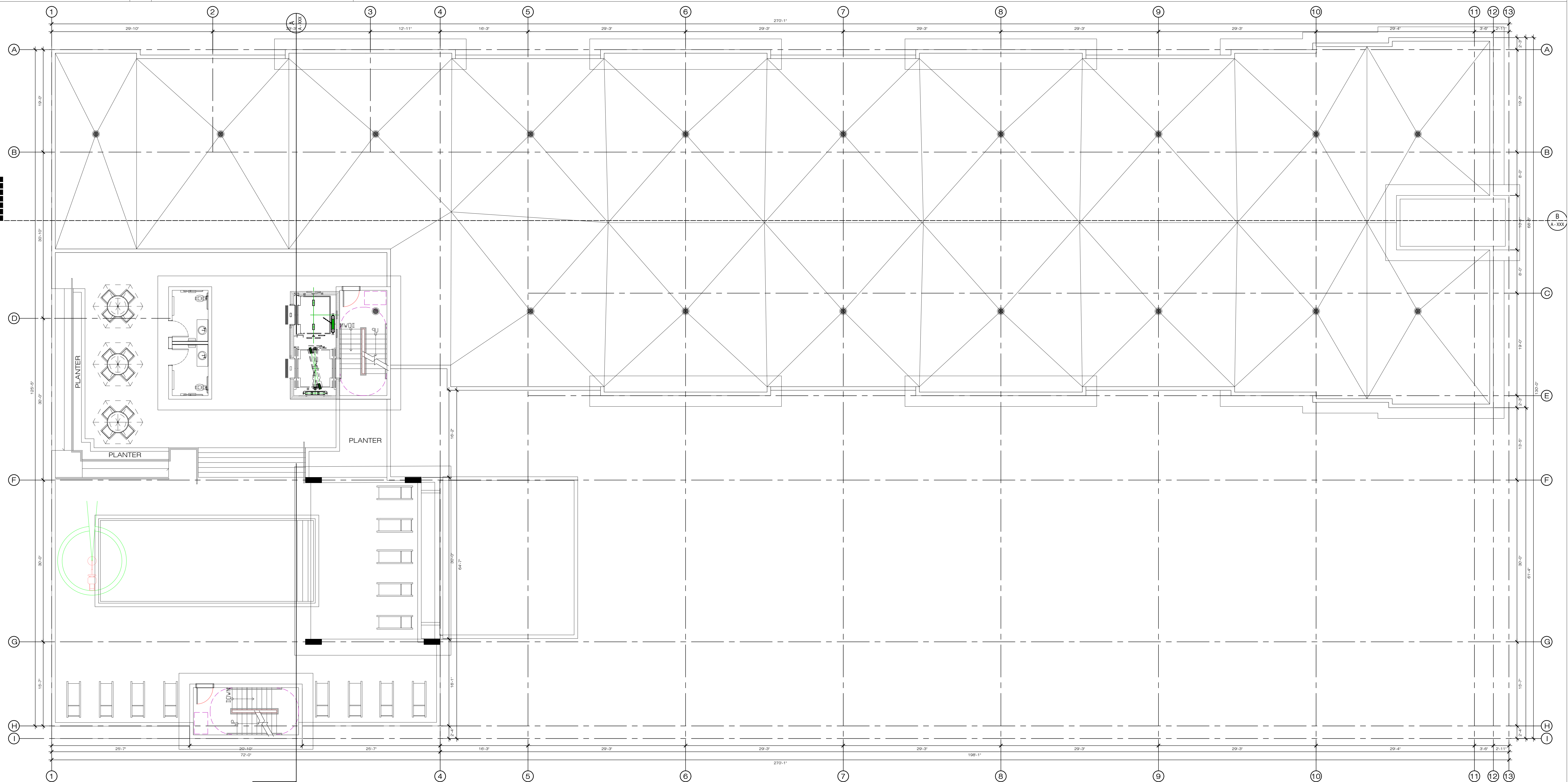


1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
8. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
9. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL WORK.



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

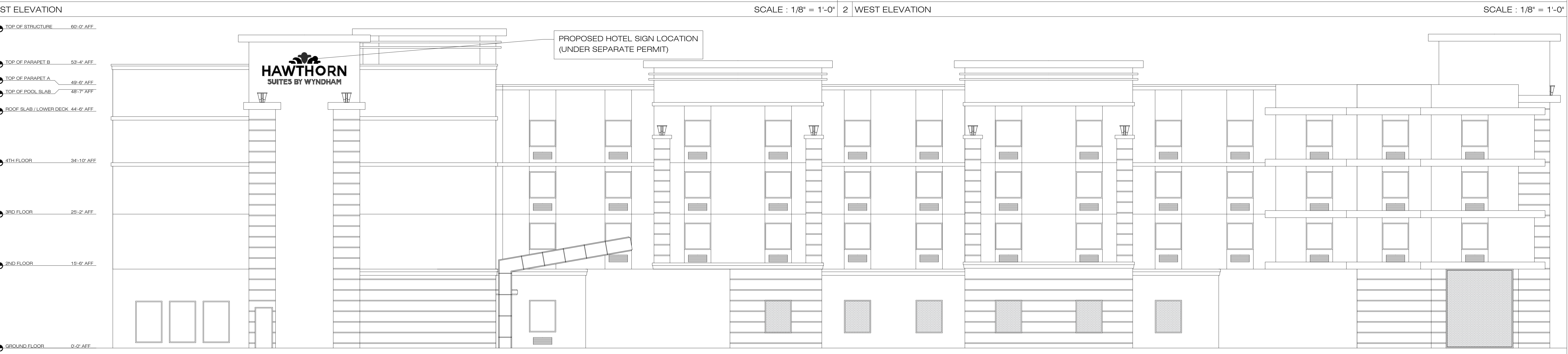
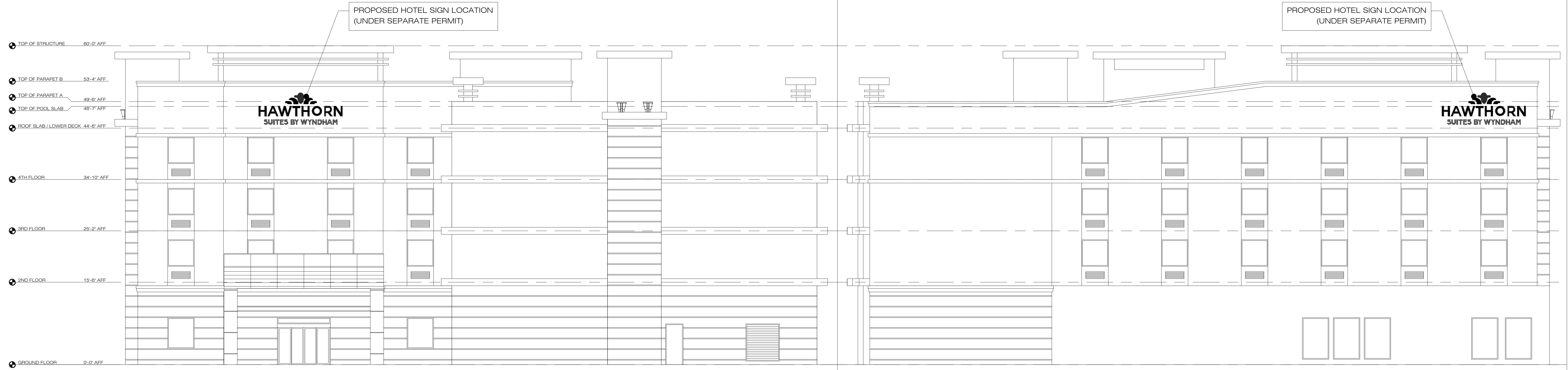
DRAWN BY:  
**CAN**

SHEET TITLE:  
 ROOF - POOL DECK PLAN

DATE:  
 01.18.2016  
 SEAL:

ARCH. LICENSE  
 AR 0011733

**A-240**



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

**MF Architects**  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
 EXTERIOR ELEVATIONS

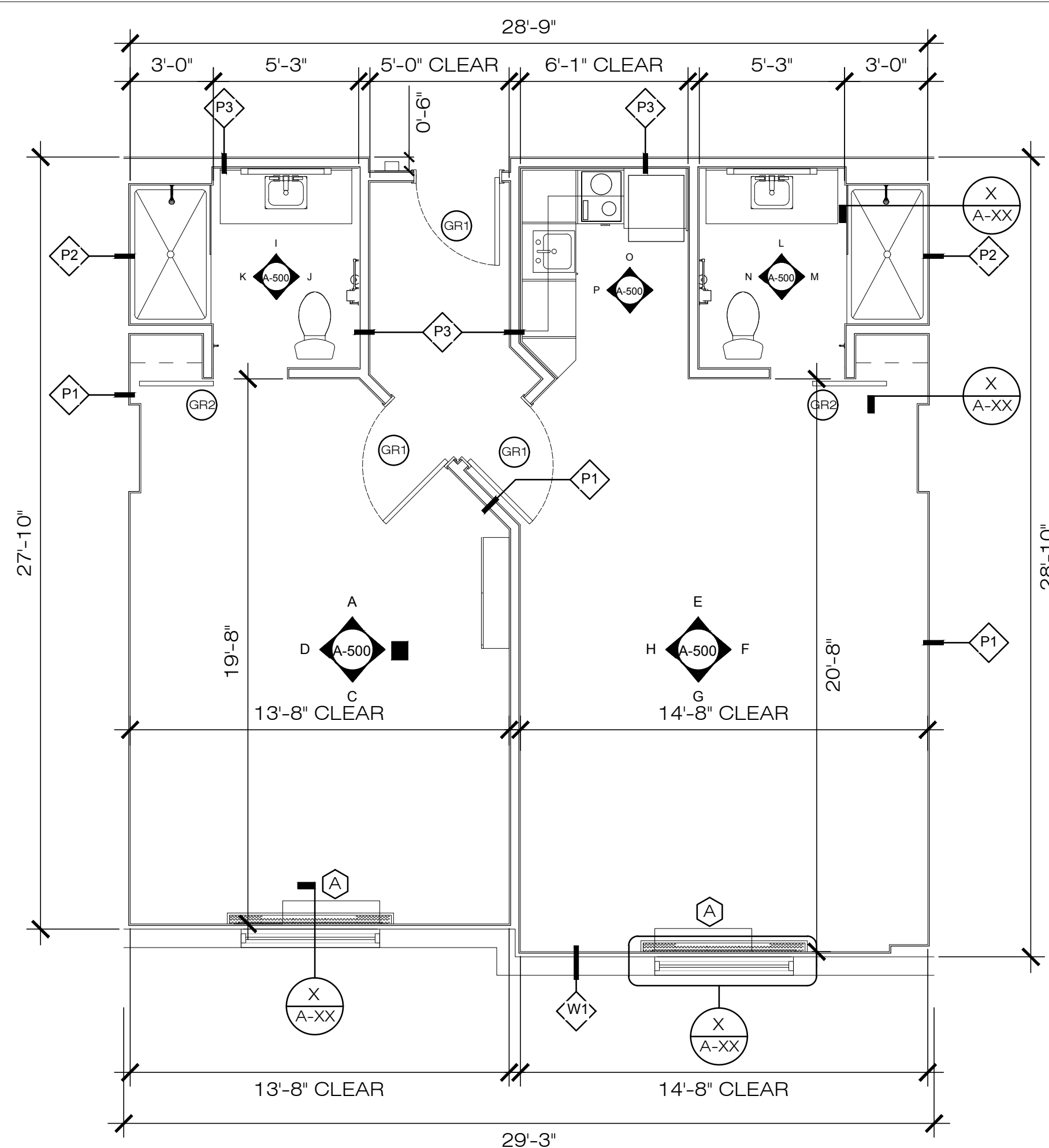
DATE:  
 01.18.2016

SEAL:

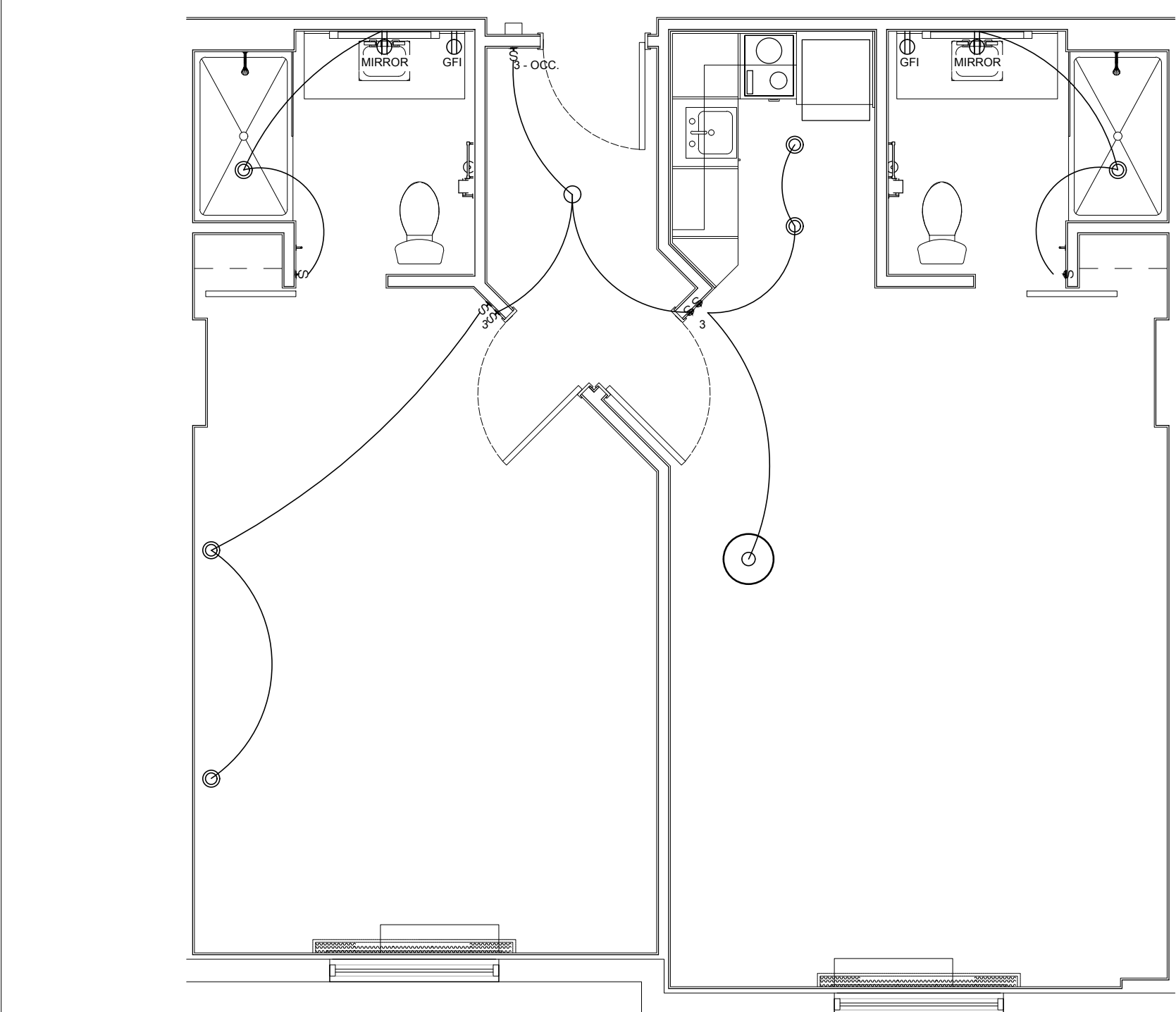
ARCH. LICENSE  
 AR 0011733

**A-400**

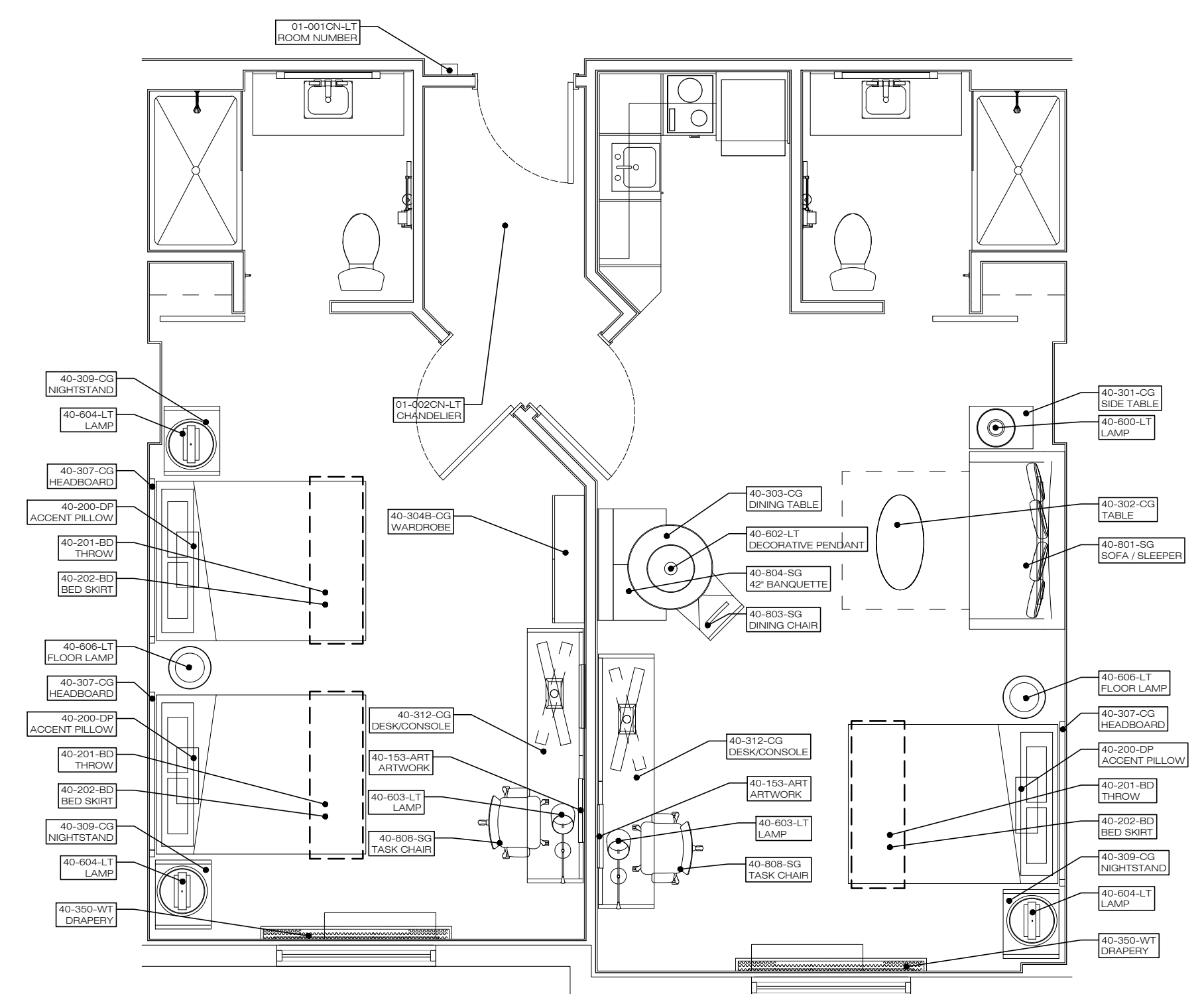




1 UNIT FLOOR PLAN

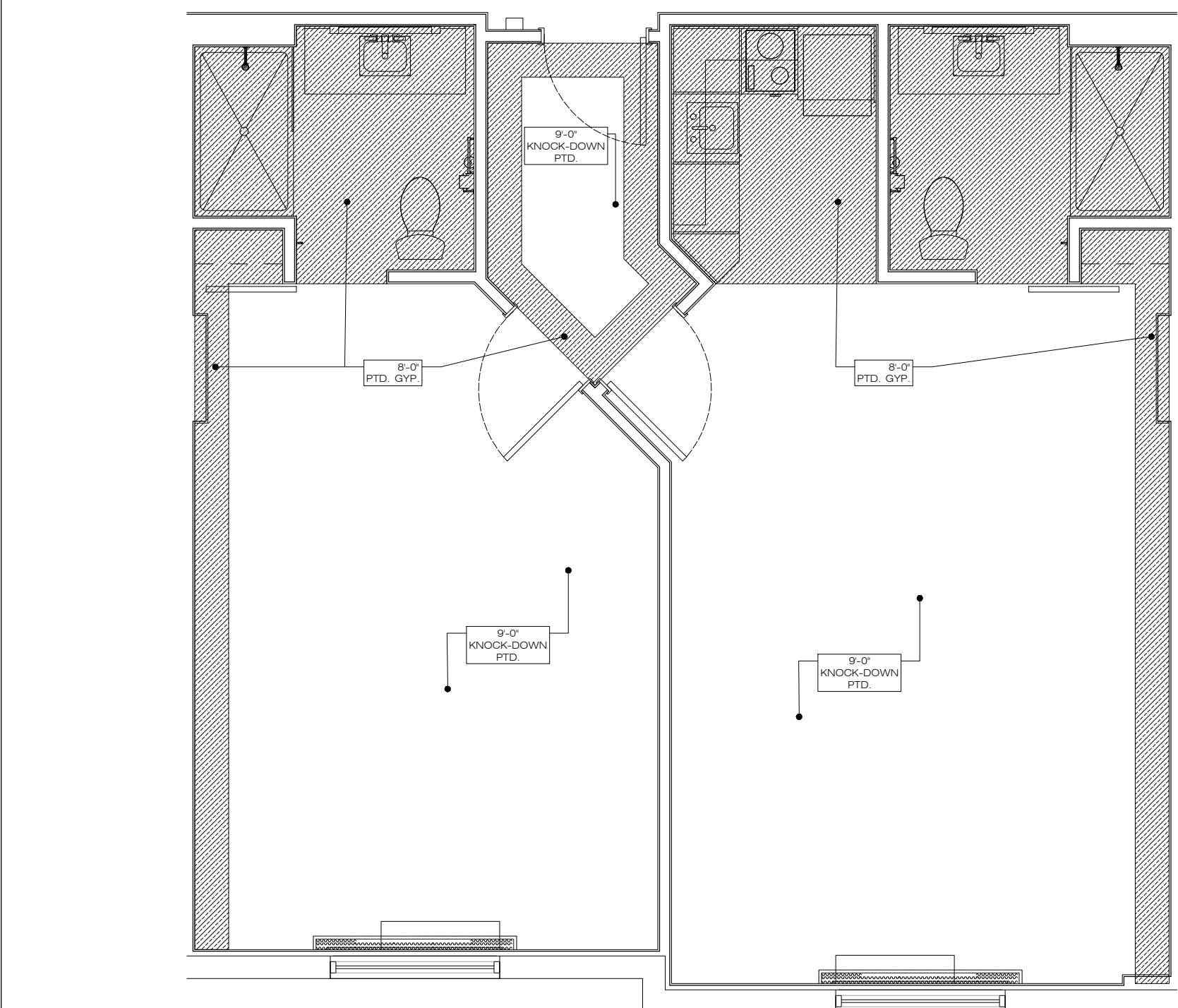


3 ELECTRICAL PLAN

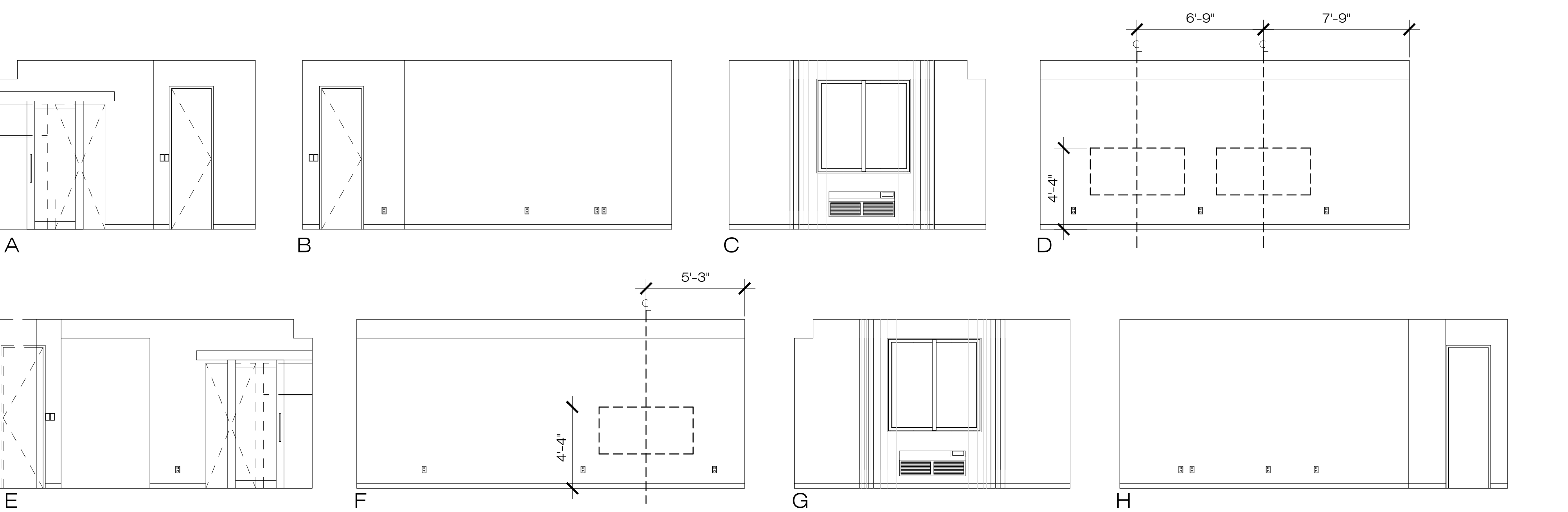


2 FF&E PLAN

SCALE : 1/4" = 1'-0"

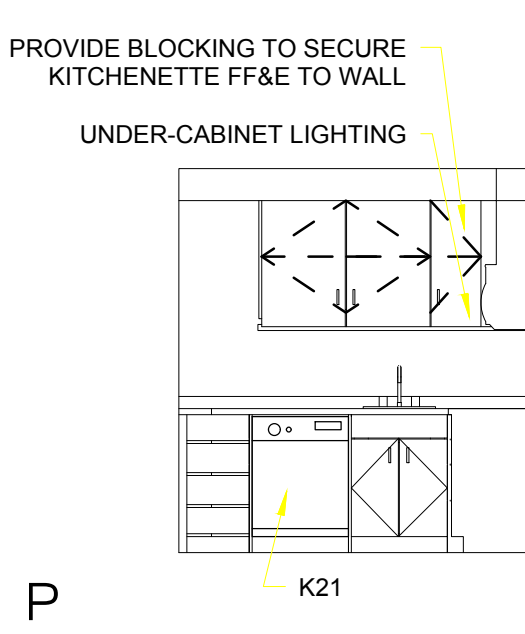
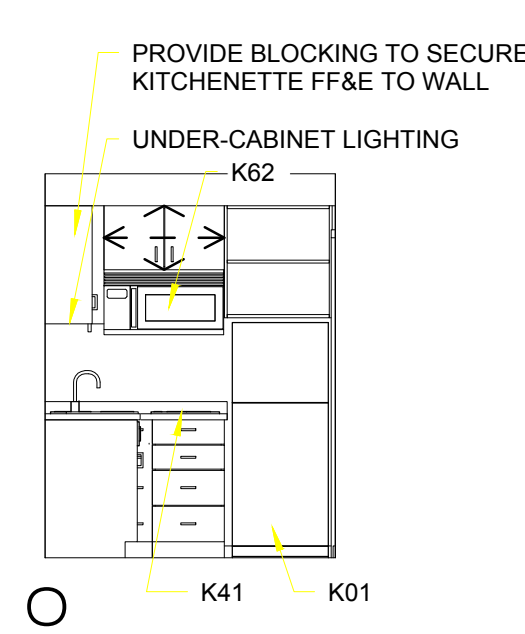
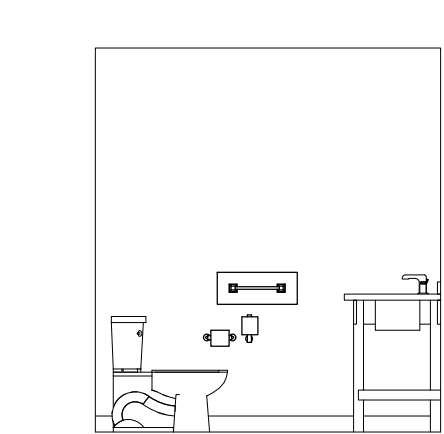
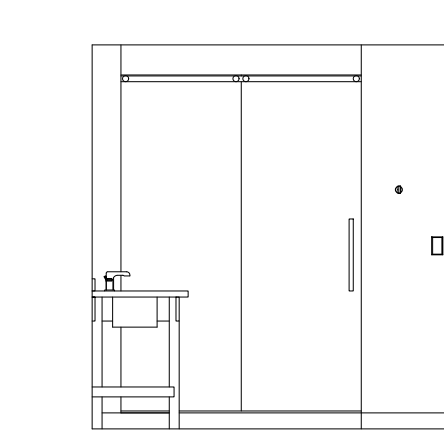
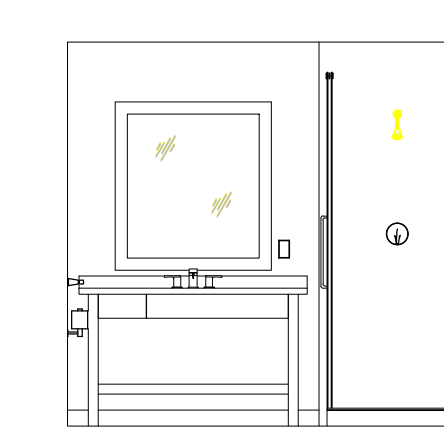
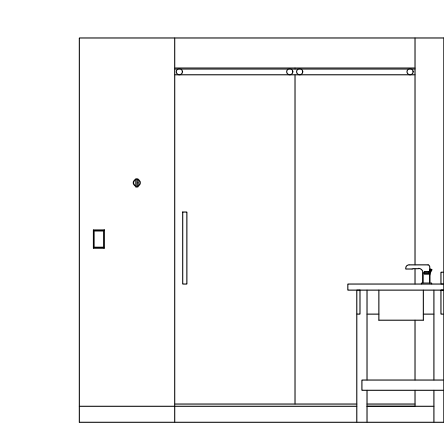
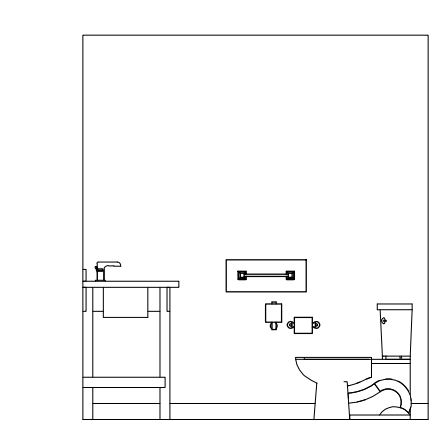
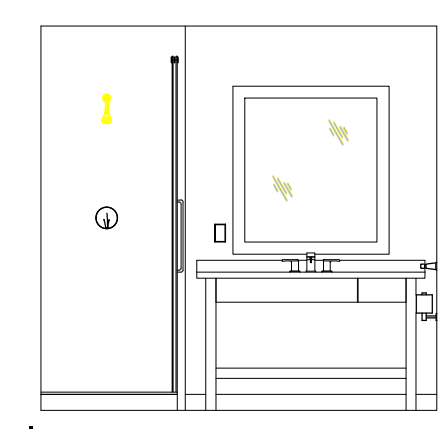


4 REFLECTED CEILING PLAN



5 ELEVATIONS - SLEEPING AREAS

SCALE : 1/4" = 1'-0"



6 ELEVATIONS - BATH & KITCHENS

SCALE : 1/4" = 1'-0"

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND 'J'-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- (XXX) FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- (O) CEILING MOUNTED LIGHT FIXTURE
- (O) RECESSED LIGHT FIXTURE
- (3-WAY SW) 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- (3-WAY SW) 3 WAY LIGHT SWITCH
- (SW) LIGHT SWITCH
- (R) RECEPTACLE
- (GFI) GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE TIME OF THE PROCEEDING WITH THE WORK. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.



HAWTHORN SUITES BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
 CAN

SHEET TITLE:  
 ENLARGED (1 BEDS)  
 1 BED SUITE

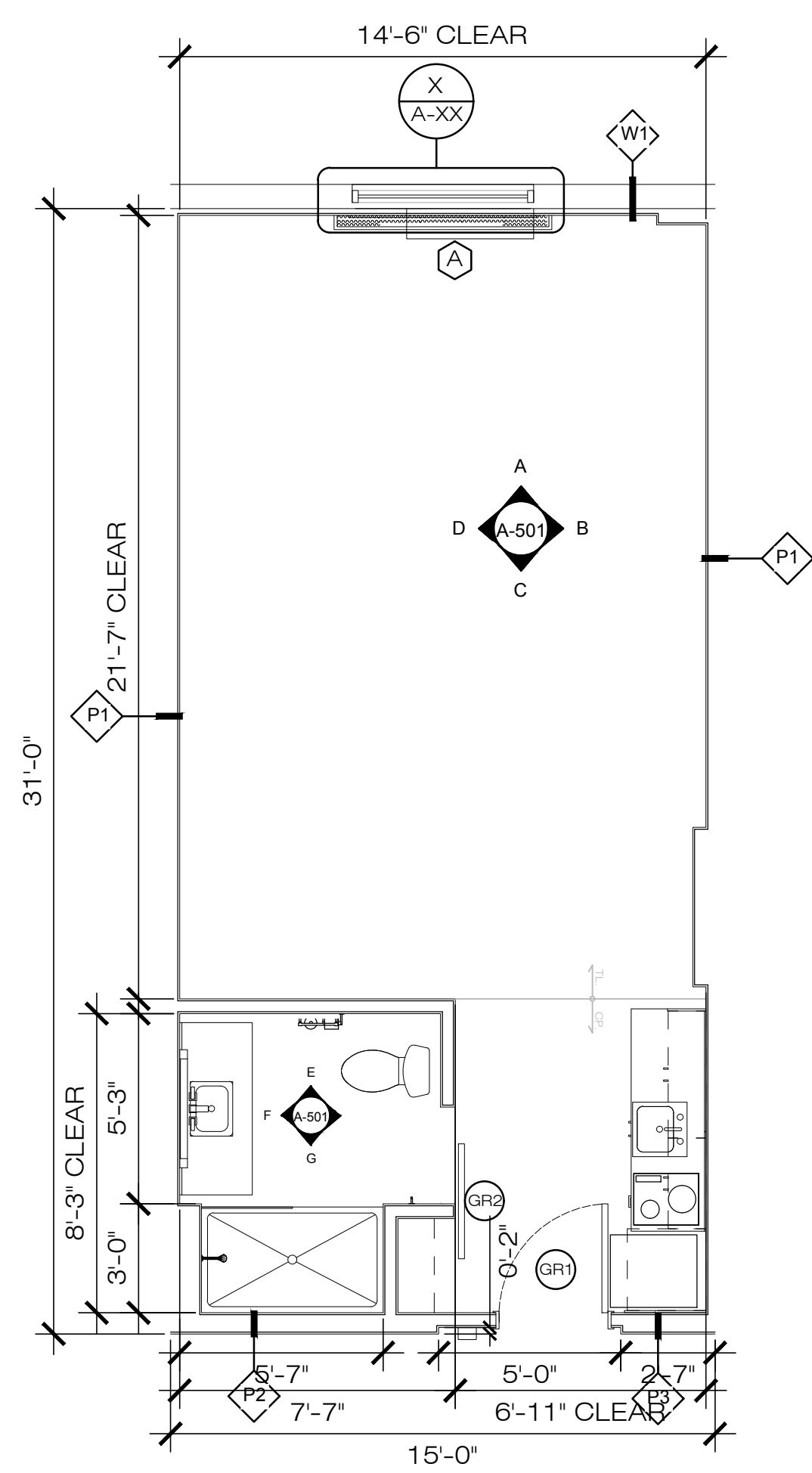
DATE:  
 01.18.2016

SEAL:

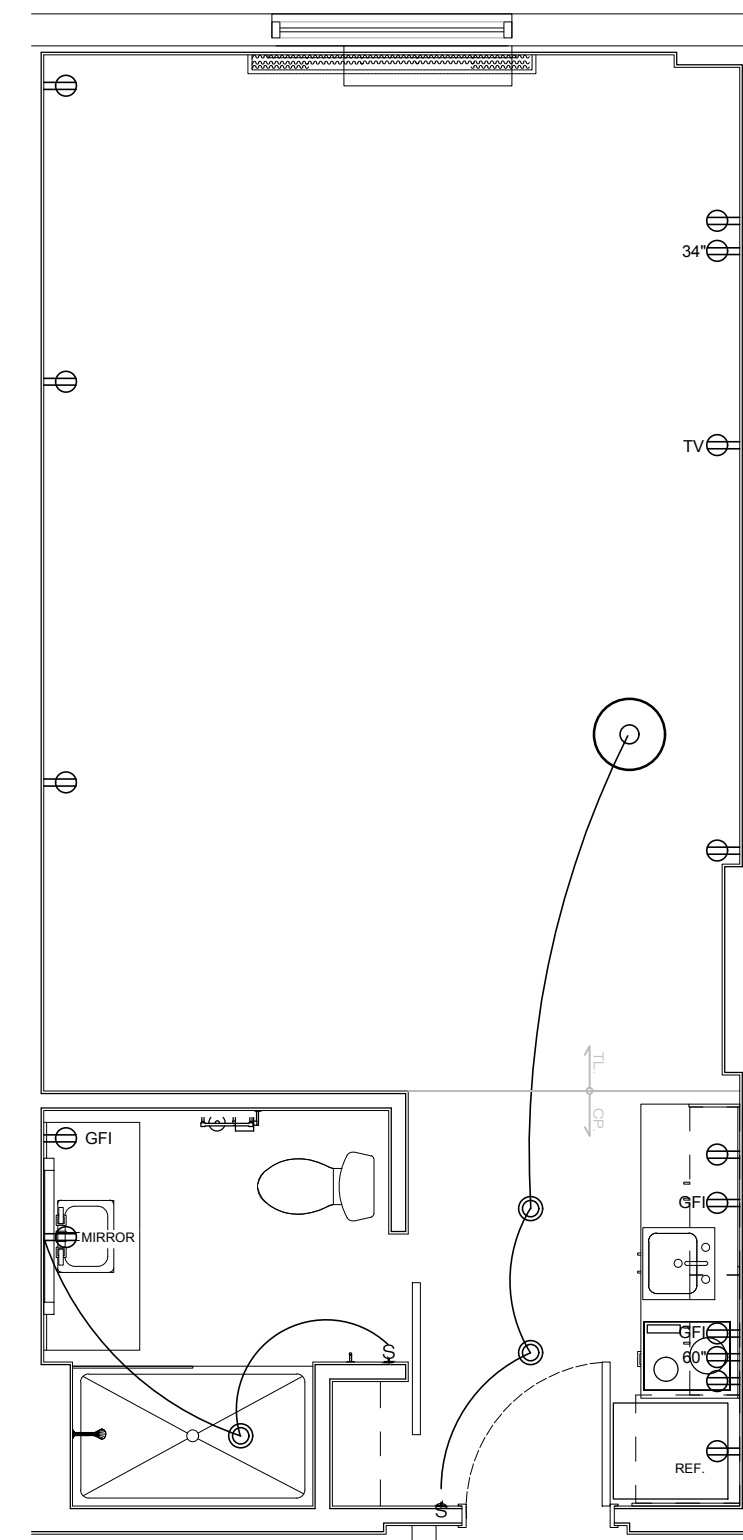
ARCH. LICENSE  
 AR 0011733

A-500

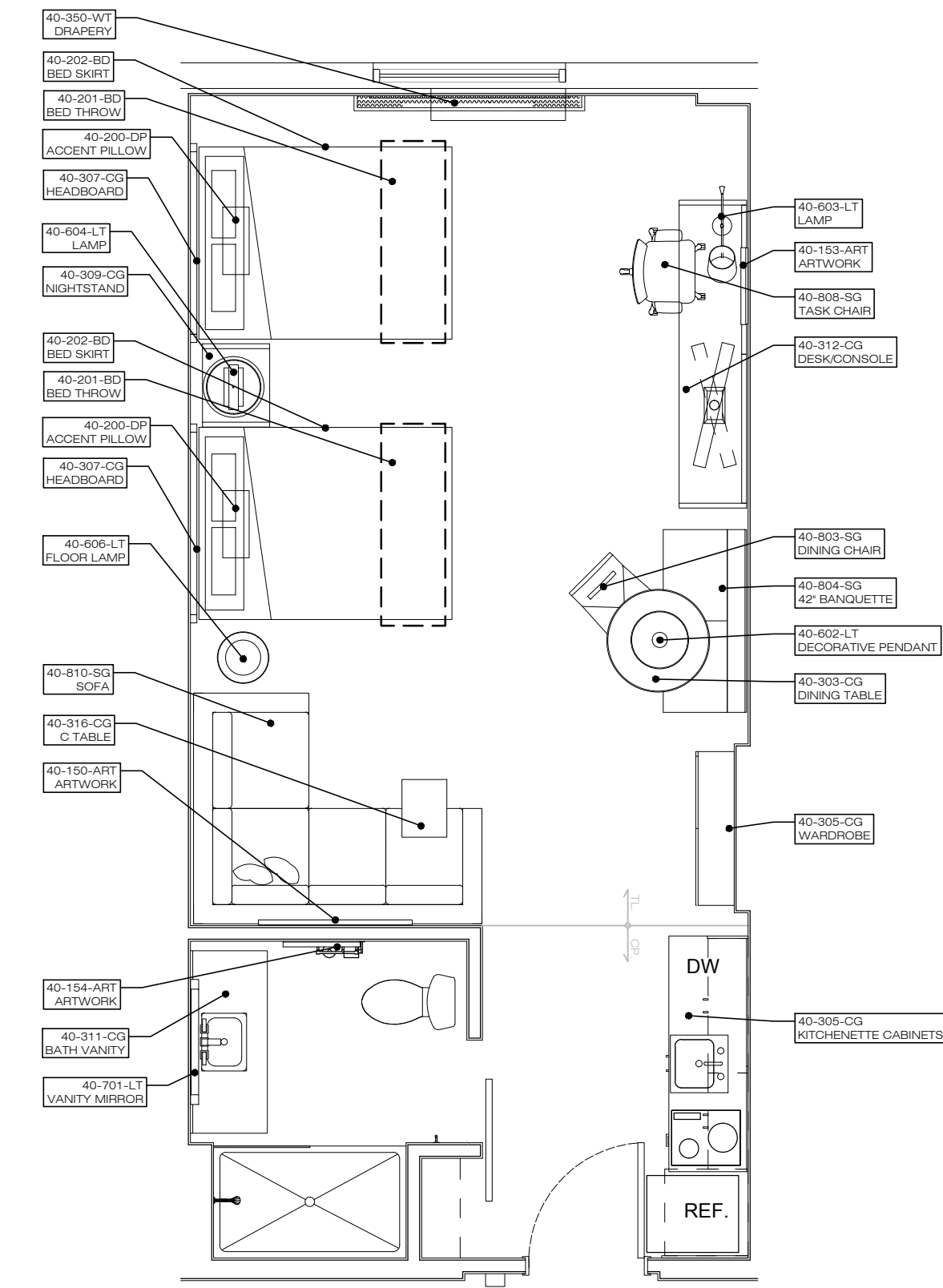




1 UNIT FLOOR PLAN

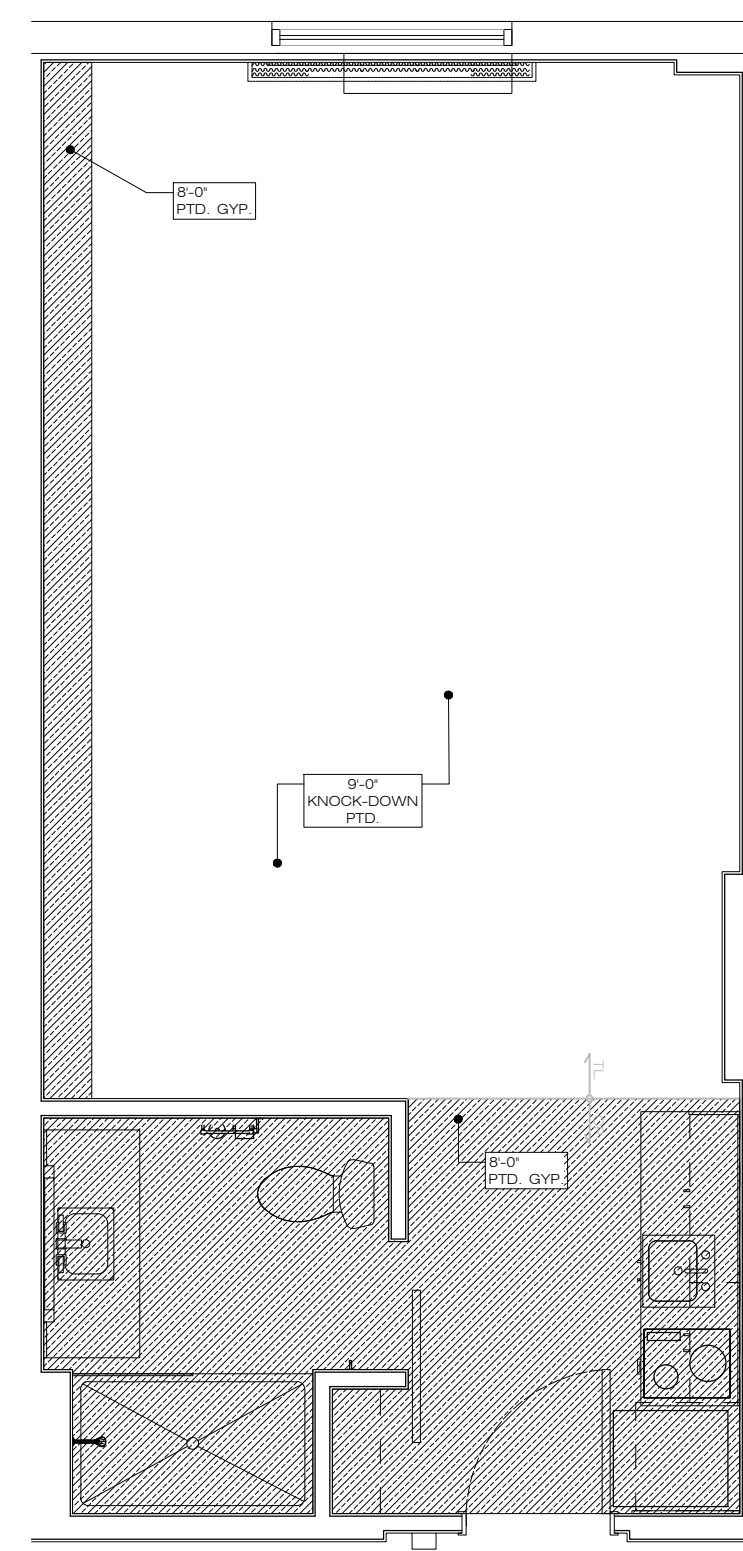


3 ELECTRICAL PLAN

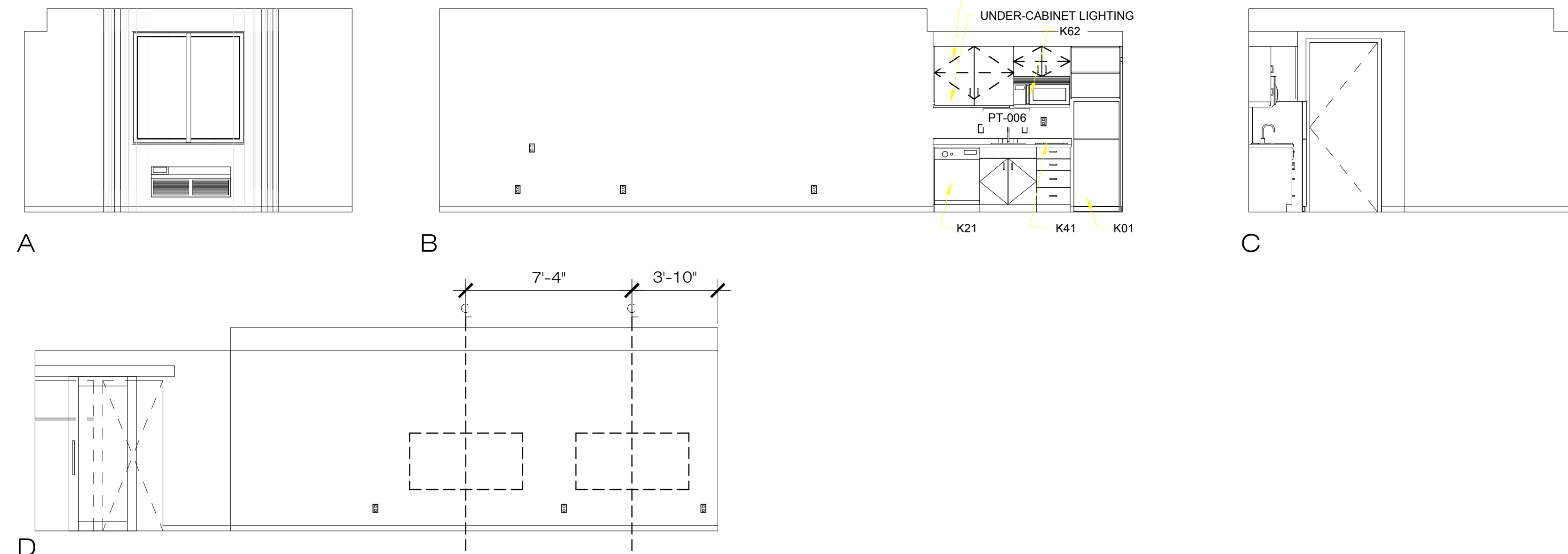


2 FF&E PLAN

SCALE : 1/4" = 1'-0"

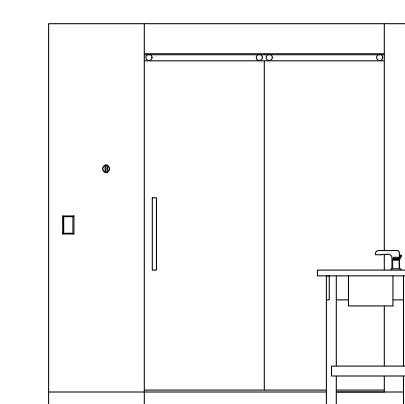


4 REFLECTED CEILING PLAN

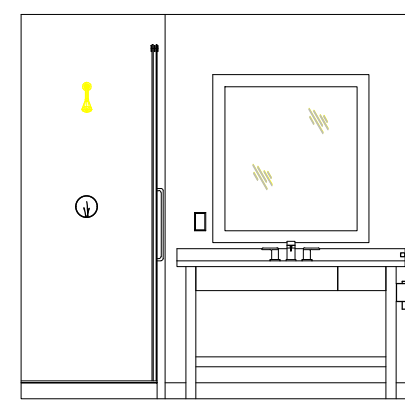


5 ELEVATIONS

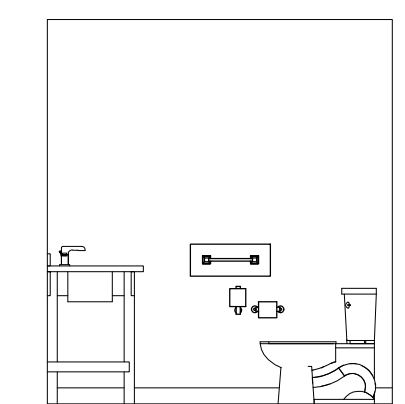
SCALE : 1/4" = 1'-0"



G



F



E

SCALE : 1/4" = 1'-0"

6 ELEVATIONS - BATH

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL. OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL. OF WALL ASSEMBLY. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT)
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- XXX XXX FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- O CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- § LIGHT SWITCH
- ⊕ RECEPTACLE
- ⊕ GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH ANY WORK. ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE INDICATED. ANY AND ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE INDICATED. ANY AND ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE INDICATED. ANY AND ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE INDICATED.



HAWTHORN SUITES BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
ENLARGED (QQS)  
DOUBLE QUEEN

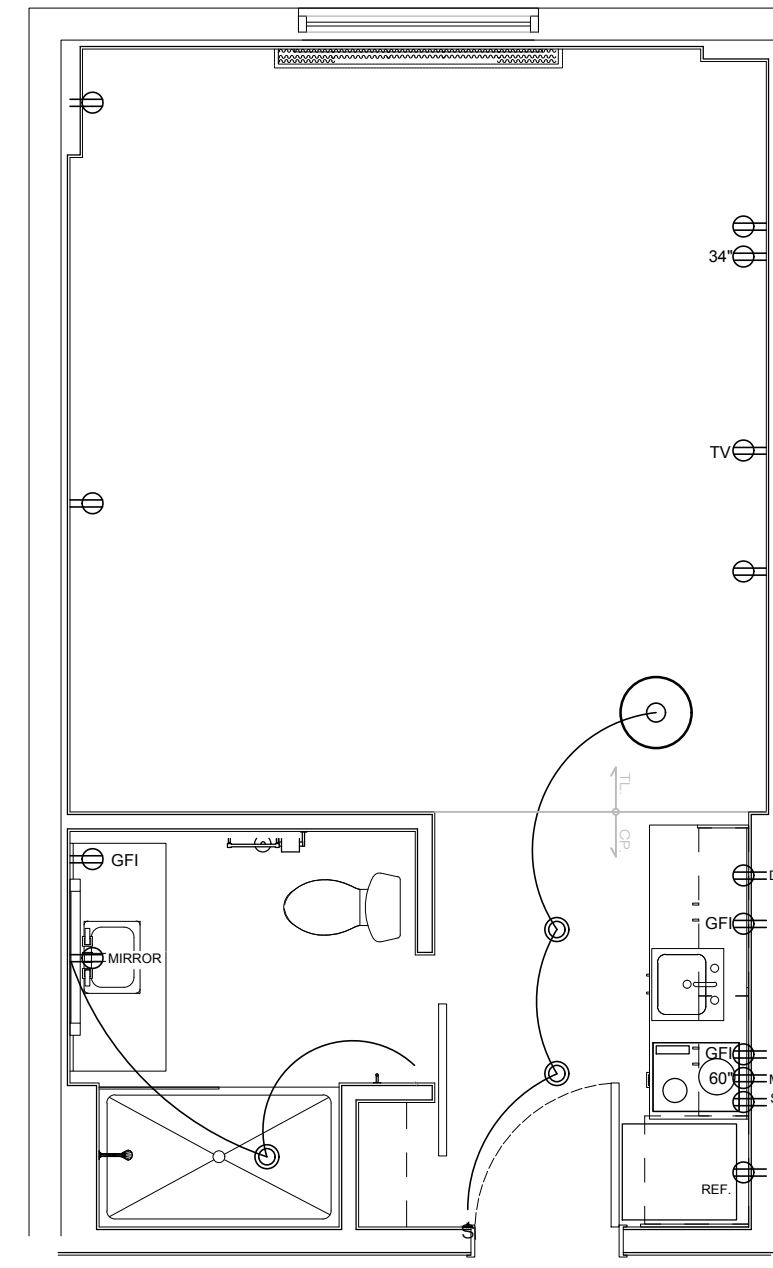
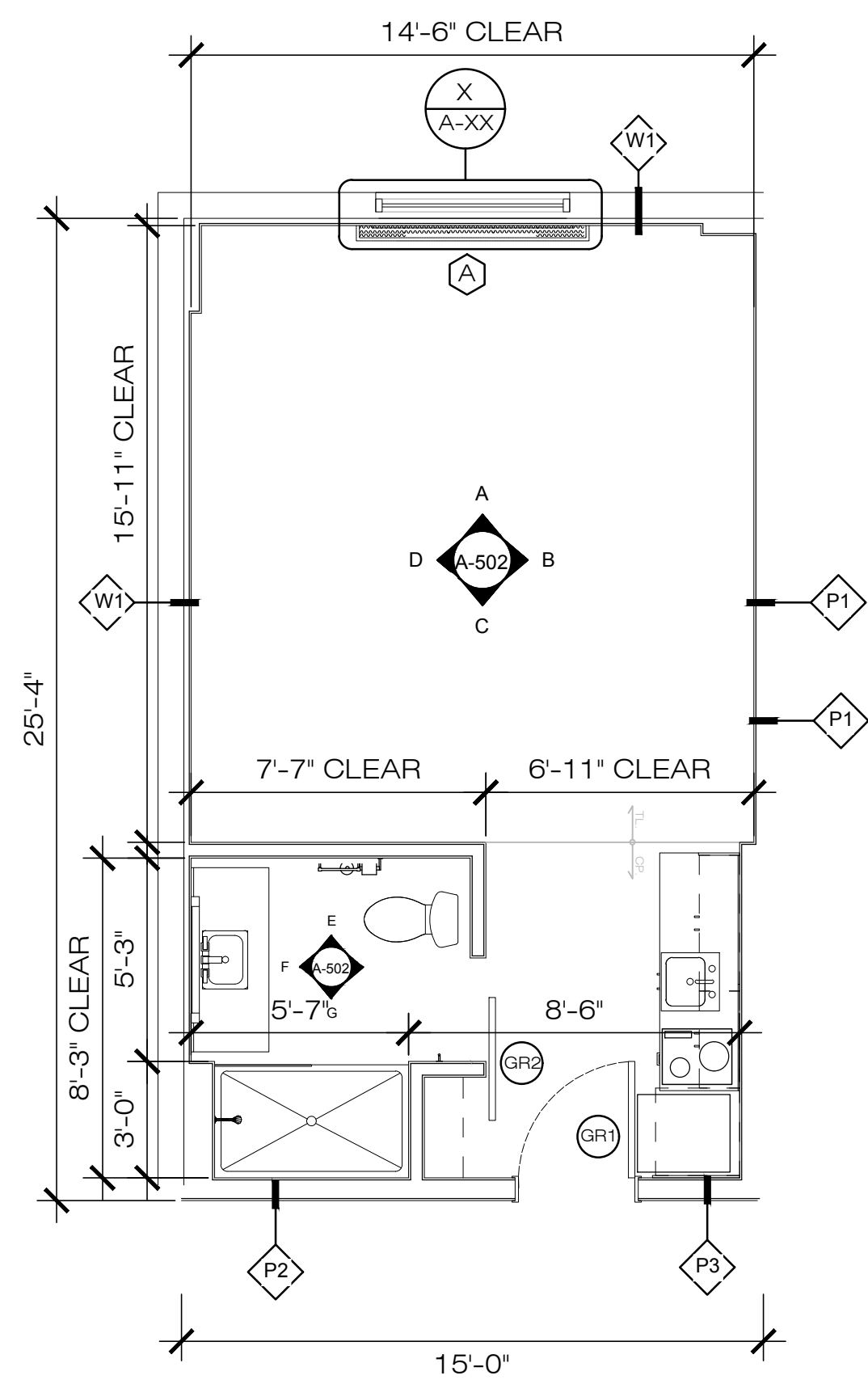
DATE:  
01.18.2016

SEAL:

ARCH. LICENSE  
AR 0011733

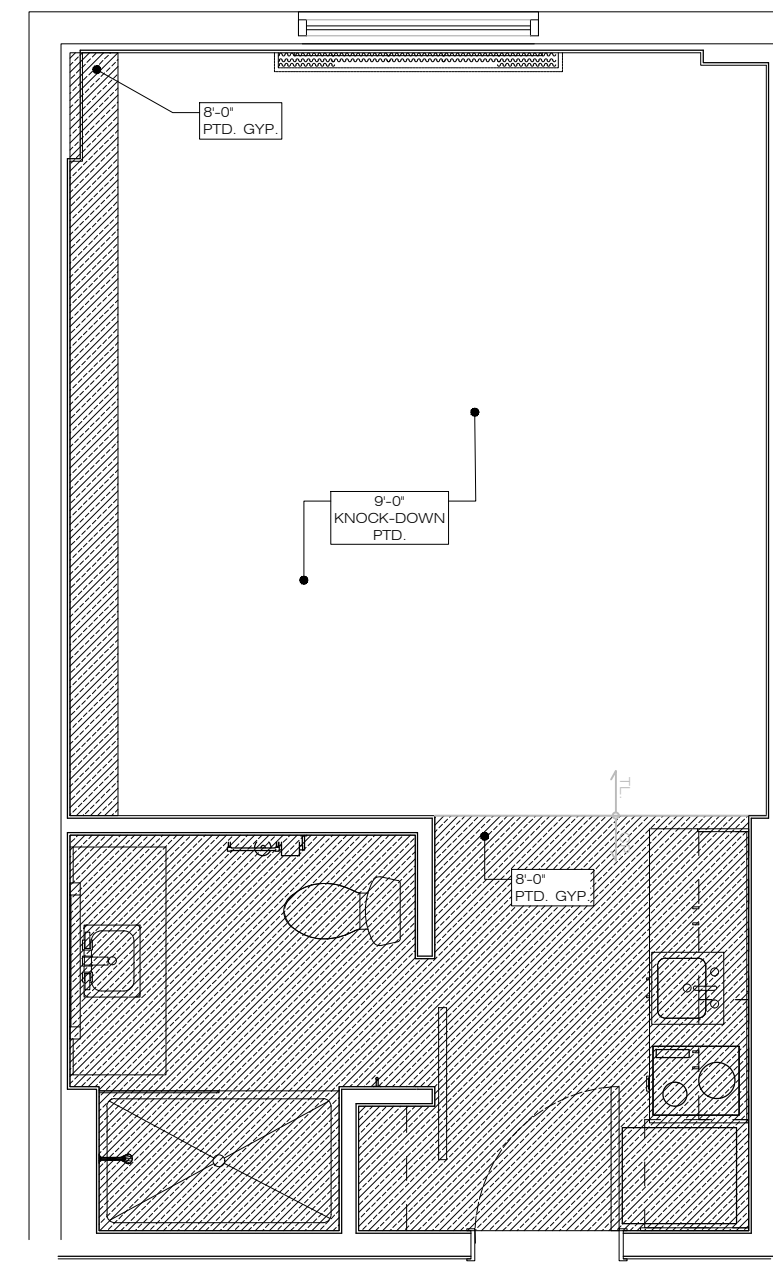
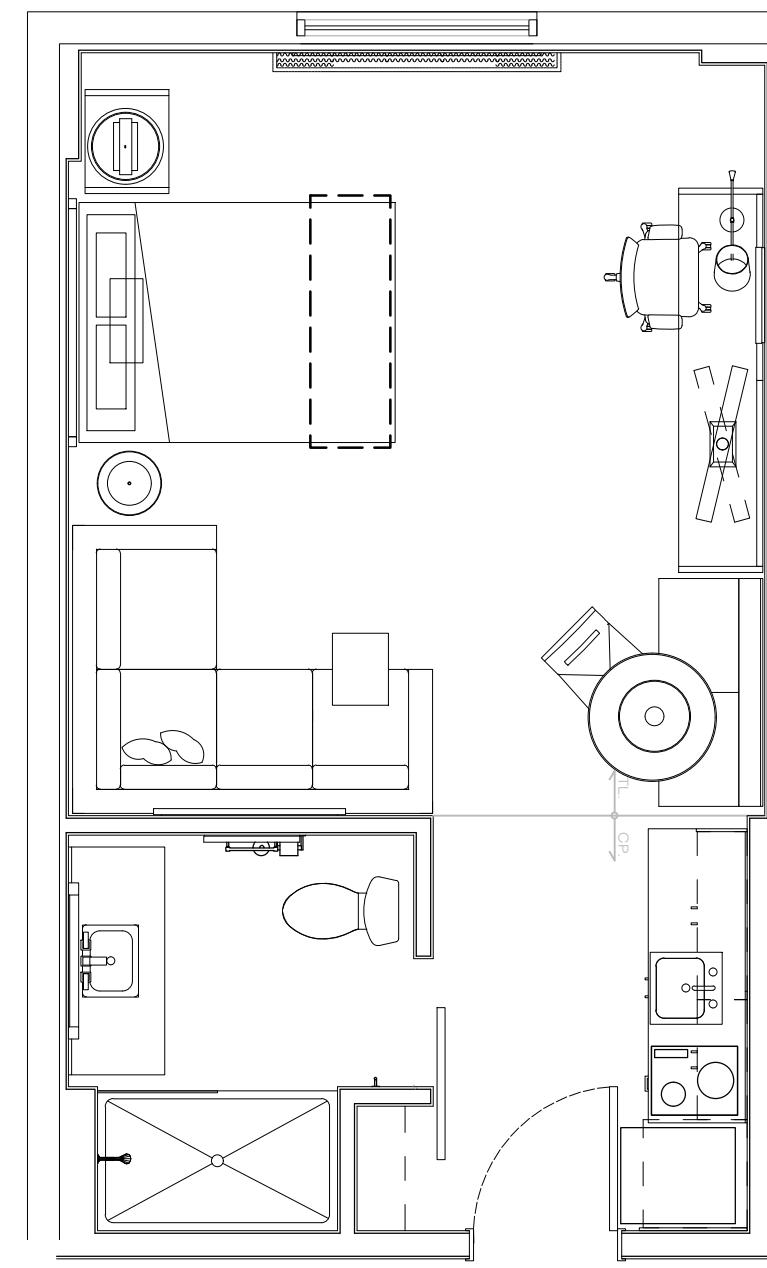
A-501





1 UNIT FLOOR PLAN

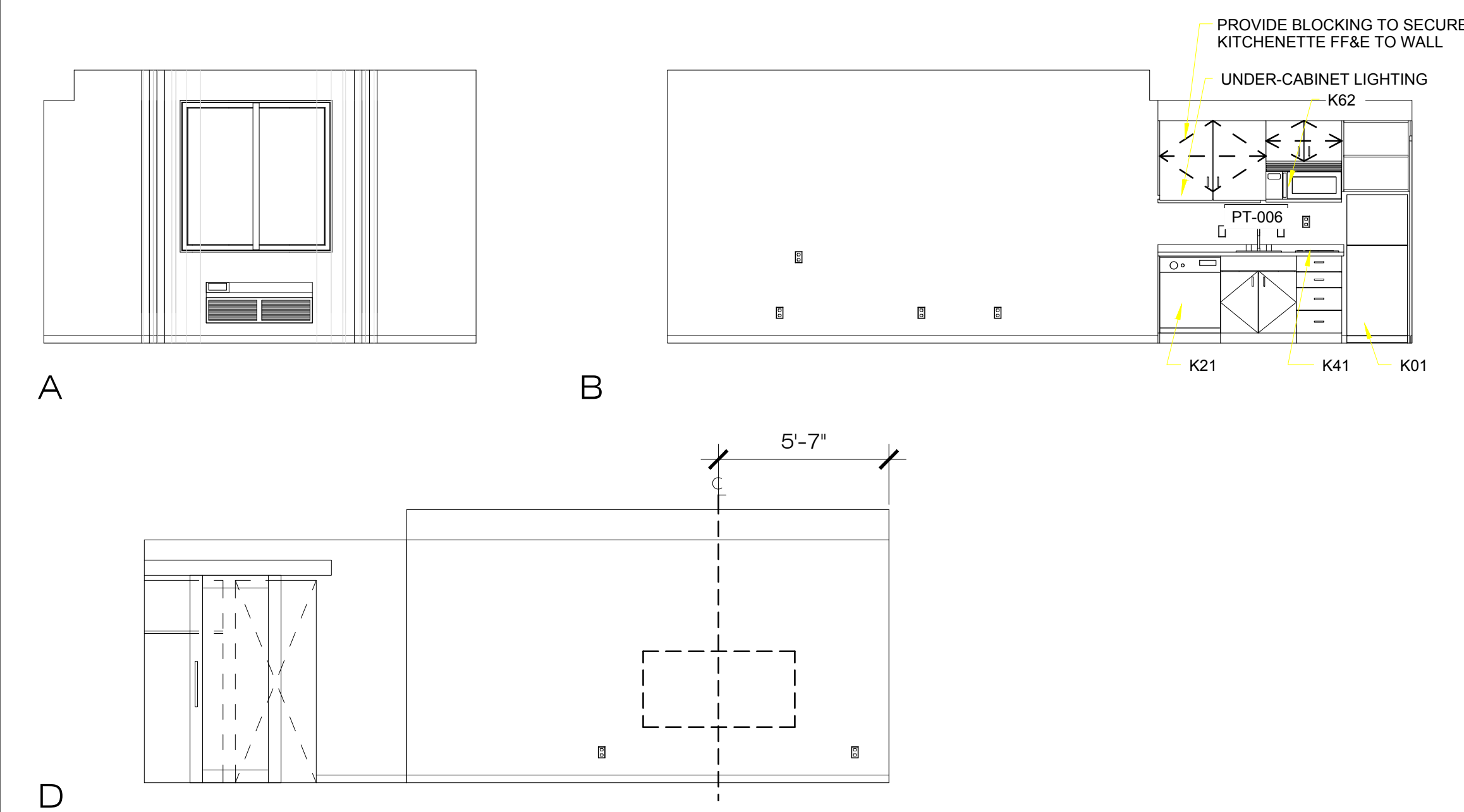
3 ELECTRICAL PLAN



2 FF&E PLAN

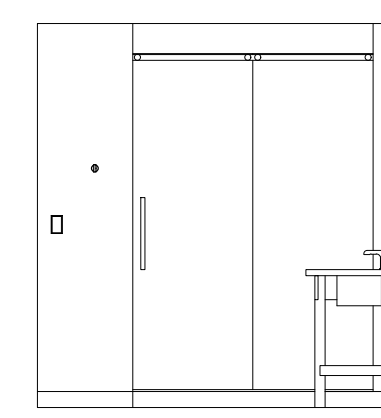
SCALE : 1/4" = 1'-0"

4 REFLECTED CEILING PLAN

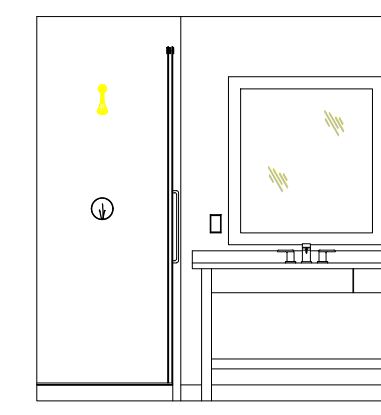


5 ELEVATIONS

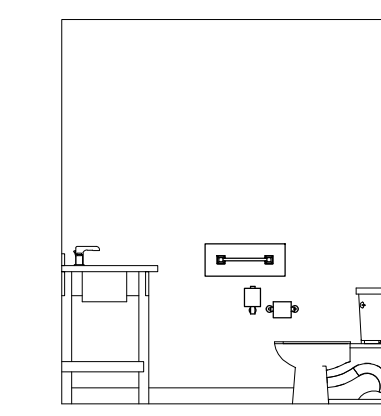
SCALE : 1/4" = 1'-0"



G



F



E

SCALE : 1/4" = 1'-0"

6 ELEVATIONS - BATH

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION!
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT)
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- XXX XXX FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- O CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ANY AND ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ANY AND ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ANY AND ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

**MF Architects**  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
ENLARGED (KS)  
KING STUDIO

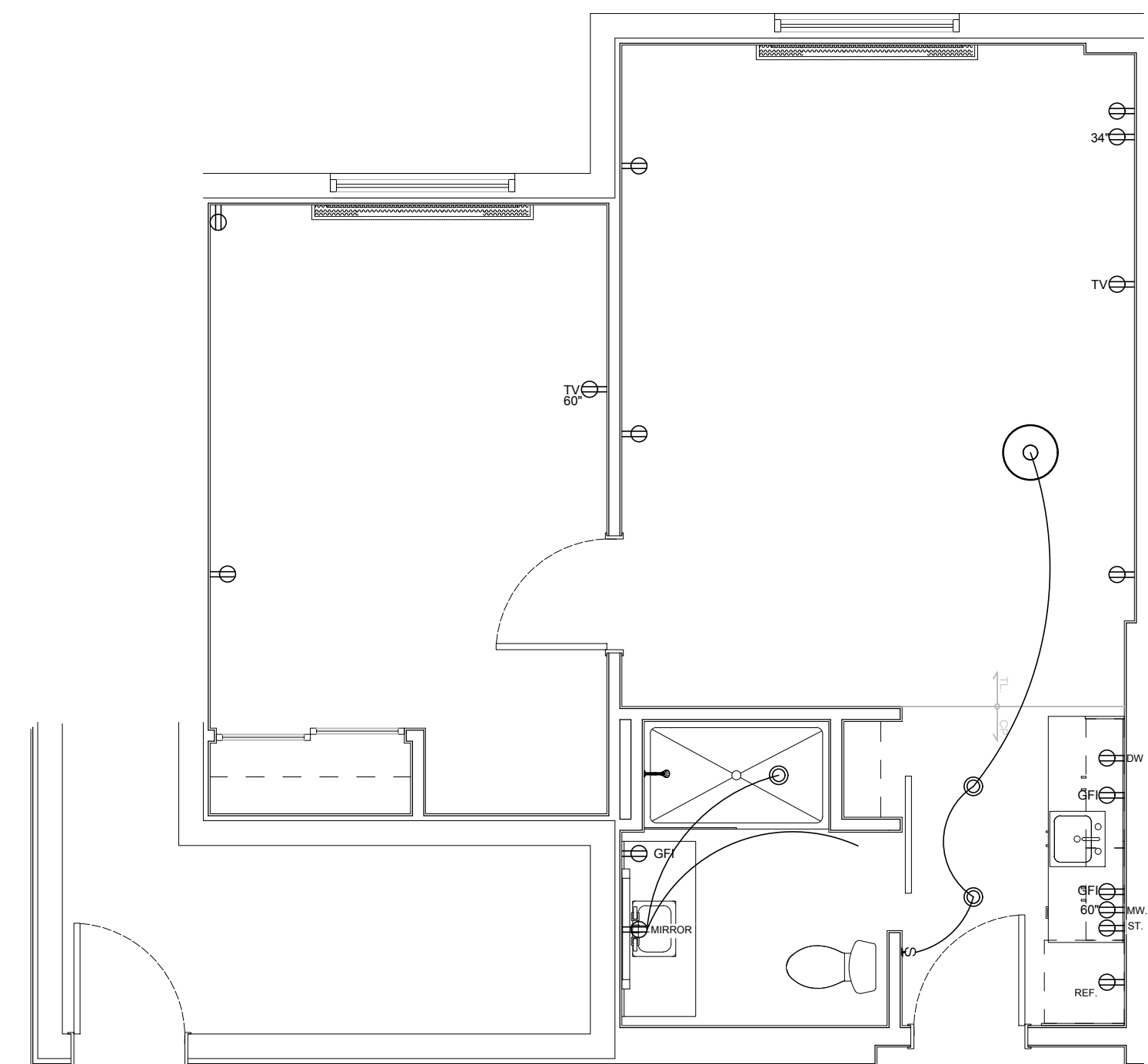
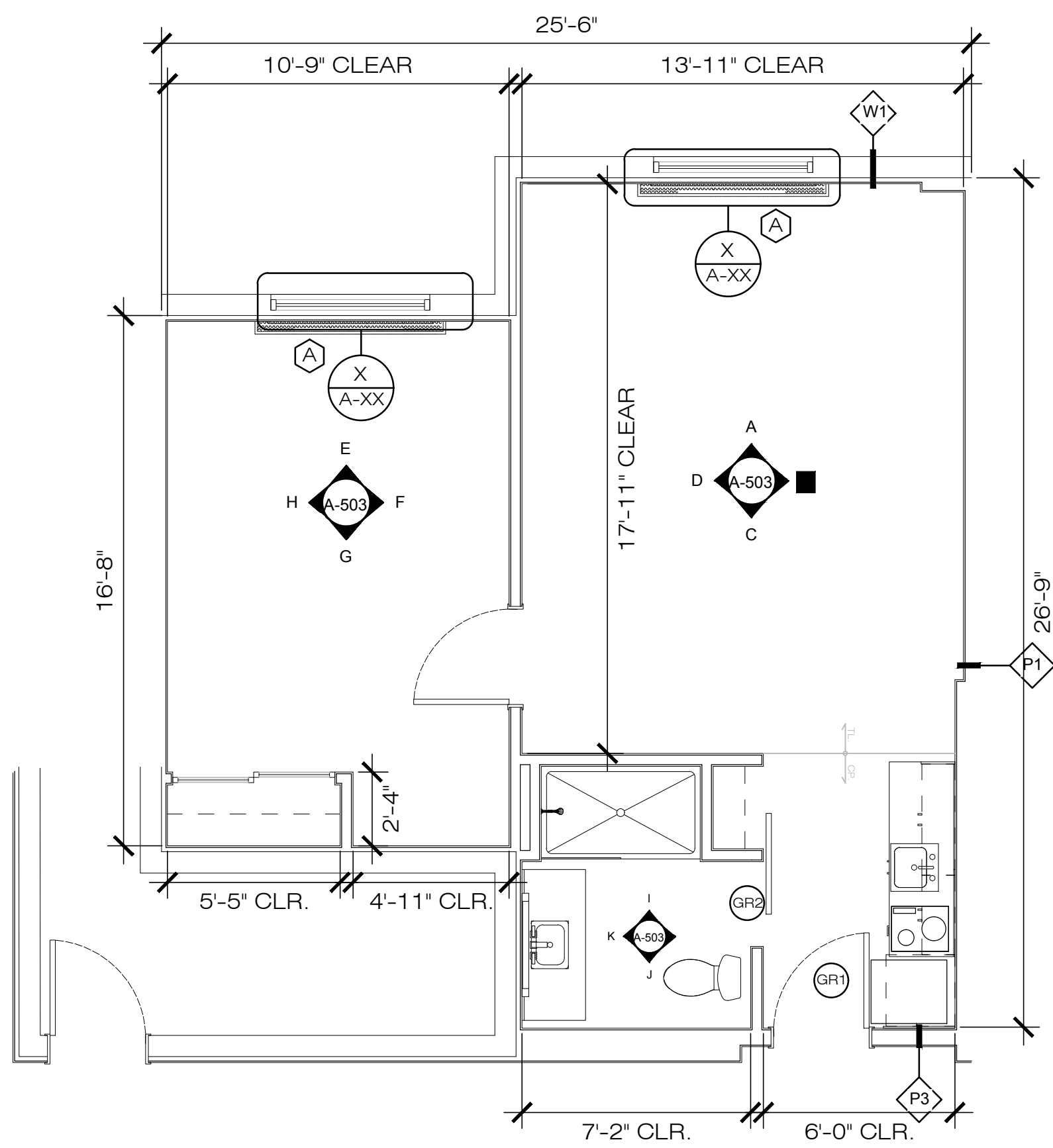
DATE:  
01.18.2016

SEAL:

ARCH. LICENSE  
AR 0011733

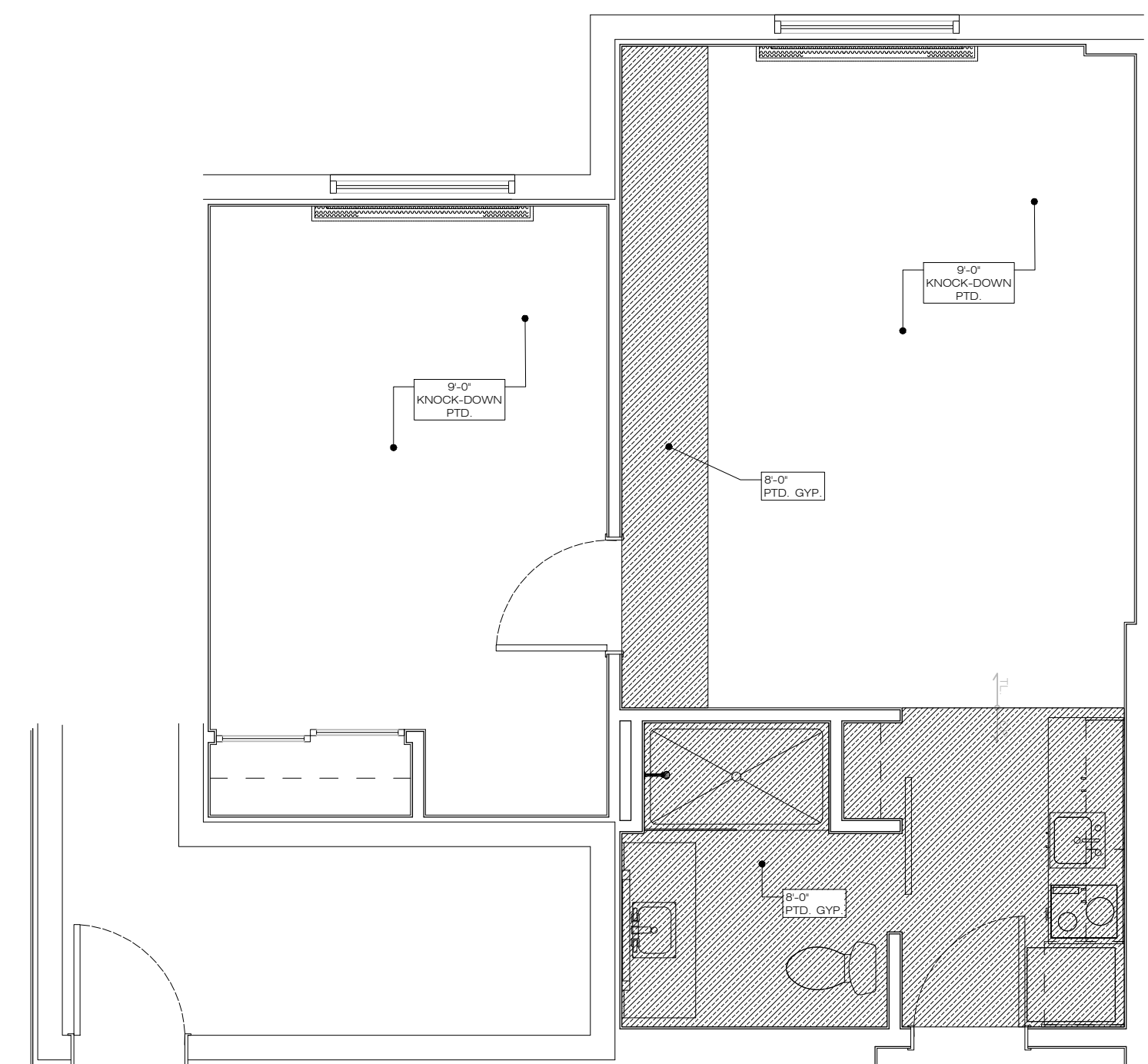
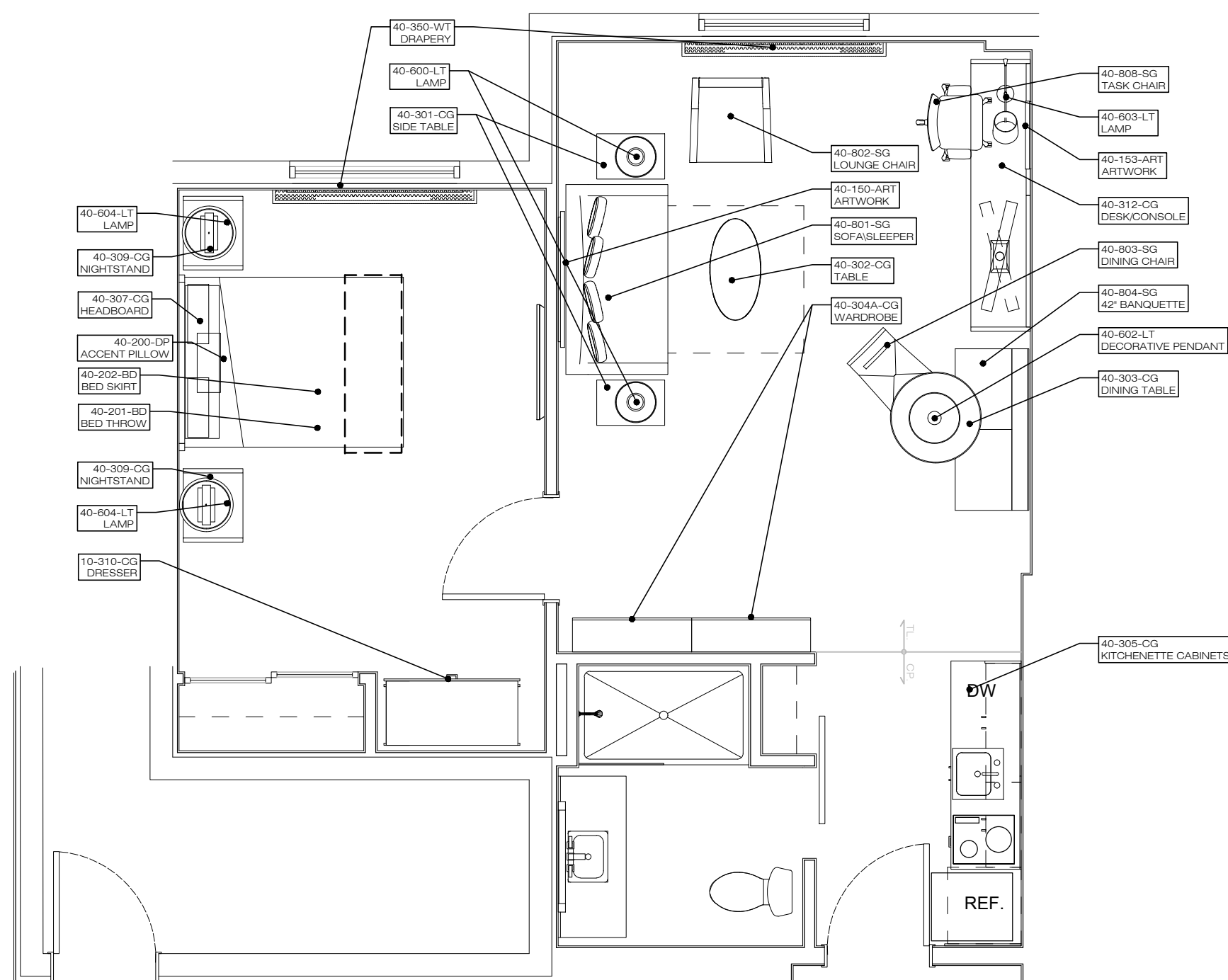
**A-502**





1 UNIT FLOOR PLAN

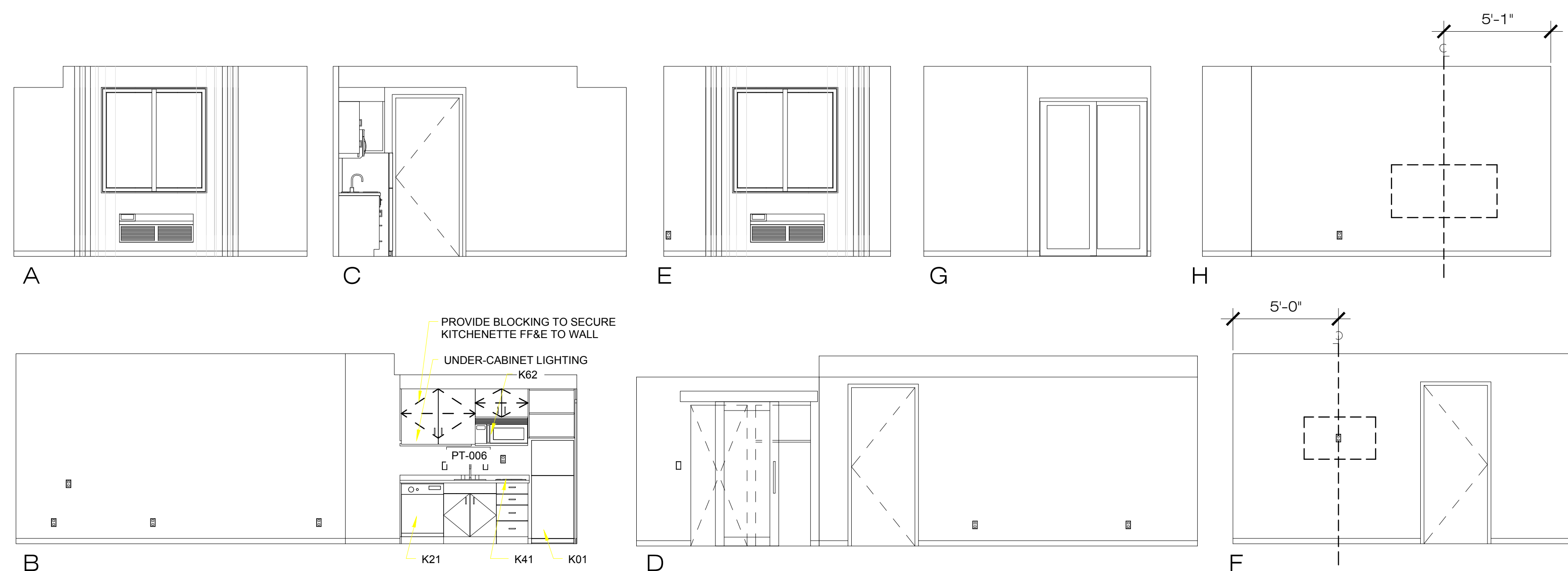
3 ELECTRICAL PLAN



2 FF&E PLAN

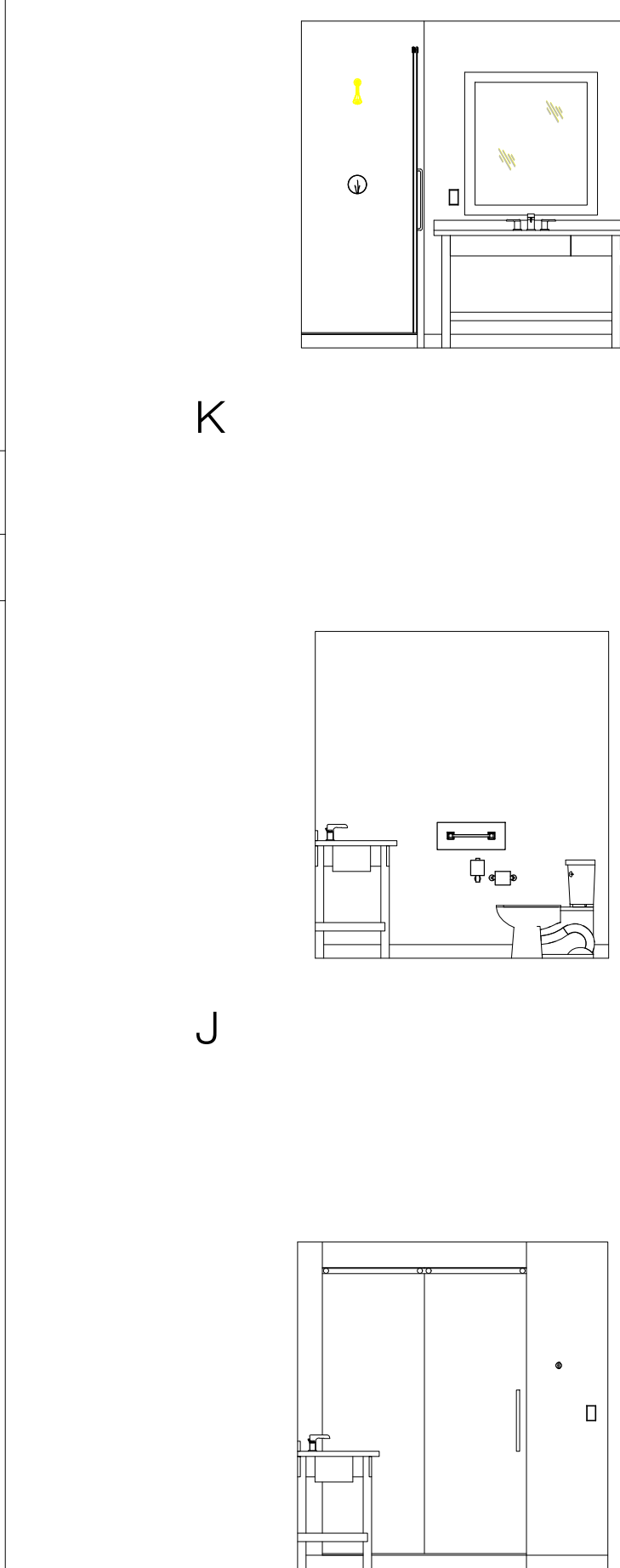
SCALE : 1/4" = 1'-0"

4 REFLECTED CEILING PLAN



5 ELEVATIONS

SCALE : 1/4" = 1'-0"



6 ELEVATIONS - BATH

SCALE : 1/4" = 1'-0"

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- (XXX) FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- (O) CEILING MOUNTED LIGHT FIXTURE
- (O) RECESSED LIGHT FIXTURE
- (3 way) 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- (3 way) 3 WAY LIGHT SWITCH
- (S) LIGHT SWITCH
- (R) RECEPTACLE
- (GFI) GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.



HAWTHORN SUITES BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
ENLARGED (10S)  
SINGLE QUEEN SUITE

DATE:  
01.18.2016

SEAL:

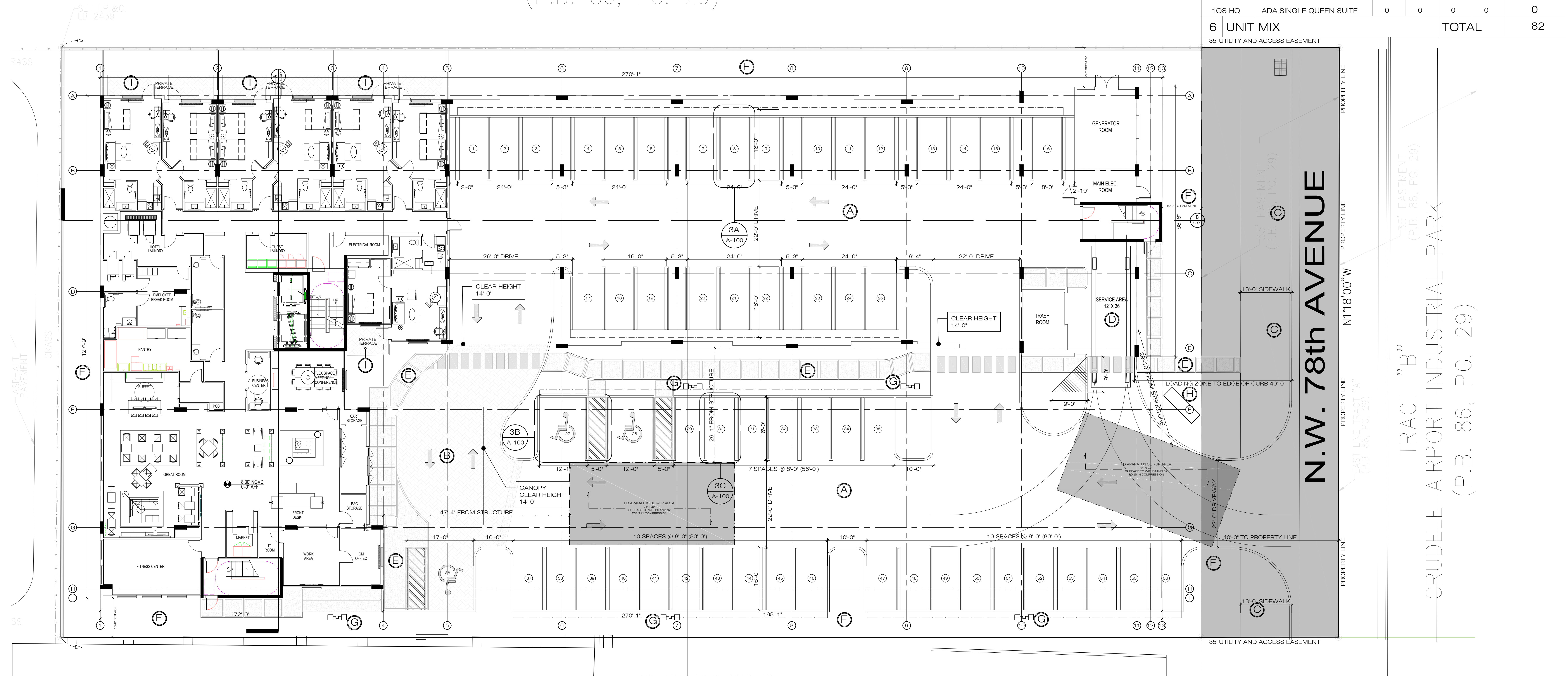
ARCH. LICENSE  
AR 0011733

A-503



TRACT "A"  
CRUDELE AIRPORT INDUSTRIAL PARK  
(P.B. 86, PG. 29)

MARK	ROOM TYPE	FLOOR LEVEL				TOTAL
		1	2	3	4	
1BEDS	2 BEDROOM SUITE	3	13	15	13	44
1BEDS HQ	ADA 2 BEDROOM SUITE	0	2	0	2	4
QQS	DOUBLE QUEEN STUDIO	0	7	7	7	21
QQS HQ	ADA DOUBLE QUEEN STUDIO	0	0	0	0	0
KS	KING STUDIO	0	3	3	3	9
KS HQ	ADA KING STUDIO	0	0	0	0	0
1QS	SINGLE QUEEN SUITE	1	1	1	1	4
1QS HQ	ADA SINGLE QUEEN SUITE	0	0	0	0	0
<b>6</b>	<b>UNIT MIX</b>	<b>TOTAL</b>				<b>82</b>



**1 SITE PLAN**

**SITE DATA:**  
 GROSS LOT AREA: 48,750.0427 SF  
 1.119 ACRES  
 SITE ADDRESS: 3500 NW 78TH AVE  
 LEGAL DESCRIPTION: CRUDELE AIRPORT INDUSTRIAL PARK  
 PB 86-29 N150' OF S385' OF TRACT A  
 OR 14691-2502 0690 1

**ZONING DATA:**

SITE DISTRICT: VILLAGE SUB-DISTRICT	REQUIRED	PROVIDED
DENSITY: (75 GR / ACRE)	83 GR	82 GR
BUILDING COVERAGE: .75 X GLA	36,562.531 SF	21,156.6456 SF
MAXIMUM HEIGHT: WIDTH OF R-O-W	50' R-O-W	49'-10"
OPEN SPACE: 10% OF GLA	4,875 SF	11,984 SF

**SETBACKS:**

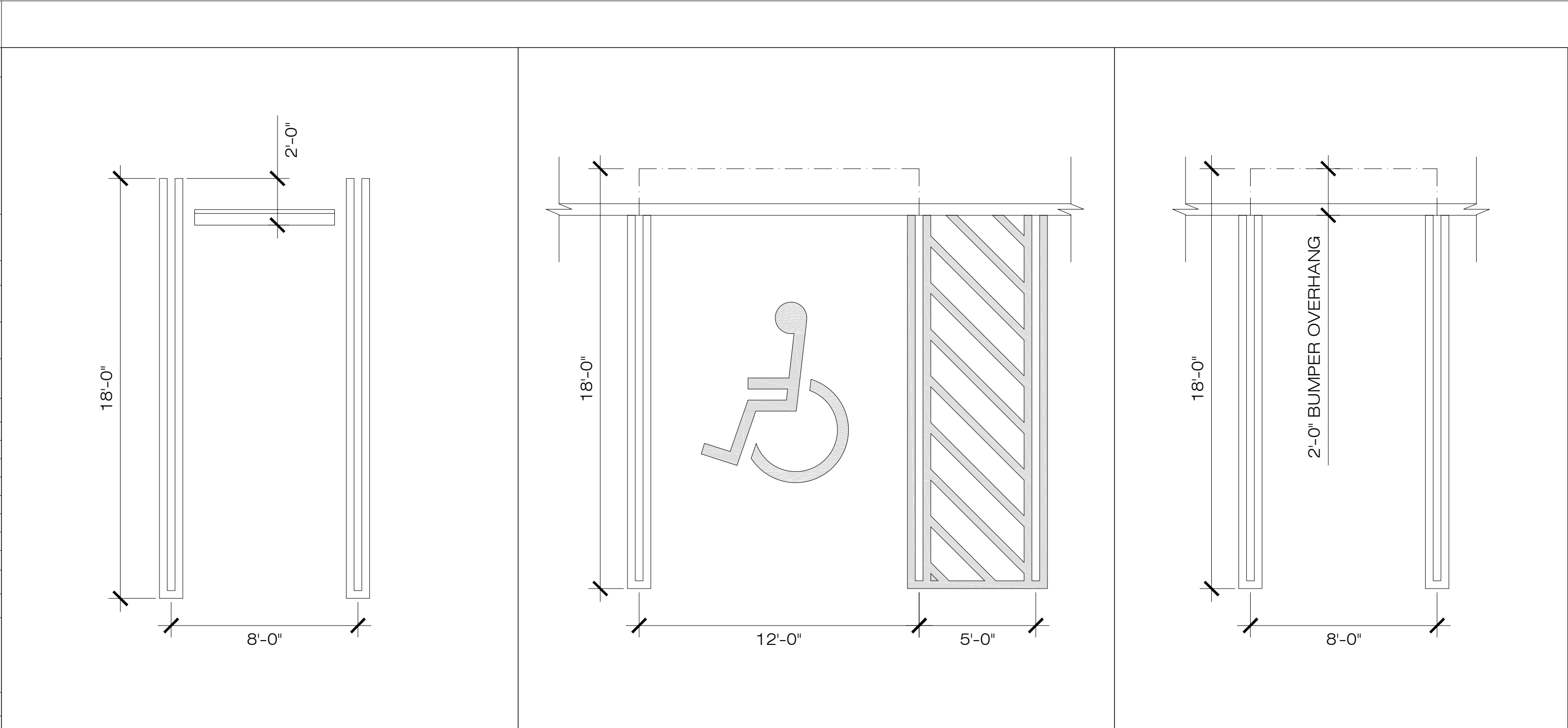
FRONT	0' - 10'-0"	10'-0" FROM EASEMENT
SIDE	0' - 10'-0"	10'-0"
REAR	0'	+/- 10'-0"

**FAR:**

FLOOR	REQUIRED	PROVIDED
GRFUND FLOOR @ .75	36,562 SF	9,275 SF
2ND FLOOR @ .5	24,375 SF	21,271 SF
3RD FLOOR @ .5	24,375 SF	21,095 SF
4TH FLOOR @ .5	24,375 SF	21,271 SF
<b>TOTAL</b>	<b>109,687 SF</b>	<b>72,912 SF</b>

**PARKING: (LODGING)**

REQUIREMENT	REQUIRED	PROVIDED
1) 1 SPACE FOR THE FIRST 40 UNITS	40 SPACES	
2) 1 SPACE FOR EVERY 2 UNITS THEREAFTER	21 SPACES	
3) 1 SPACE FOR EVERY 4 EMPLOYEES	1 SPACE	
4) PARKING REDUCTION - 75% OF REQUIRED	-16 SPACES	
<b>TOTAL SPACES</b>	<b>46 SPACES</b>	<b>56 SPACES</b>



- 4 GENERAL NOTES**
- BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY.
  - LOT SHALL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES AND / OR RIGHT OF WAY.
  - PROVIDE "VULCLAY" WATERPROOFING AT ALL CONCRETE AND MASONRY WALLS EXPOSED TO EARTH.
  - FOR GRADING, PAVEMENTS, DRAINAGE SYSTEMS AND ALL OTHER SITE INFORMATION REFER TO CIVIL DRAWING.
  - ALL PERMANENT STRUCTURES MUST BE CLEAR OF THE RECORDED 35' ACCESS AND UTILITY EASEMENT LOCATED AT THE PRINCIPAL FRONTAGE OF THE PROPERTY.
  - ALL SITE CONCRETE PAVERS SHALL BE INSTALLED OVER A CRUSHED LIME ROCK BASE FOR LEVELING, OVER A PERMEABLE FABRIC TO PREVENT THE GROWTH OF VEGETATION BETWEEN THE CONCRETE PAVERS.
  - NO PLANTINGS OTHER THAN SOD FOR 24" FROM CONCRETE CURBS, WHERE PARKING STALLS OVERHANG.
- 5 SITE LEGEND**
- (A) ASPHALT PAVEMENT
  - (B) CONCRETE PAVERS
  - (C) STREET TREES WITH GRATES
  - (D) 12 X 36' LOADING AREA
  - (E) CONCRETE SIDEWALK
  - (F) LANDSCAPED AREAS
  - (G) PARKING LIGHTING
  - (H) HOTEL MONUMENT SIGN
  - (I) PRIVATE TERRACES
  - (1) PARKING COUNT

DATE: \_\_\_\_\_

REVISIONS:

NO.	DATE	DESCRIPTION



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

**MF Architects**  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

**DRAWN BY:**  
CAN

**SHEET TITLE:**  
SITE PLAN

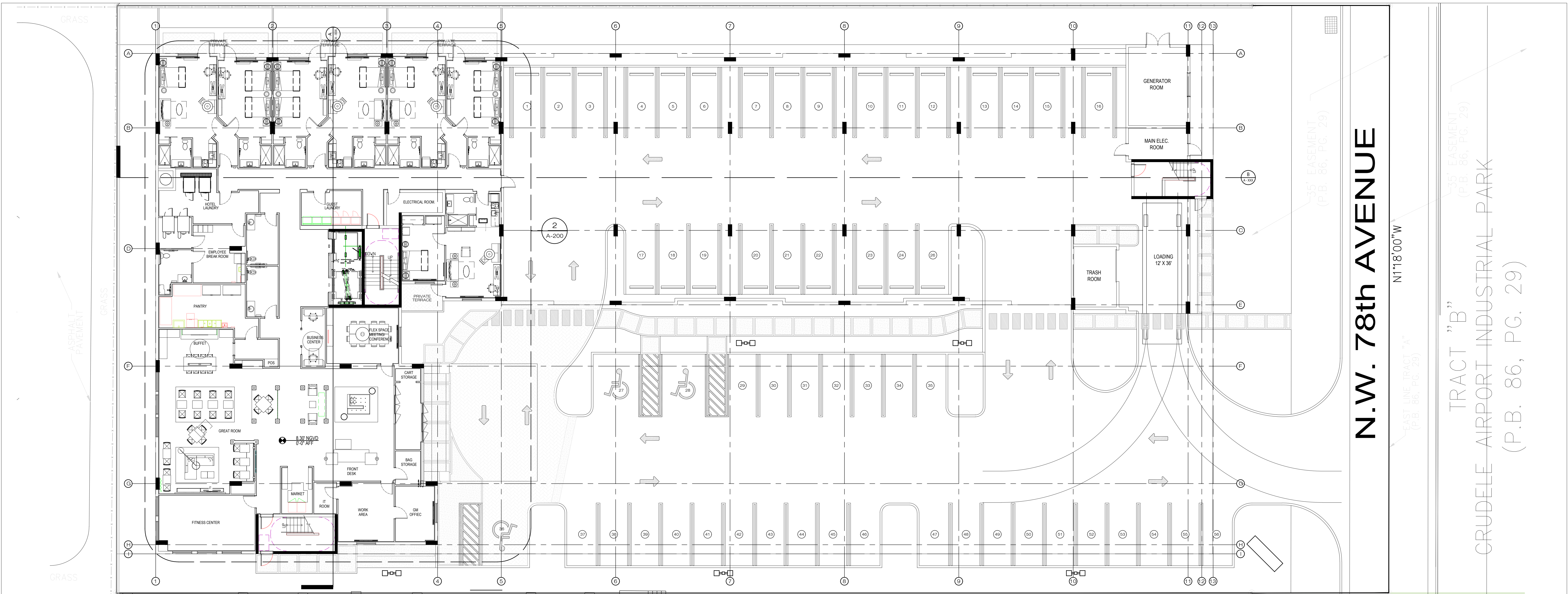
**DATE:**  
01.18.2016

**SEAL:**

**ARCH. LICENSE:**  
AR 0011733

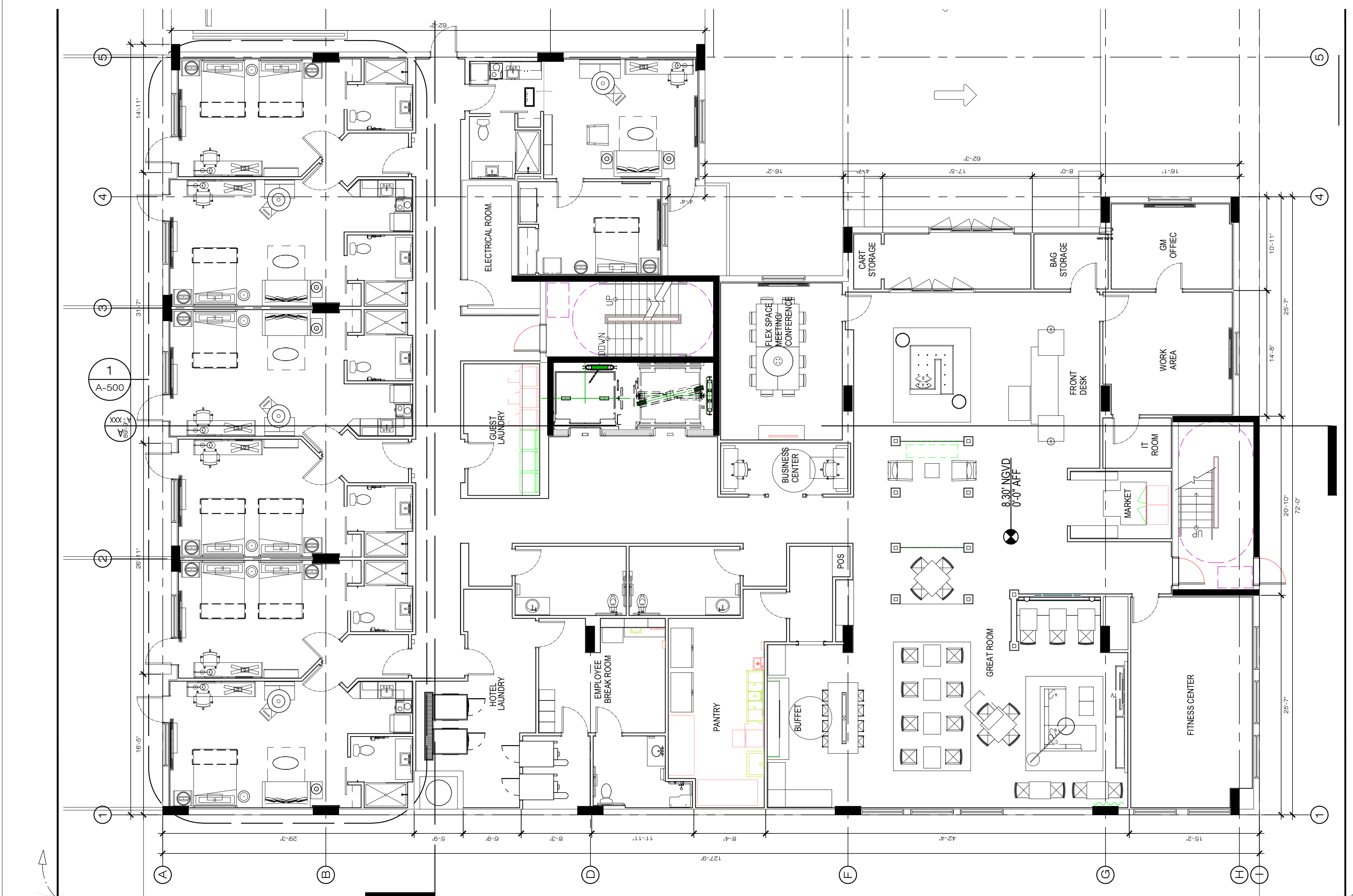
**A-100**





1 GROUND FLOOR PLAN

SCALE : 3/32" = 1'-0"



2 GROUND FLOOR PLAN - ENLARGED

SCALE : 1/8" = 1'-0"

- 3 GENERAL NOTES
- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
  - REFER TO SPECIFICATIONS FOR FINISH INDEX.
  - REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
  - ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
  - USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
  - DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
  - ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
  - FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
  - WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
  - "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
  - SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
  - FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

3 GENERAL NOTES

- 3 SYMBOL LLEGEND
- REVISION TAG
  - GUESTROOM WITH COMMUNICATION FEATURES
  - GUESTROOM WITH MOBILITY FEATURES
  - ADA MANEUVERING CLEARANCE
  - WINDOW MARK
  - DOOR MARK
  - WALL TYPE - SEE SHEET A-050
  - FF&E MARK - REFER TO BRAND STANDARDS MANUAL
  - CEILING MOUNTED LIGHT FIXTURE
  - RECESSED LIGHT FIXTURE
  - 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
  - 3 WAY LIGHT SWITCH
  - LIGHT SWITCH
  - RECEPTACLE
  - GFI RECEPTACLE
  - DESIGN CRITERIA MARK

3 SYMBOL LLEGEND

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT.



HAWTHORN SUITES BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

HAWTHORN SUITES BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
 CAN

SHEET TITLE:  
 GROUND FLOOR PLAN

DATE:  
 01.18.2016

SEAL:

ARCH. LICENSE  
 AR 0011733

A-200

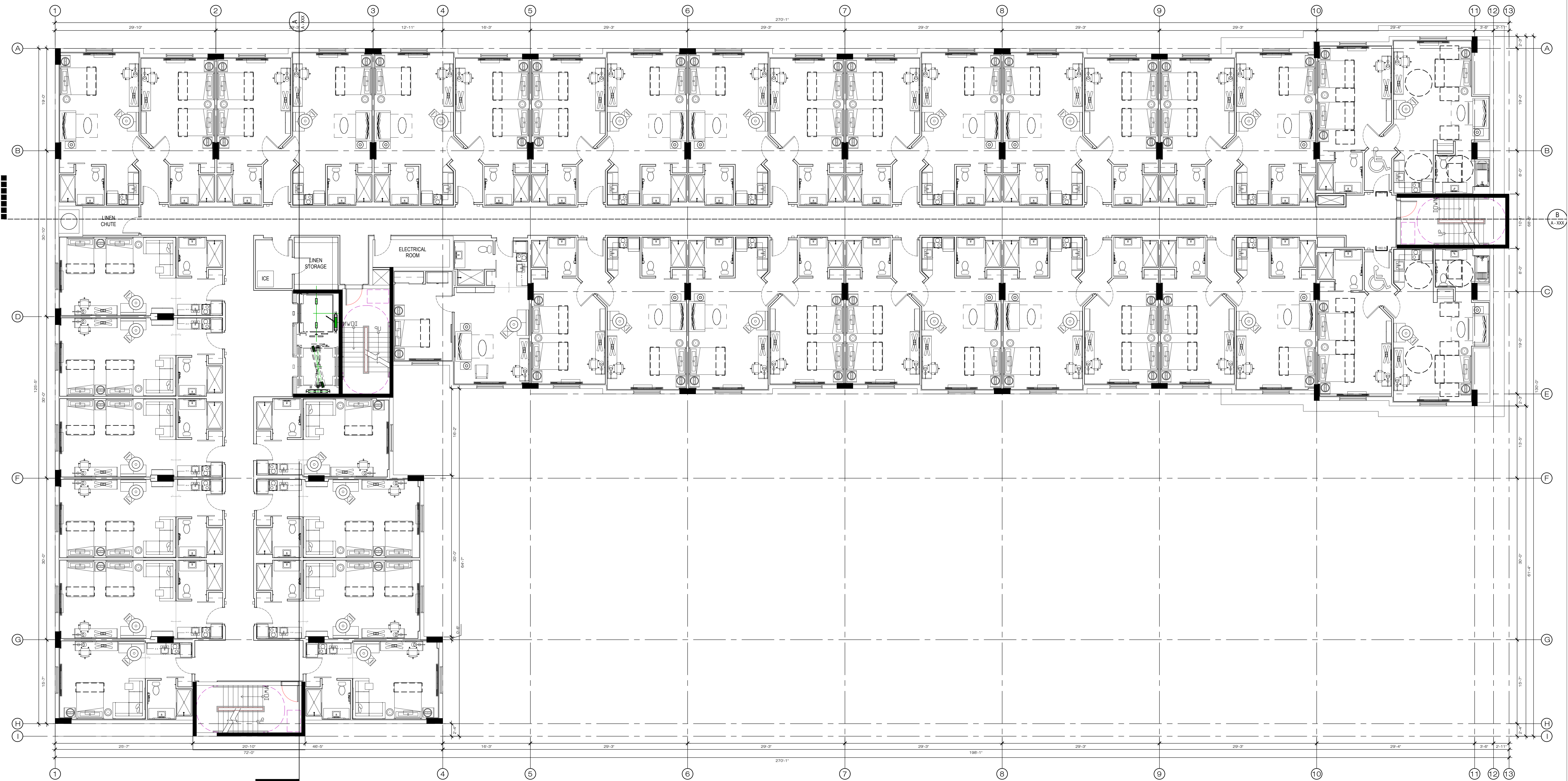


- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE. REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- 'CLEAR' DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
2ND FLOOR PLAN

DATE:  
01.18.2016  
SEAL:

ARCH LICENSE:  
AR 0011733

**A-210**



1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
9. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
10. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
3RD FLOOR PLAN

DATE:  
01.18.2016  
SEAL:

ARCH. LICENSE  
AR 0011733

A-220



1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
9. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
10. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED. ANY CONSTRUCTION IN AREA OF PROPOSED NEW WORK SHALL BE TO CONFORMANCE OF ALL APPLICABLE CODES AND REGULATIONS. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE CORRECT AND COMPLETE INFORMATION TO THE CONTRACTOR. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
4TH FLOOR PLAN

DATE:  
01.18.2016  
SEAL:

ARCH. LICENSE  
AR 0011733

**A-230**

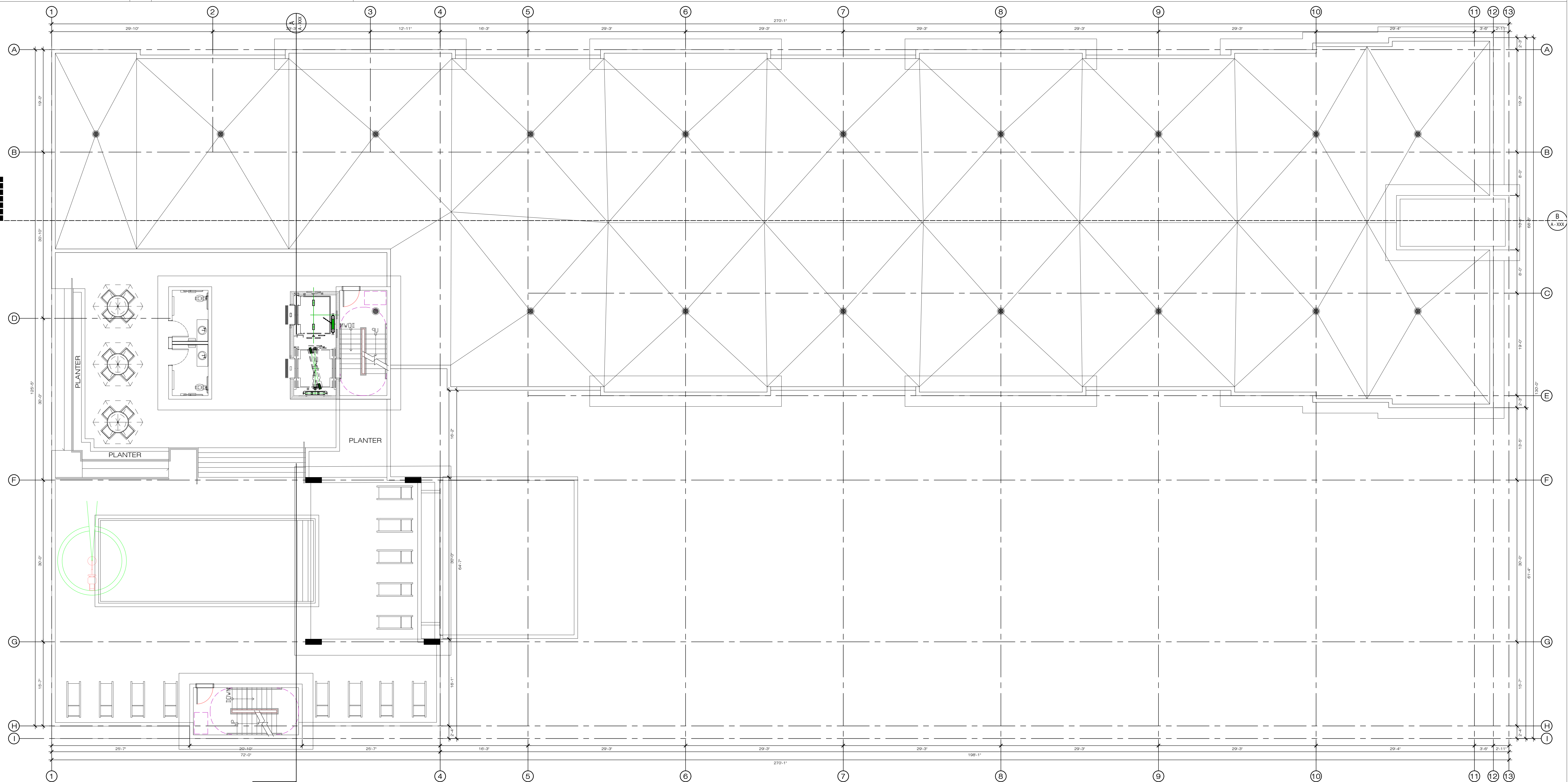


1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
8. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
9. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE



HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

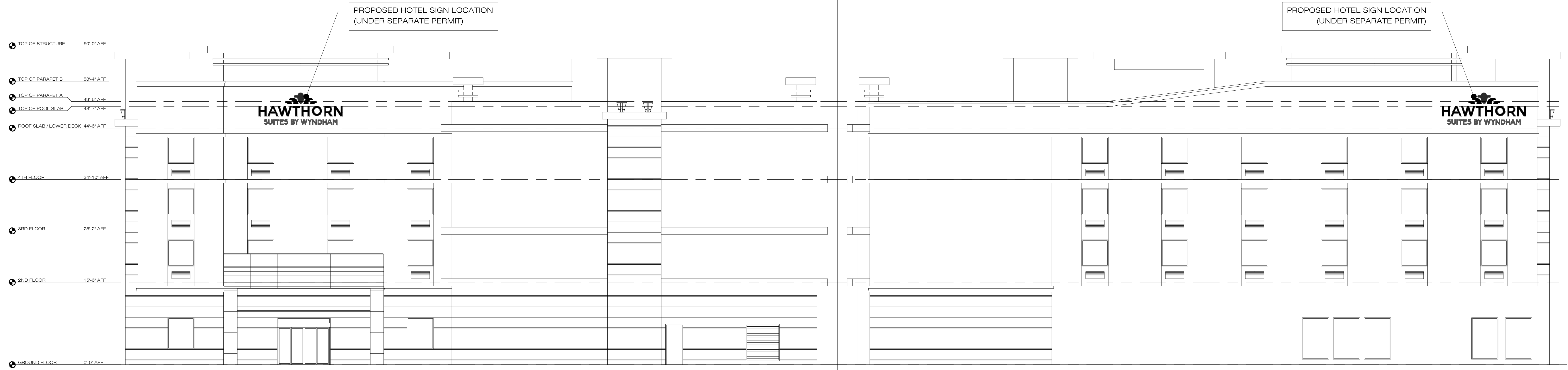
SHEET TITLE:  
ROOF - POOL DECK  
PLAN

DATE:  
01.18.2016  
SEAL:

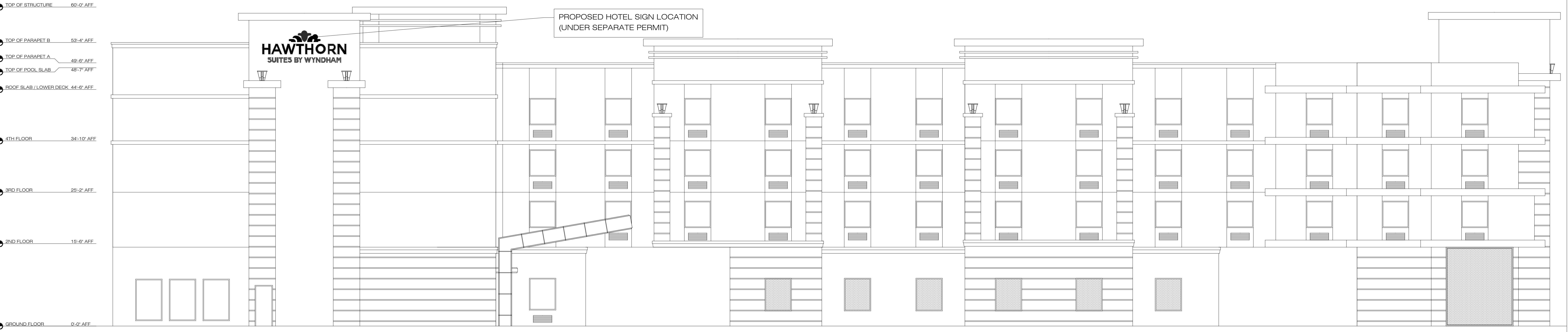
ARCH. LICENSE  
AR 0011733

A-240





1 EAST ELEVATION SCALE : 1/8" = 1'-0" 2 WEST ELEVATION SCALE : 1/8" = 1'-0"



3 SOUTH ELEVATION SCALE : 1/8" = 1'-0"



4 NORTH ELEVATION SCALE : 1/8" = 1'-0"

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED. ANY CONSTRUCTION IN AREA OF PROPOSED NEW WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. EXISTING UTILITIES OR CONSTRUCTION, THESE DRAWINGS AND LOGS SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT OR HIS DESIGN ASSOCIATE MEMBER OF THE ARCHITECTS FOR FLORIDA.



HAWTHORN SUITES BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
 CAN

SHEET TITLE:  
 EXTERIOR ELEVATIONS

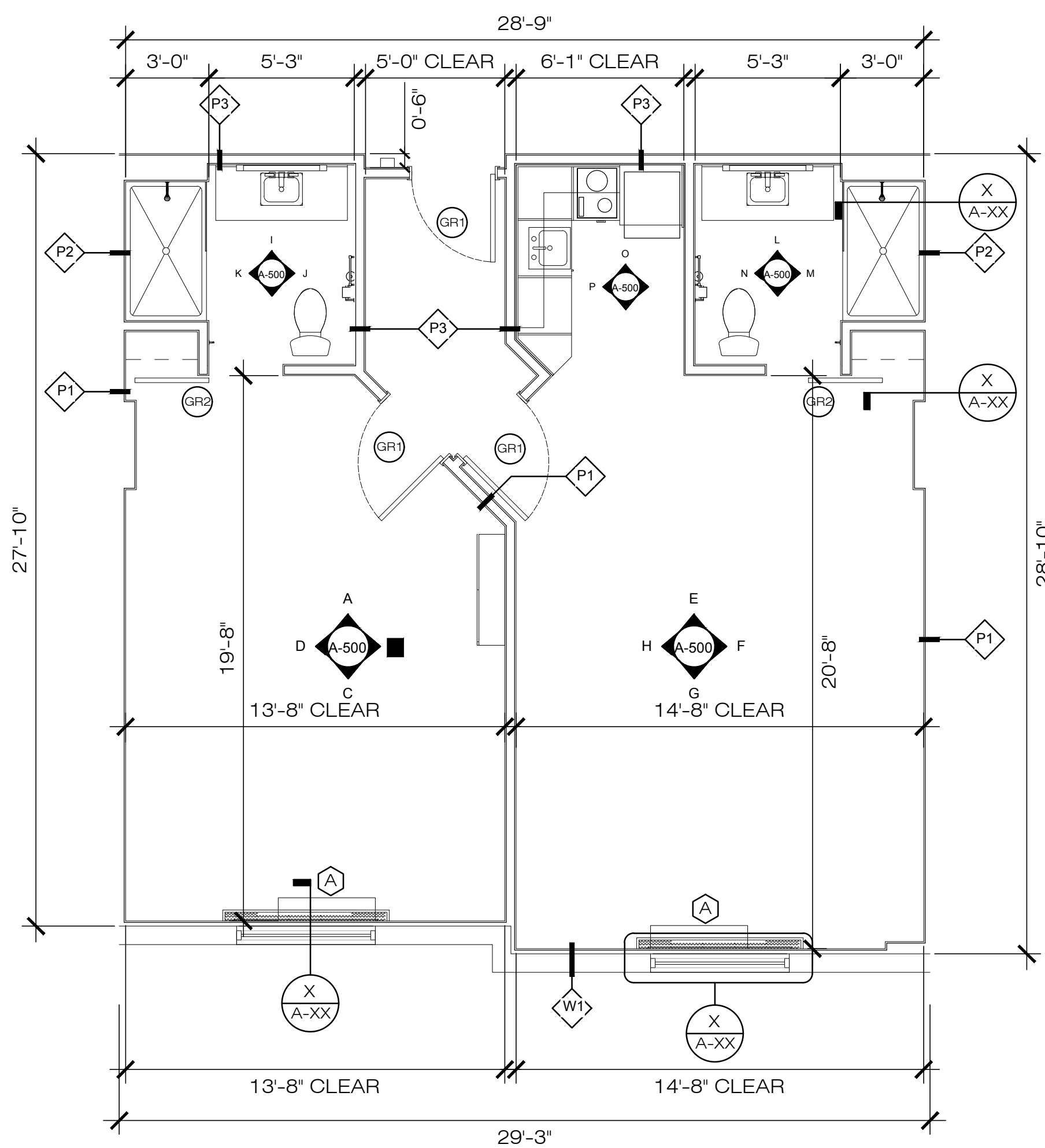
DATE:  
 01.18.2016

SEAL:

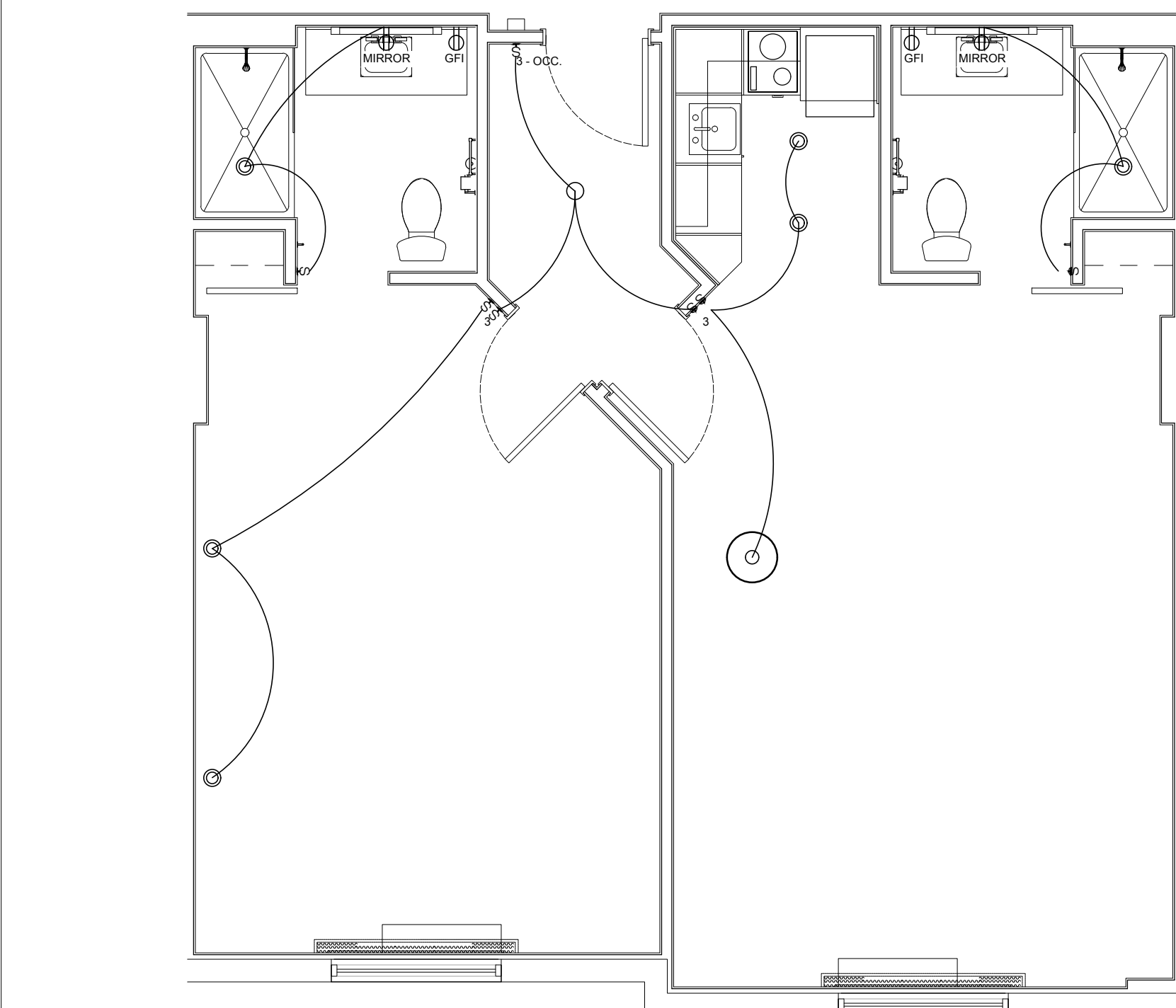
ARCH. LICENSE  
 AR 0011733

A-400

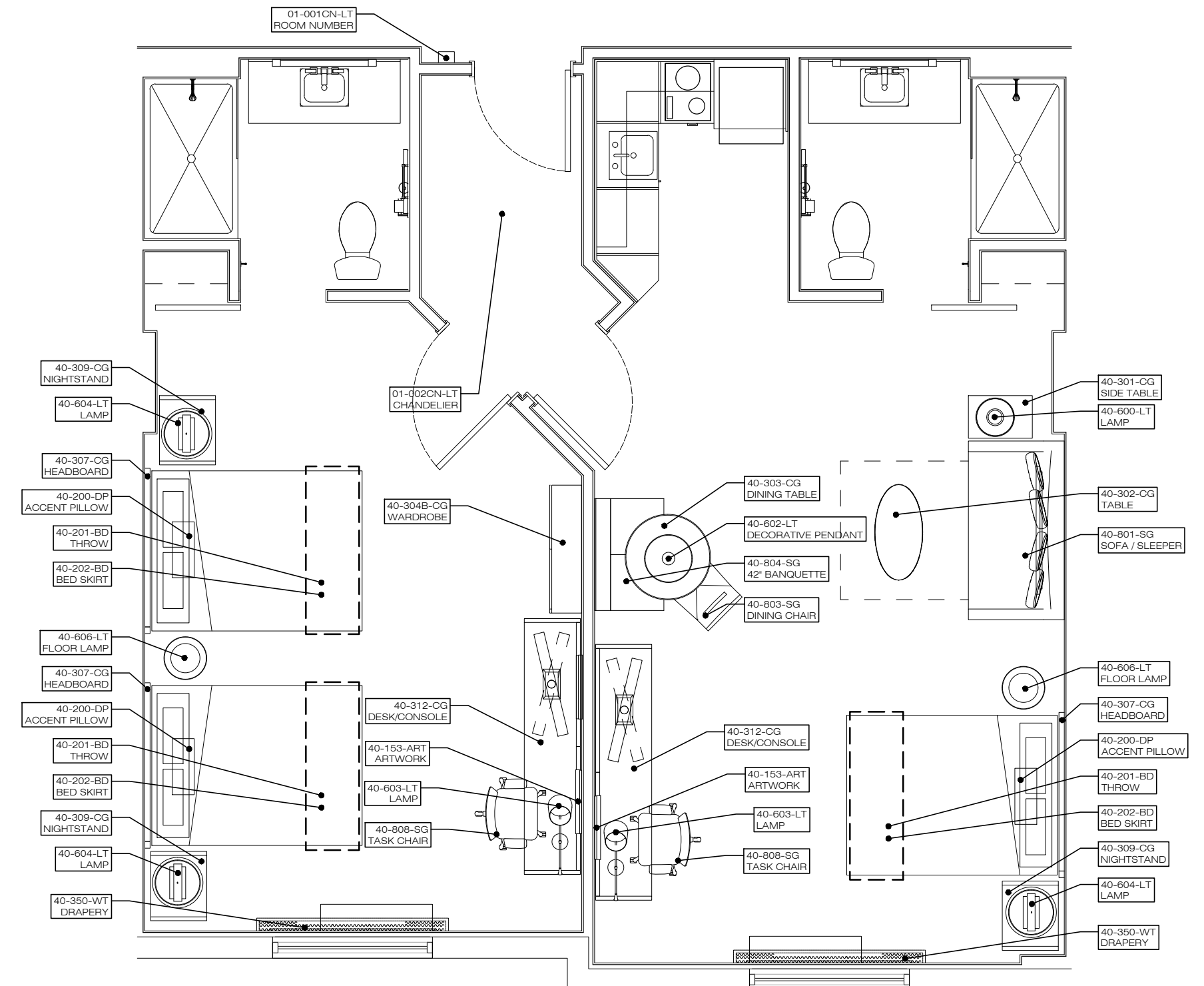




1 UNIT FLOOR PLAN

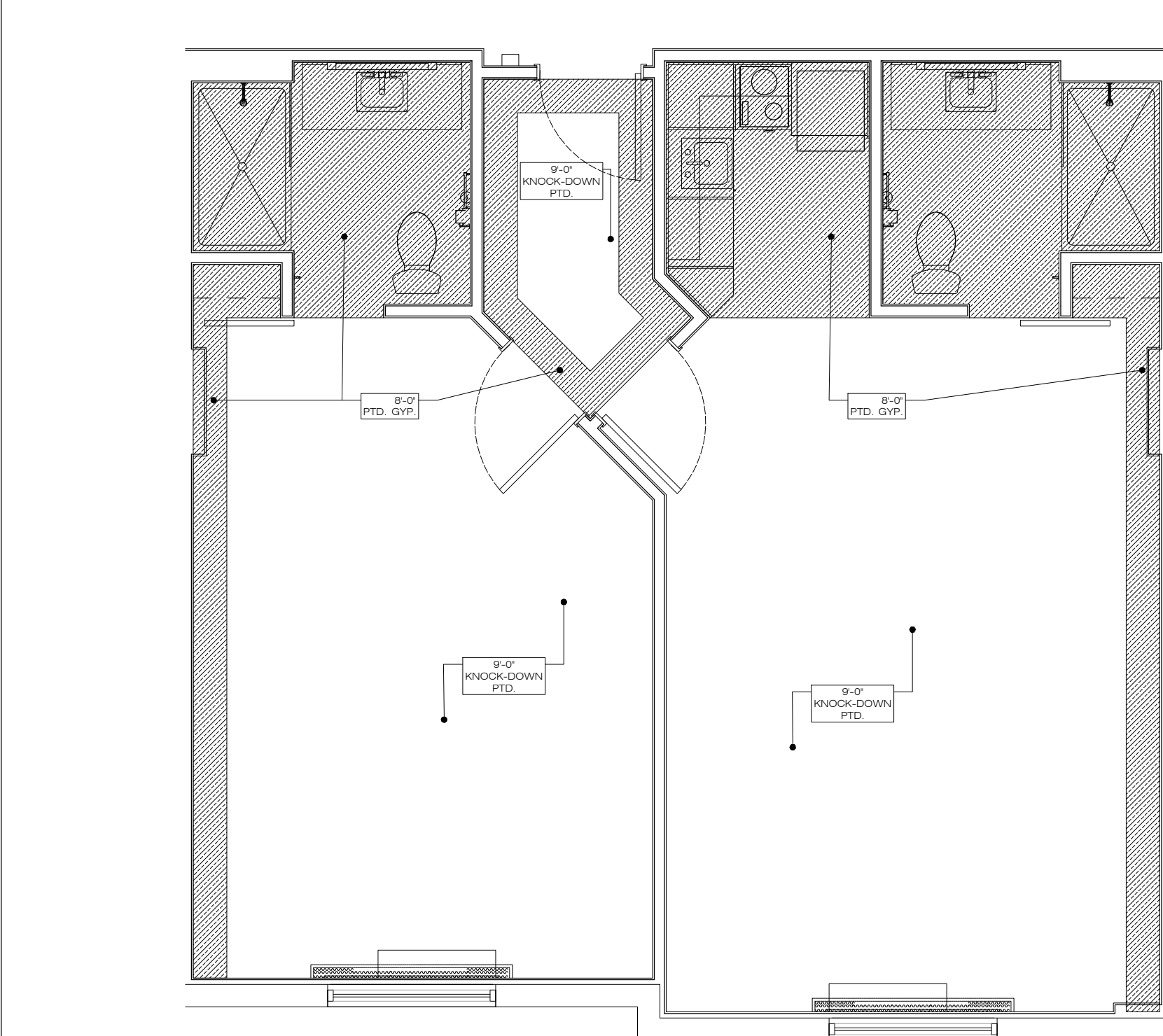


3 ELECTRICAL PLAN

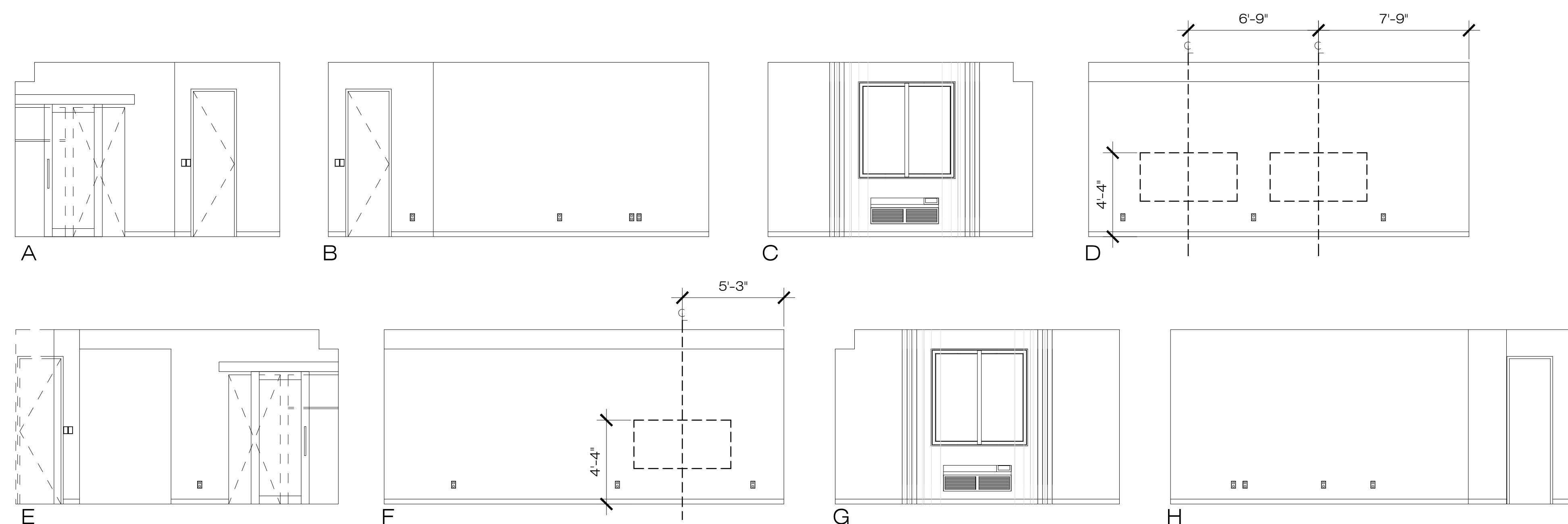


2 FF&E PLAN

SCALE : 1/4" = 1'-0"

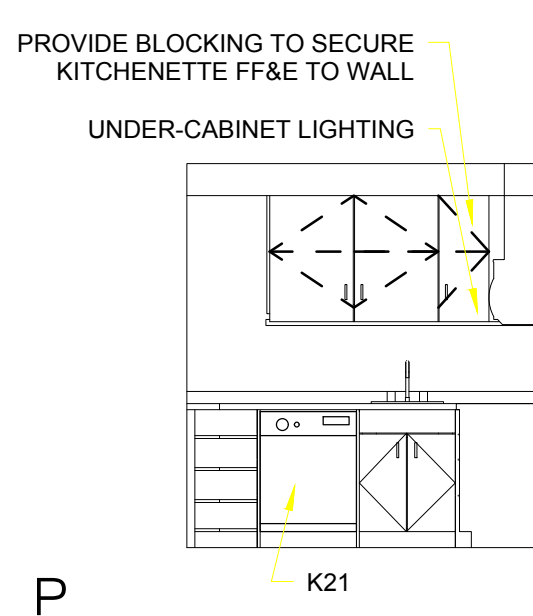
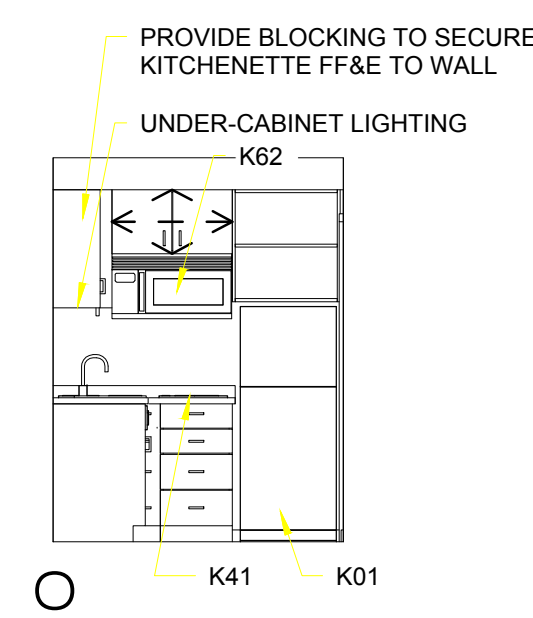
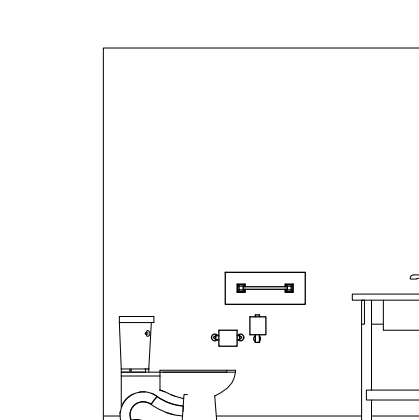
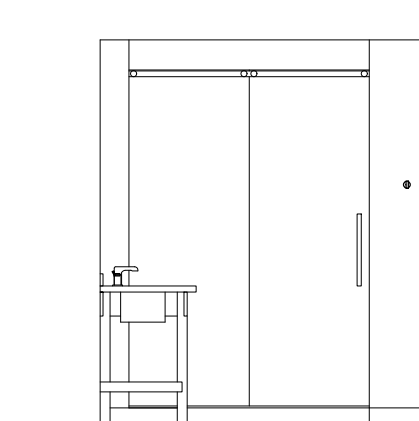
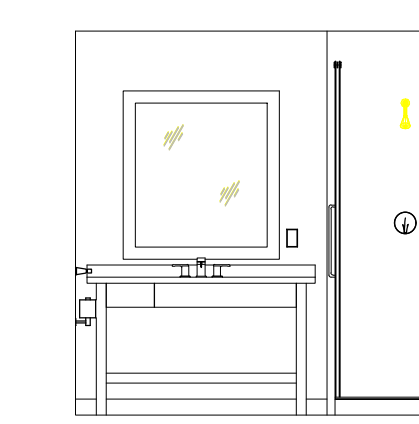
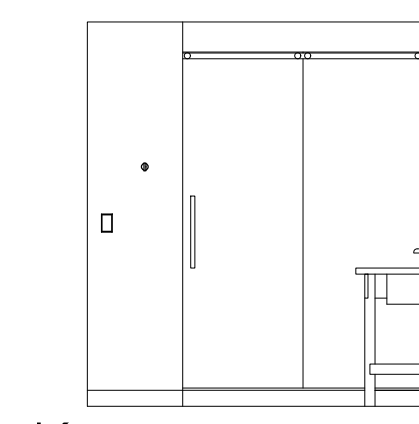
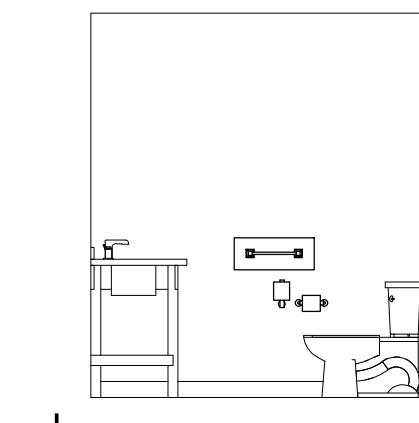


4 REFLECTED CEILING PLAN



5 ELEVATIONS - SLEEPING AREAS

SCALE : 1/4" = 1'-0"



6 ELEVATIONS - BATH & KITCHENS

SCALE : 1/4" = 1'-0"

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- (XXX) FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- (O) CEILING MOUNTED LIGHT FIXTURE
- (O) RECESSED LIGHT FIXTURE
- (3-way) 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- (3-way) 3 WAY LIGHT SWITCH
- (S) LIGHT SWITCH
- (R) RECEPTACLE
- (GFI) GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE TIME OF THE PROCEEDING WITH THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.



HAWTHORN SUITES BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
ENLARGED (1 BEDS)  
1 BED SUITE

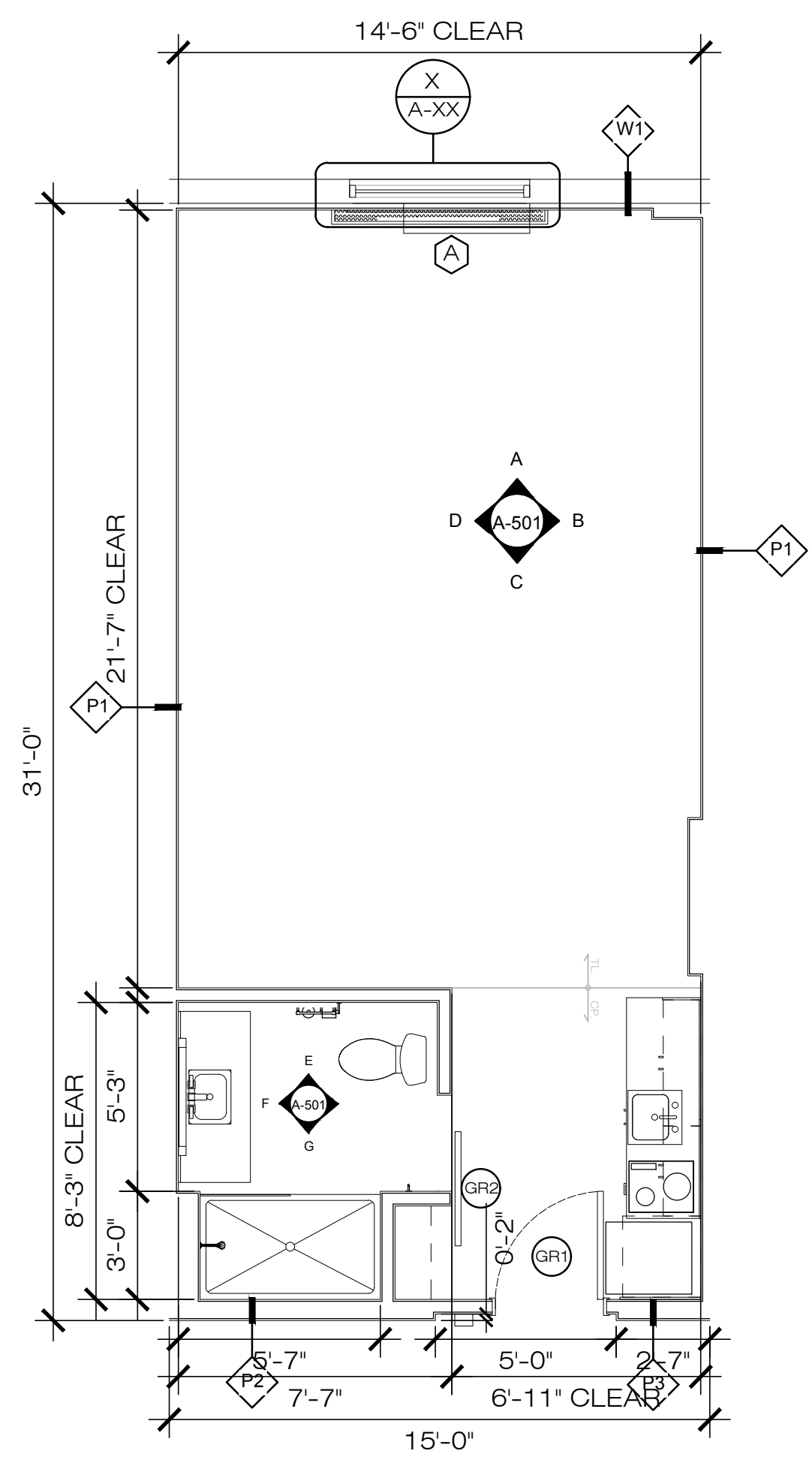
DATE:  
01.18.2016

SEAL:

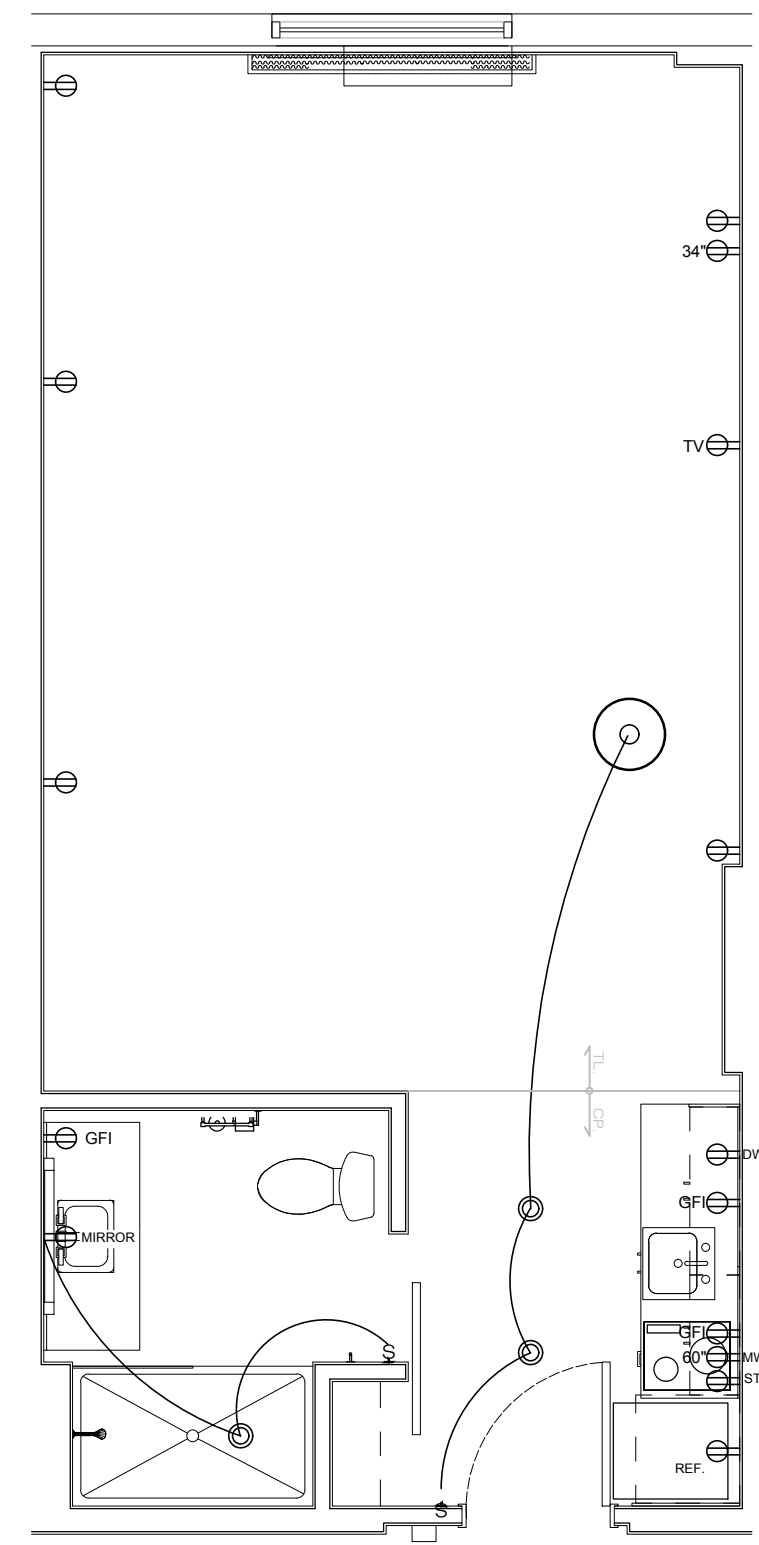
ARCH. LICENSE  
AR 0011733

A-500

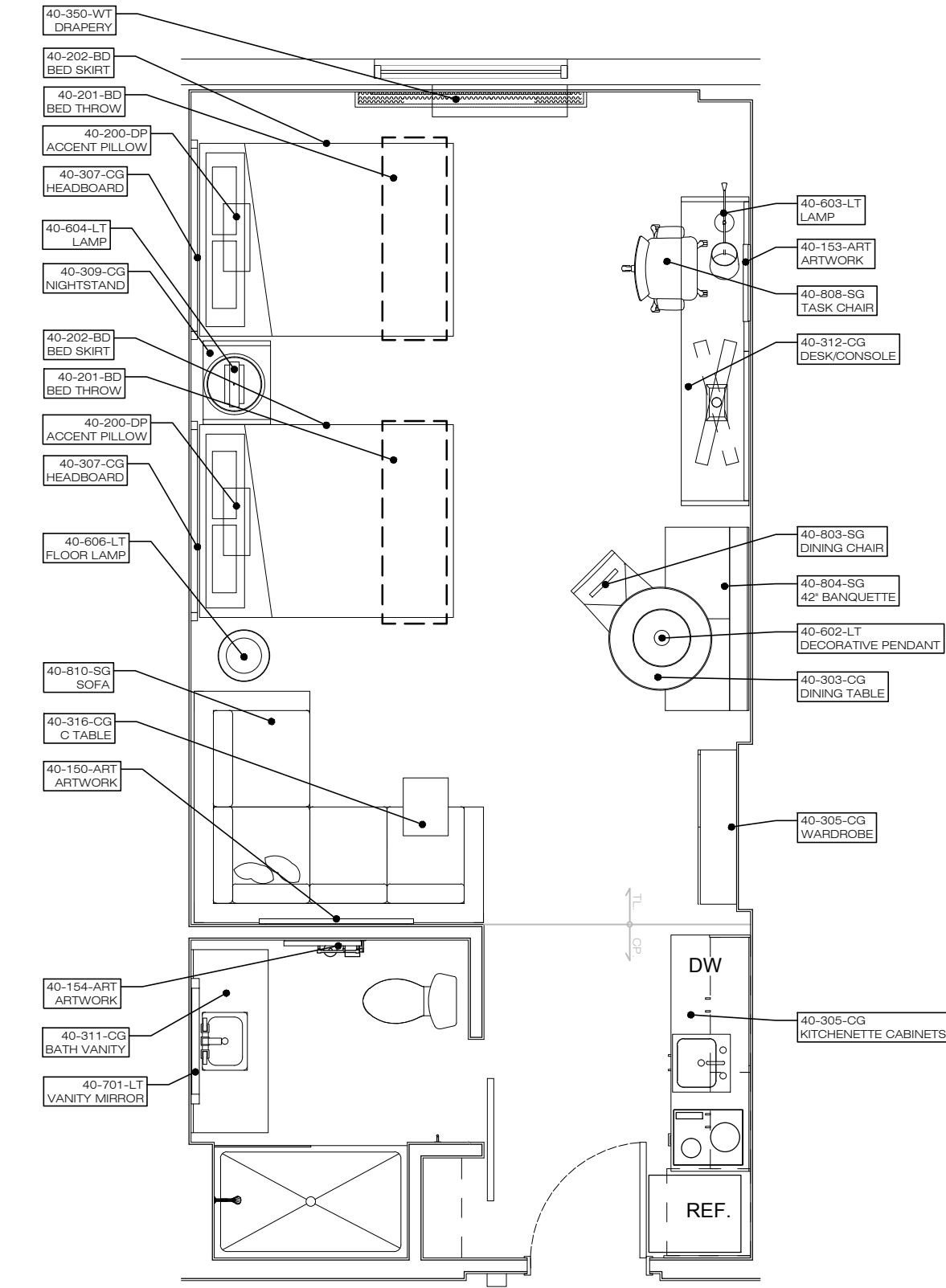




1 UNIT FLOOR PLAN

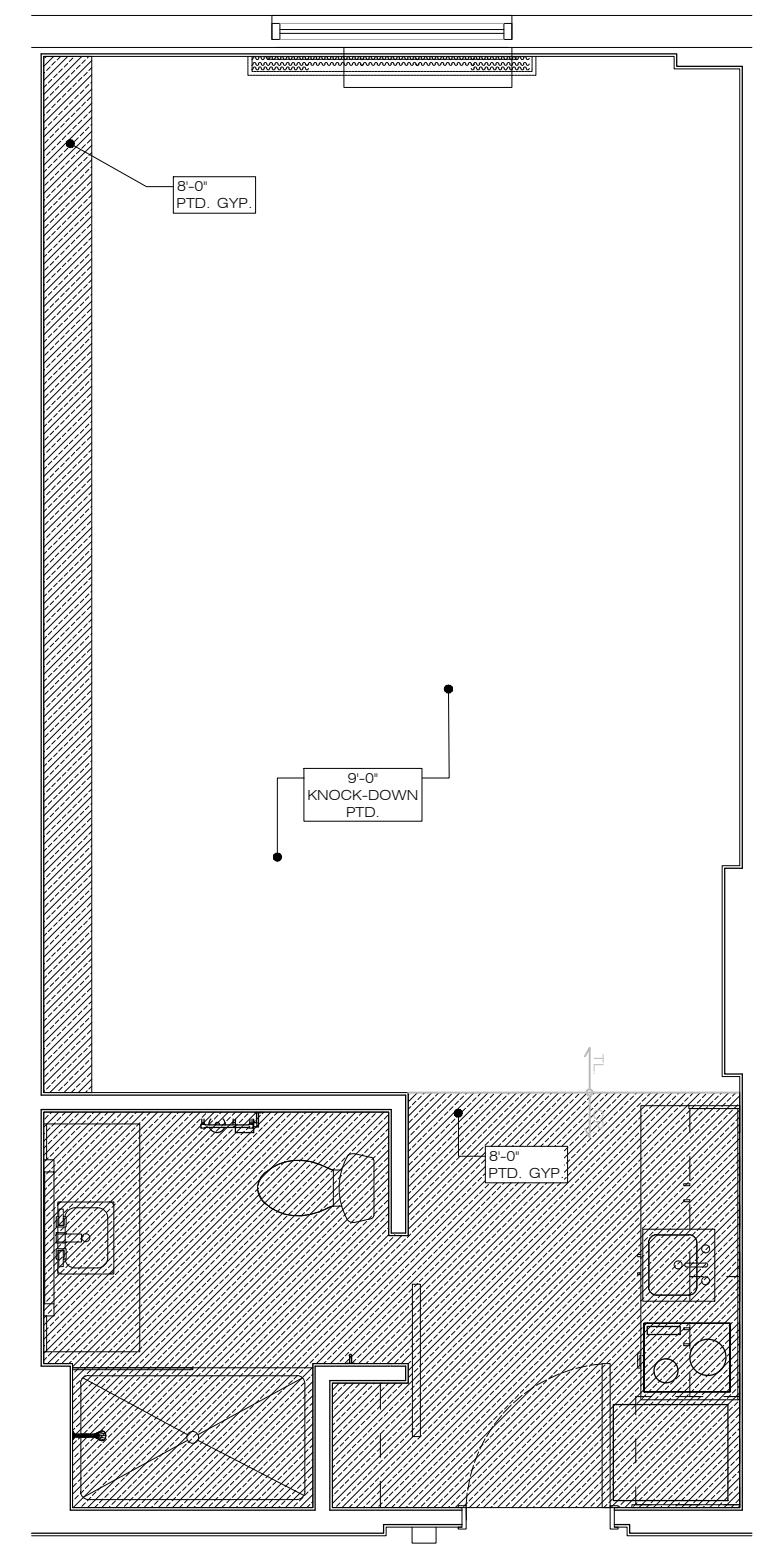


3 ELECTRICAL PLAN

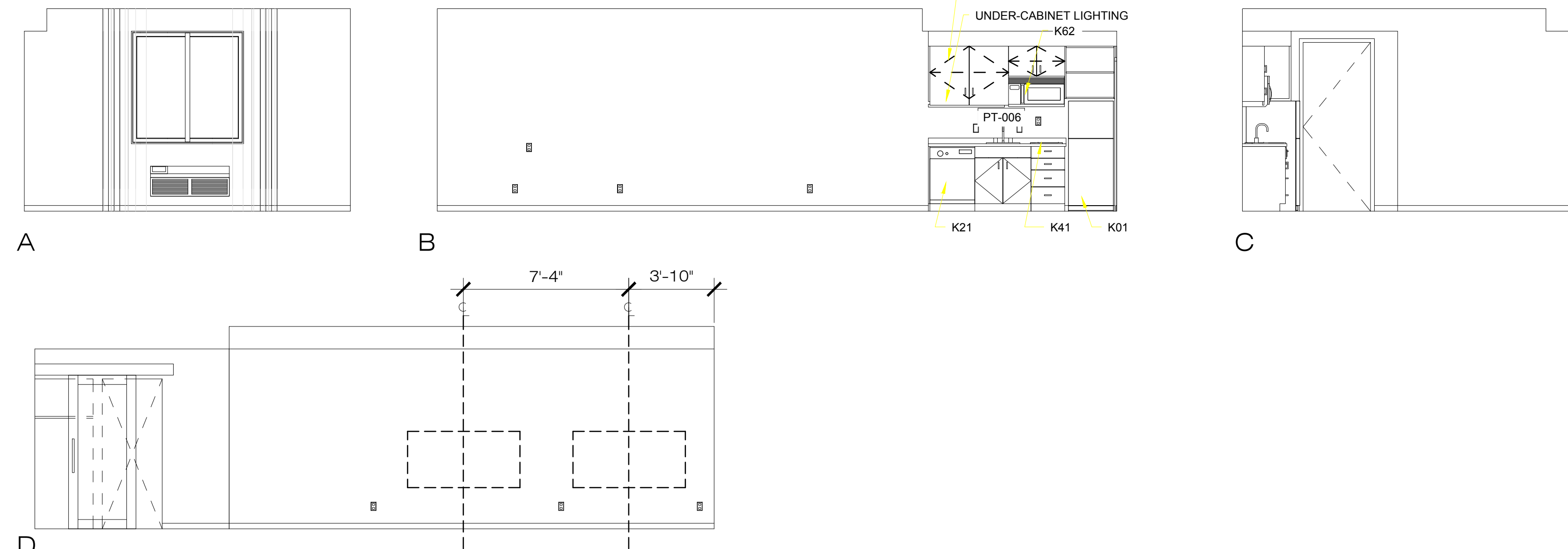


2 FF&E PLAN

SCALE : 1/4" = 1'-0"

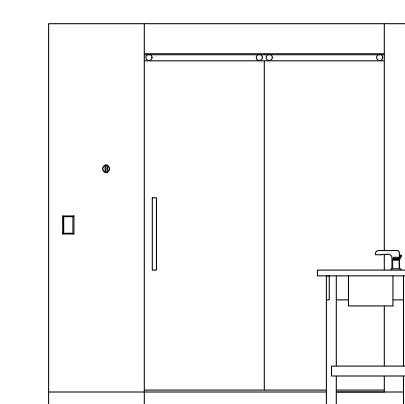


4 REFLECTED CEILING PLAN

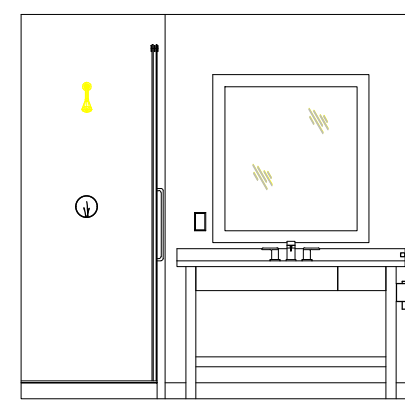


5 ELEVATIONS

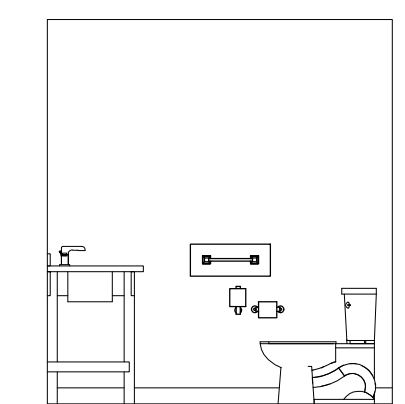
SCALE : 1/4" = 1'-0"



G



F



E

SCALE : 1/4" = 1'-0"

6 ELEVATIONS - BATH

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL. OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL. OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- (XXX) FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- (O) CEILING MOUNTED LIGHT FIXTURE
- (O) RECESSED LIGHT FIXTURE
- (3) 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- (3) 3 WAY LIGHT SWITCH
- (S) LIGHT SWITCH
- (R) RECEPTACLE
- (G) GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH ANY WORK. ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TO THE FACE UNLESS OTHERWISE SPECIFIED.



HAWTHORN SUITES BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
ENLARGED (QQS)  
DOUBLE QUEEN

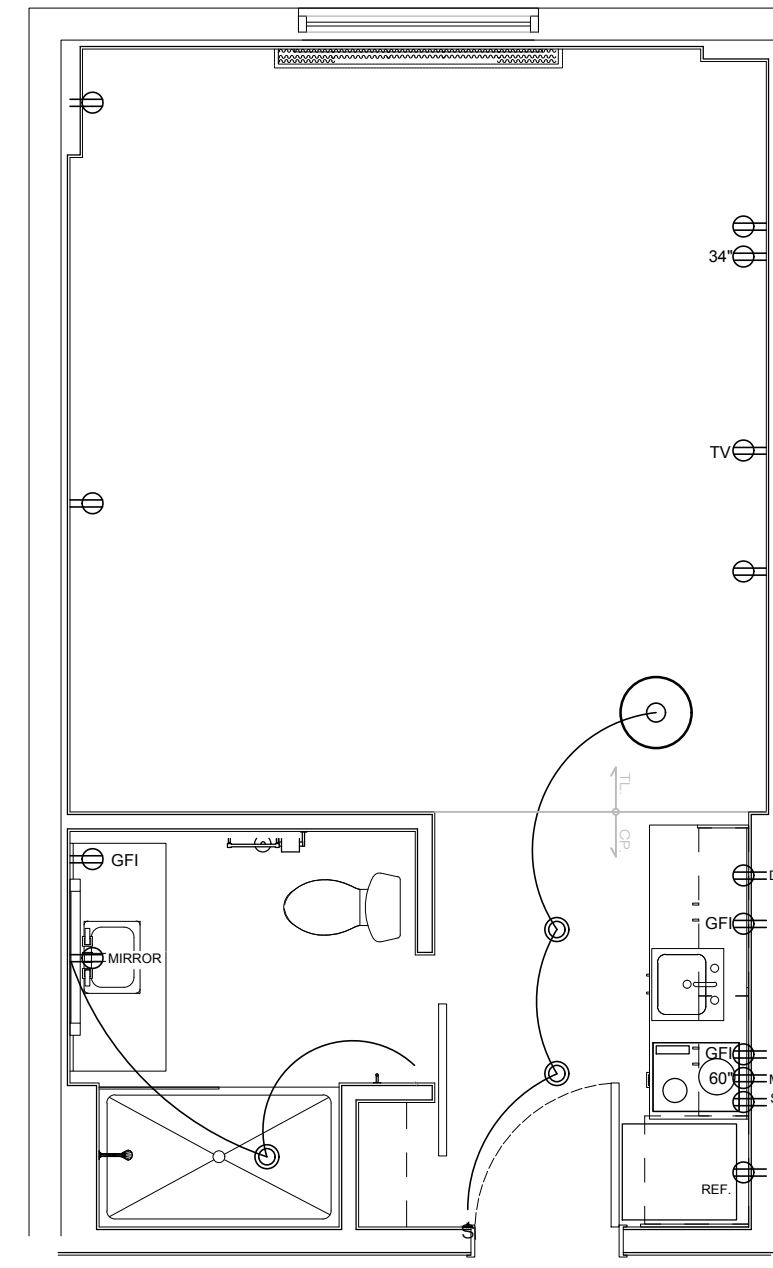
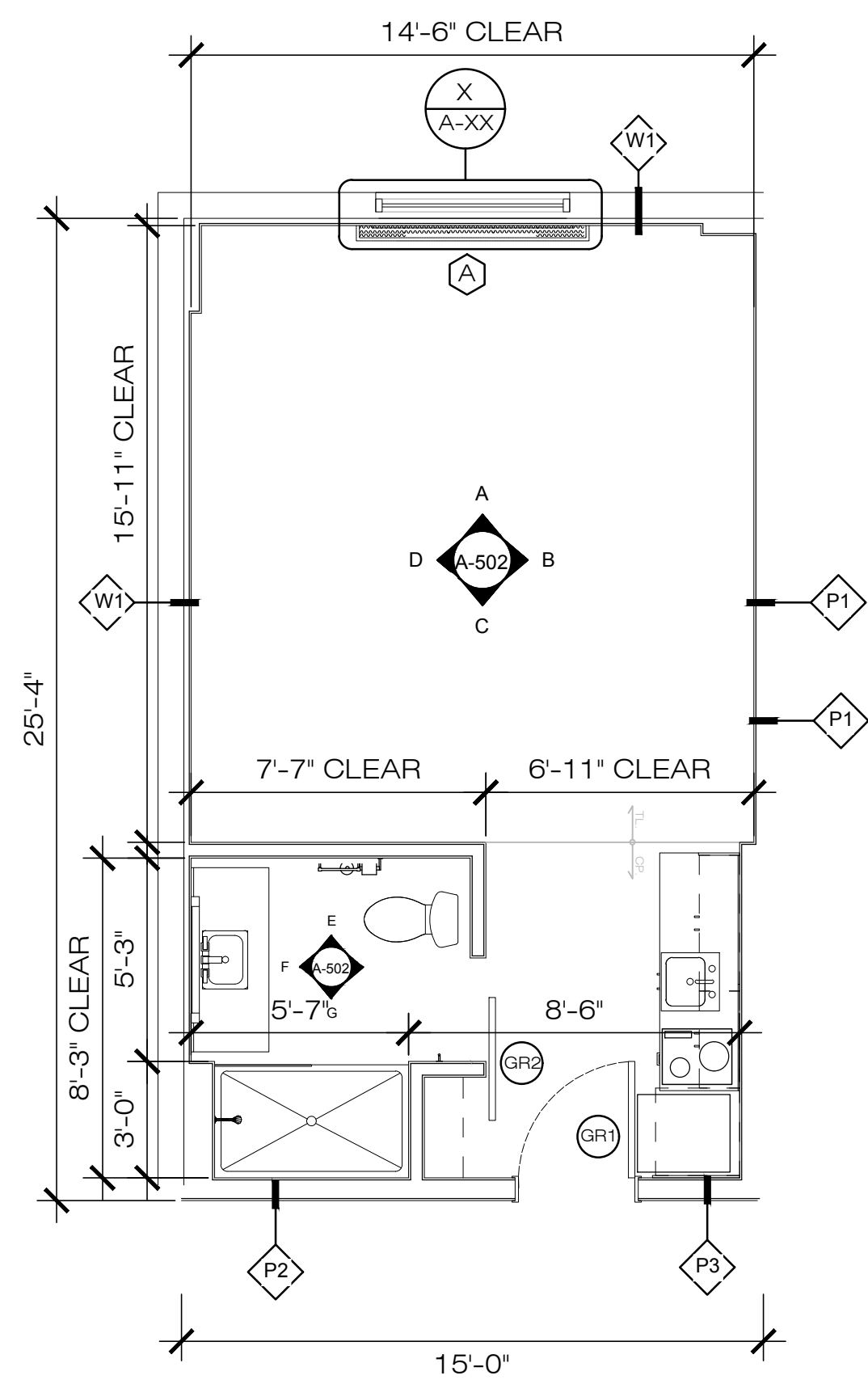
DATE:  
01.18.2016

SEAL:

ARCH. LICENSE  
AR 0011733

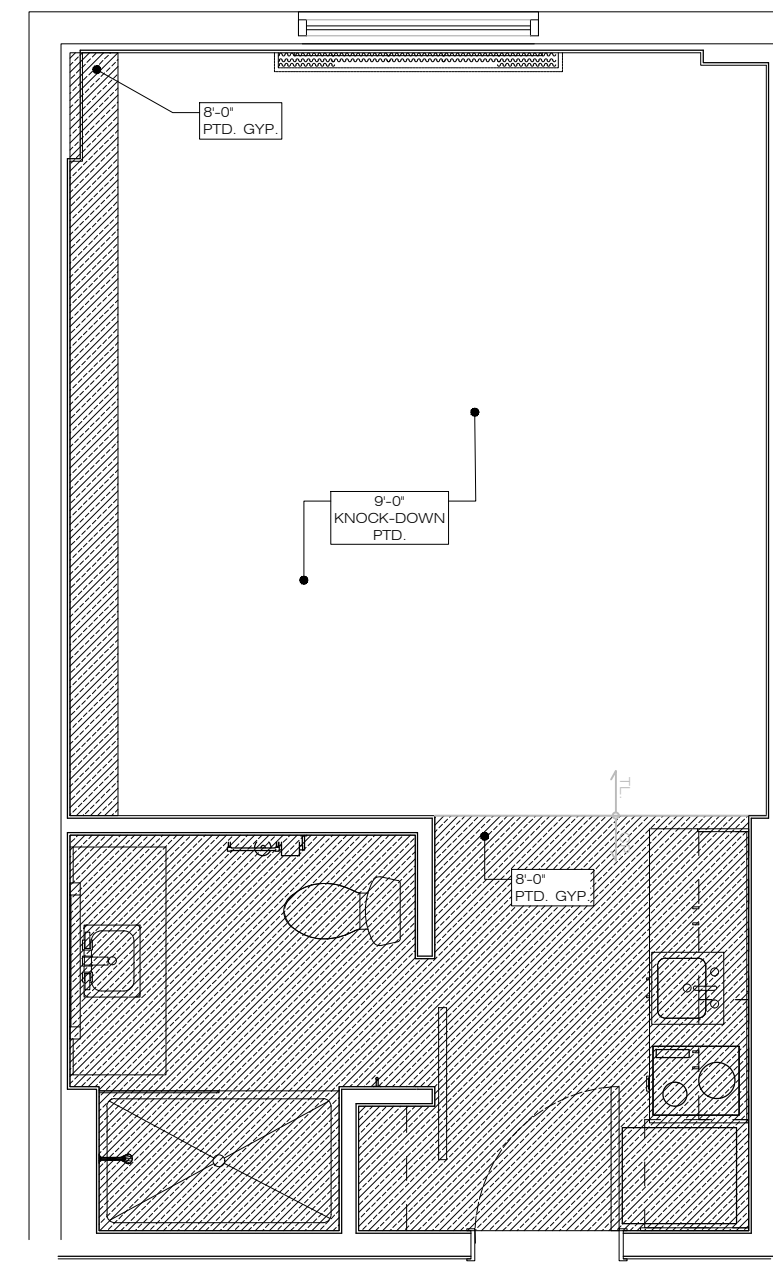
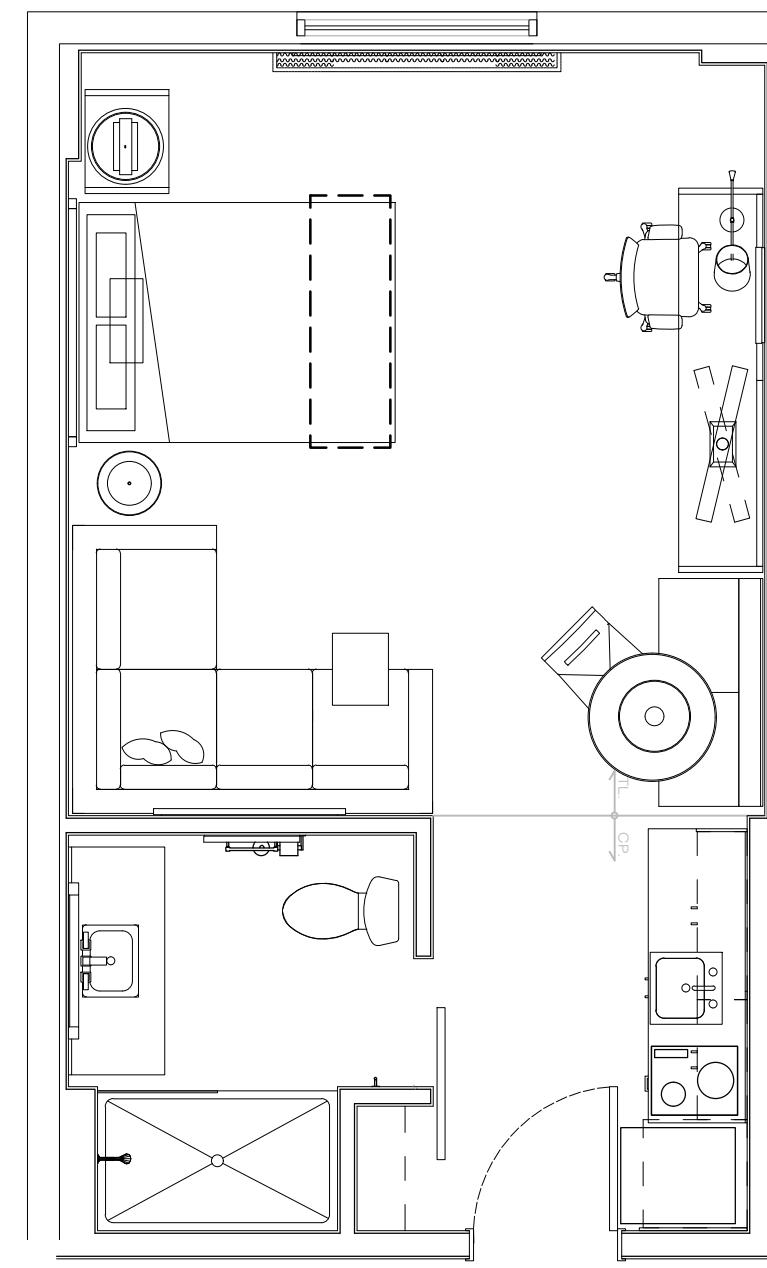
A-501





1 UNIT FLOOR PLAN

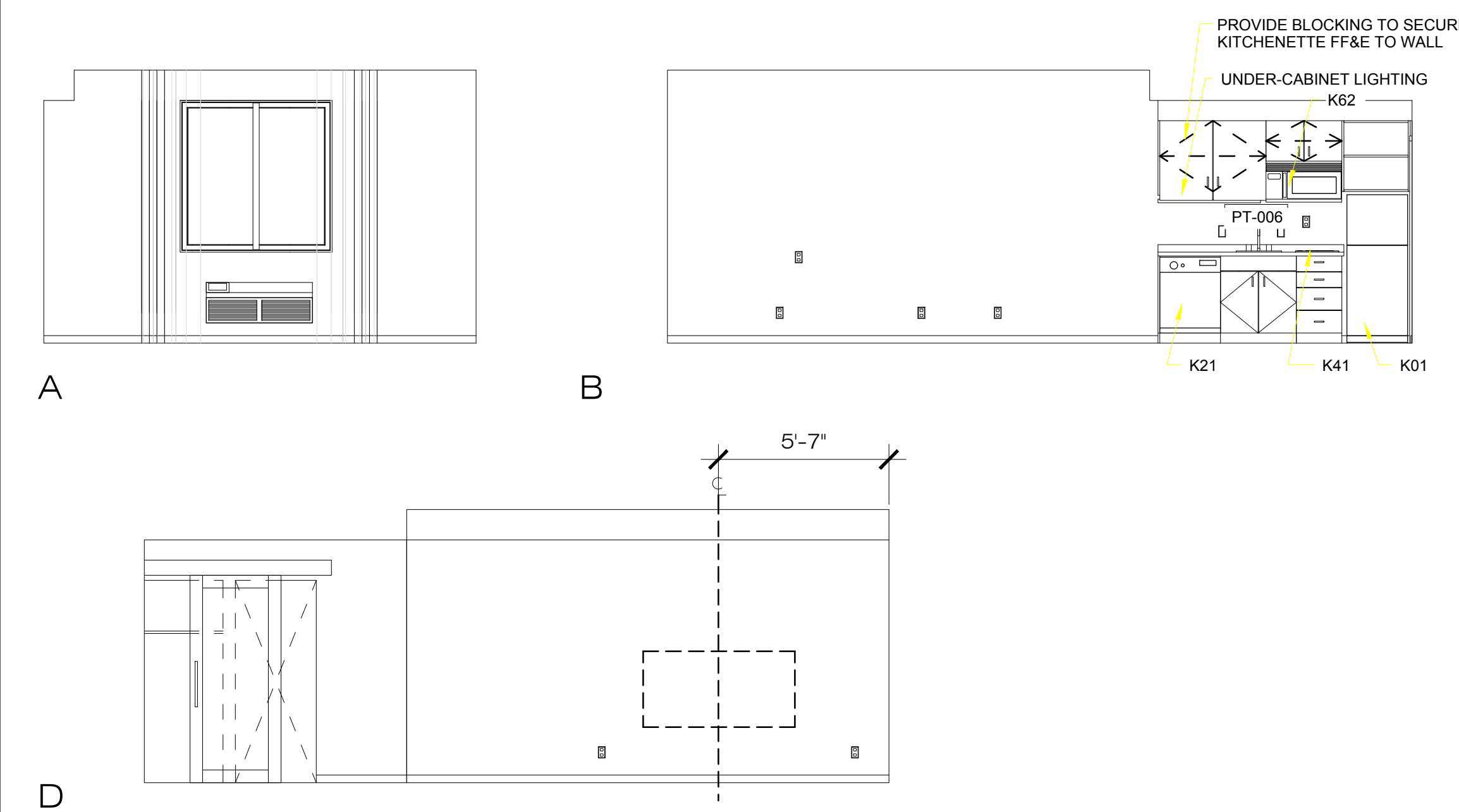
3 ELECTRICAL PLAN



2 FF&E PLAN

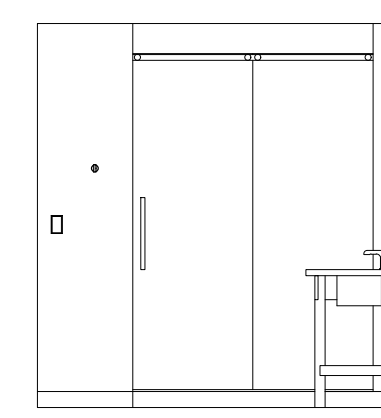
SCALE : 1/4" = 1'-0"

4 REFLECTED CEILING PLAN

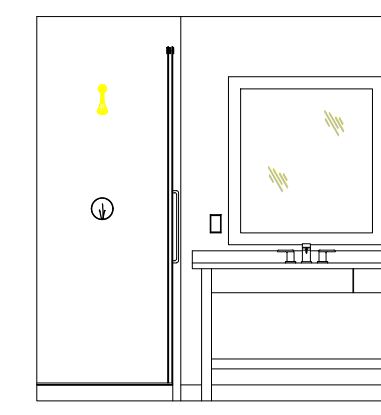


5 ELEVATIONS

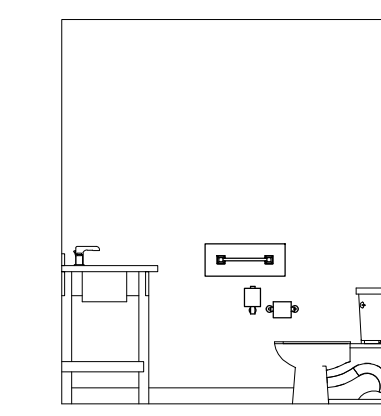
SCALE : 1/4" = 1'-0"



G



F



E

SCALE : 1/4" = 1'-0"

6 ELEVATIONS - BATH

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL. OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL. OF WALL ASSEMBLY. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- XXX XXX FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- O CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
 ENLARGED (KS)  
 KING STUDIO

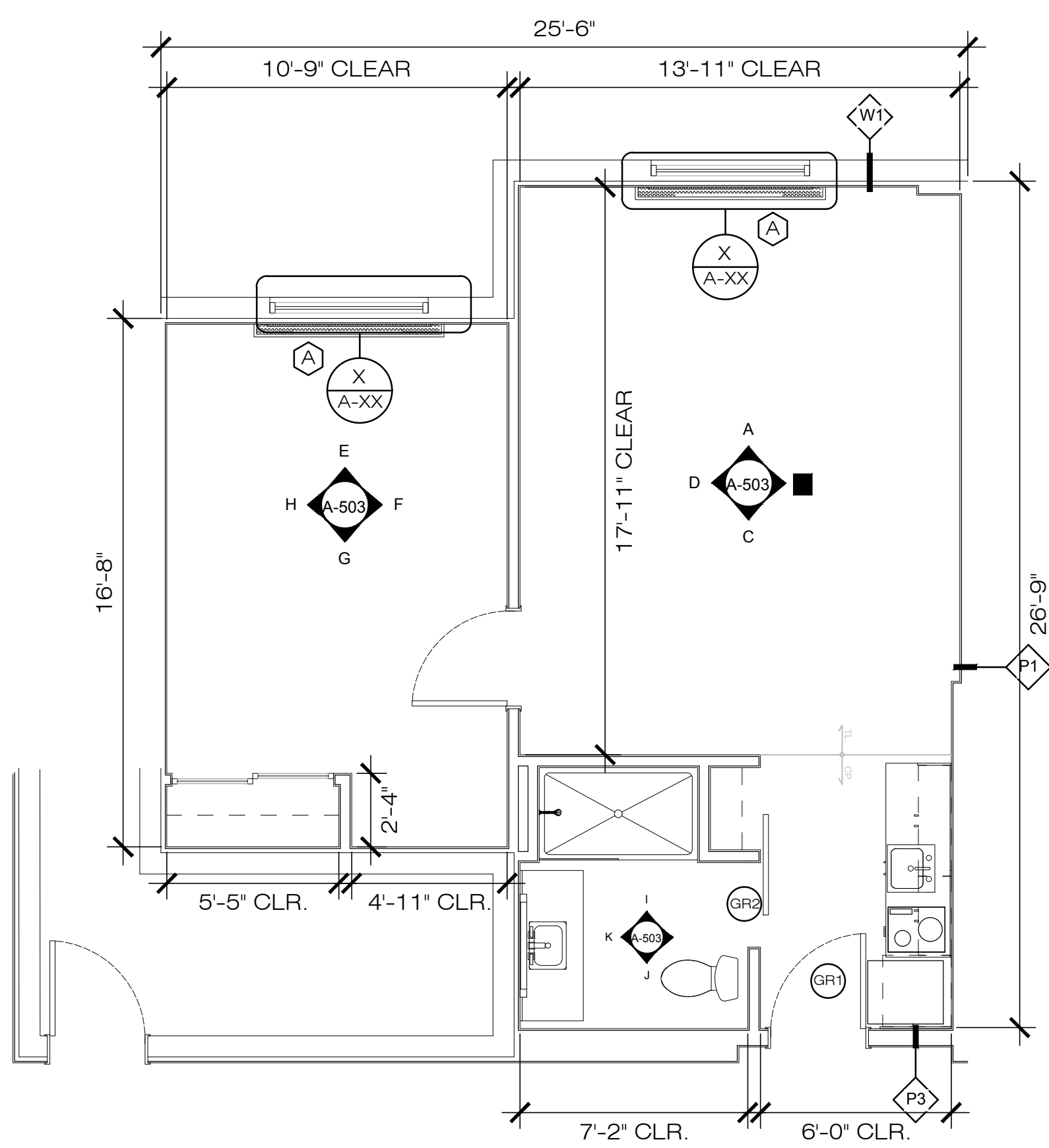
DATE:  
 01.18.2016

SEAL:

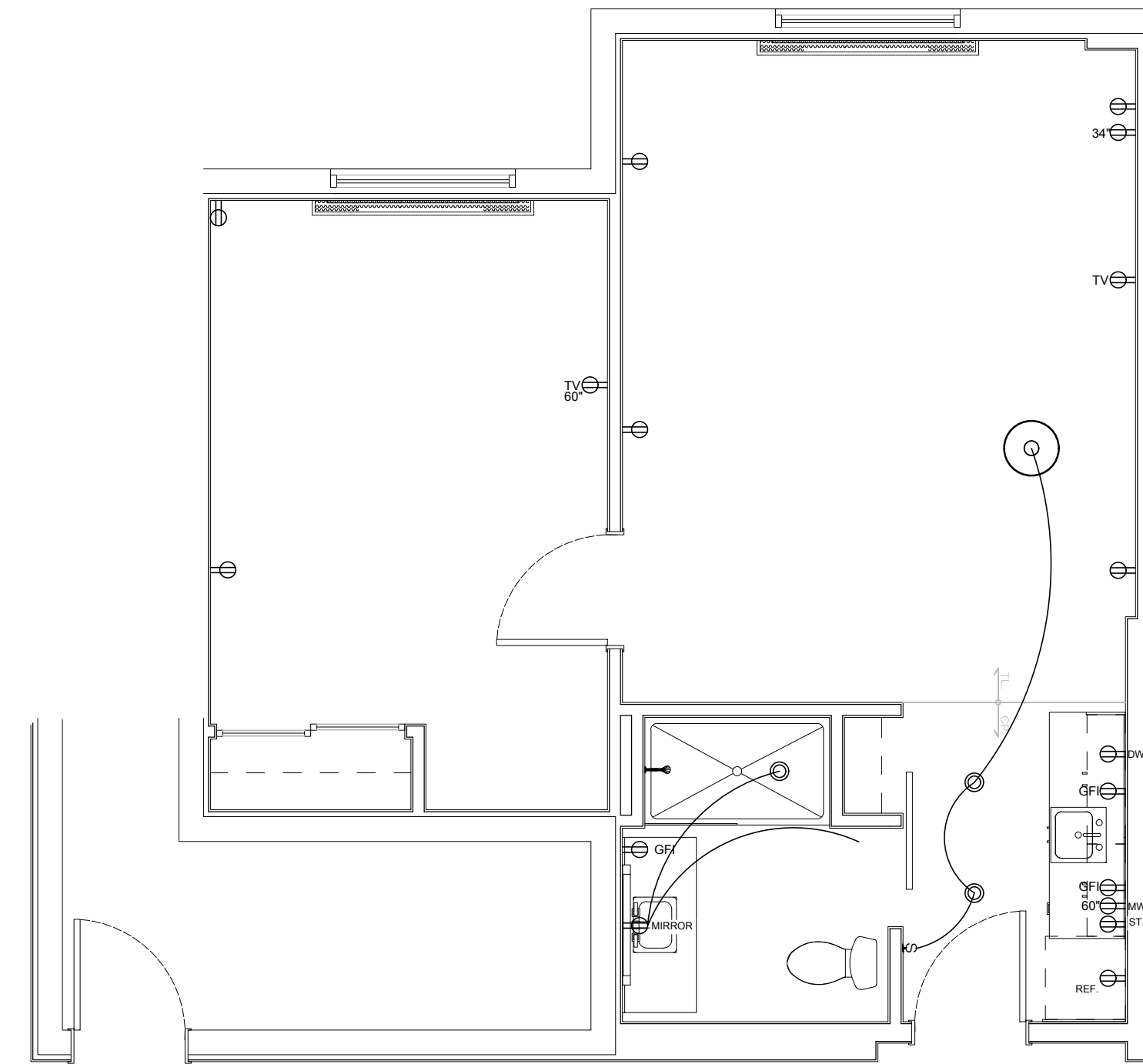
ARCH. LICENSE  
 AR 0011733

**A-502**

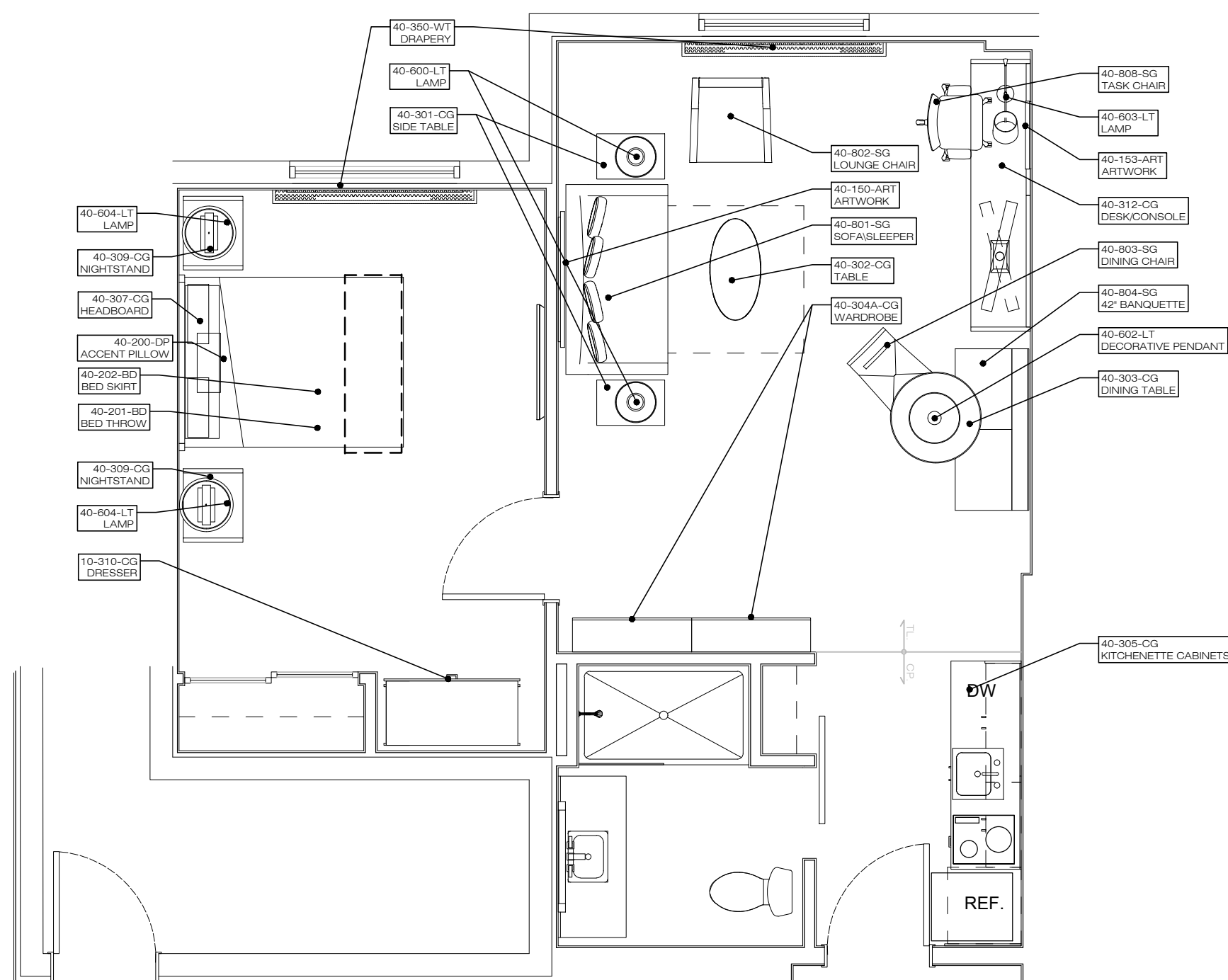




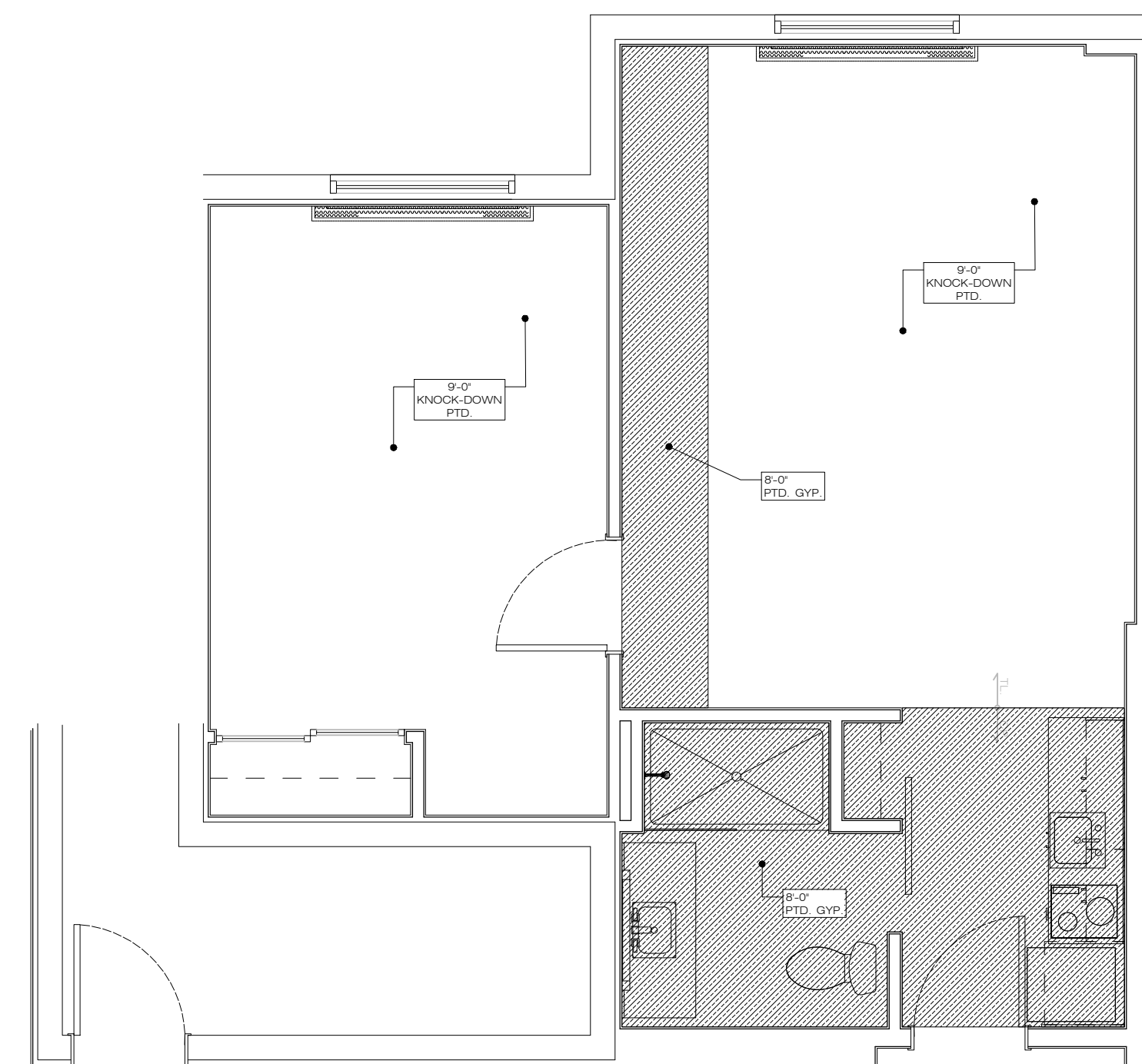
1 UNIT FLOOR PLAN



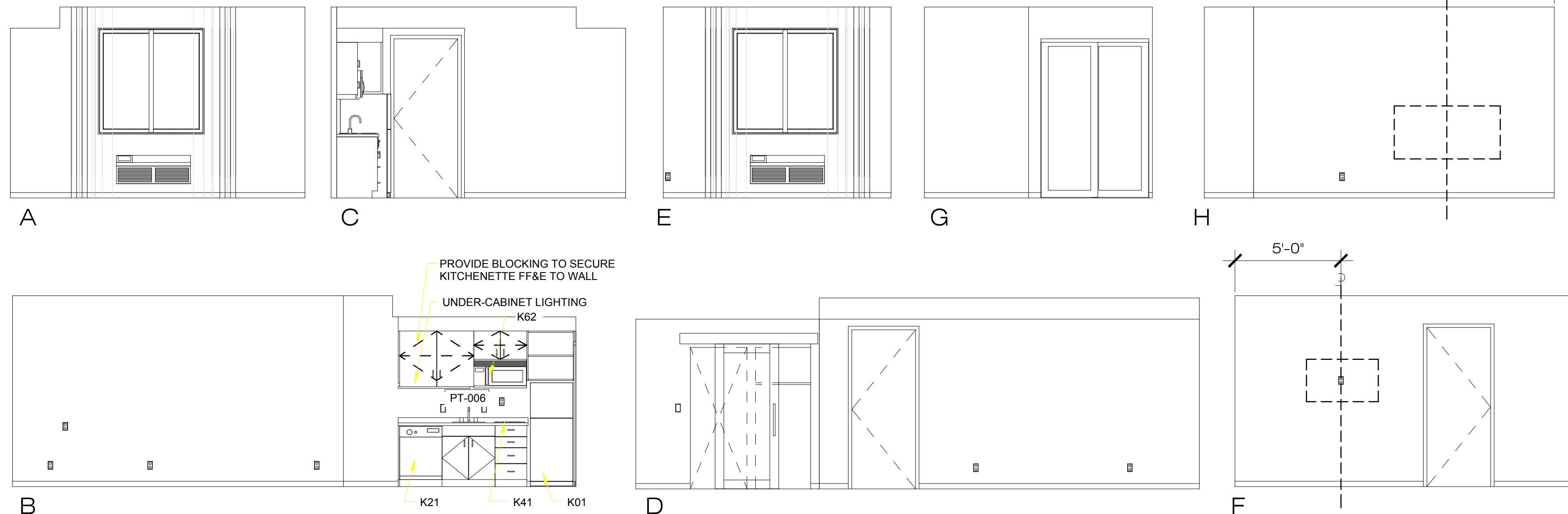
3 ELECTRICAL PLAN



2 FF&E PLAN  
SCALE : 1/4" = 1'-0"



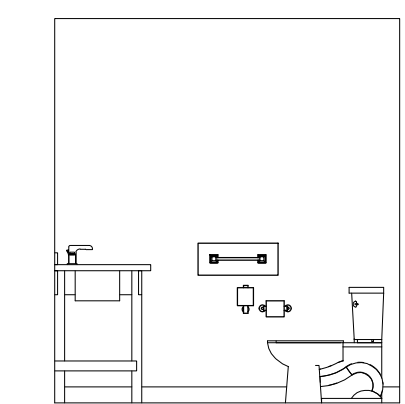
4 REFLECTED CEILING PLAN



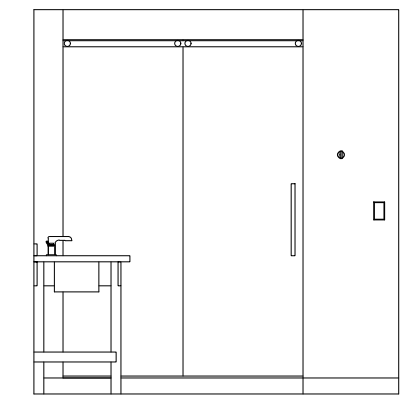
5 ELEVATIONS  
SCALE : 1/4" = 1'-0"



K



J



I

SCALE : 1/4" = 1'-0"

6 ELEVATIONS - BATH

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- Window Mark
- Door Mark
- Wall Type - See Sheet A-050
- FF&E Mark - Refer to Brand Standards Manual
- Ceiling Mounted Light Fixture
- Recessed Light Fixture
- 3 Way Light Switch w/ Occupancy Sensor
- 3 Way Light Switch
- Light Switch
- Receptacle
- GFI Receptacle
- Design Criteria Mark

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION. THESE DRAWINGS AND SPECIFICATIONS SHALL BE THE SOLE BASIS FOR THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION. THESE DRAWINGS AND SPECIFICATIONS SHALL BE THE SOLE BASIS FOR THE CONTRACT.



**HAWTHORN SUITES BY WYNDHAM**  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
ENLARGED (10S)  
SINGLE QUEEN SUITE

DATE:  
01.18.2016  
SEAL:

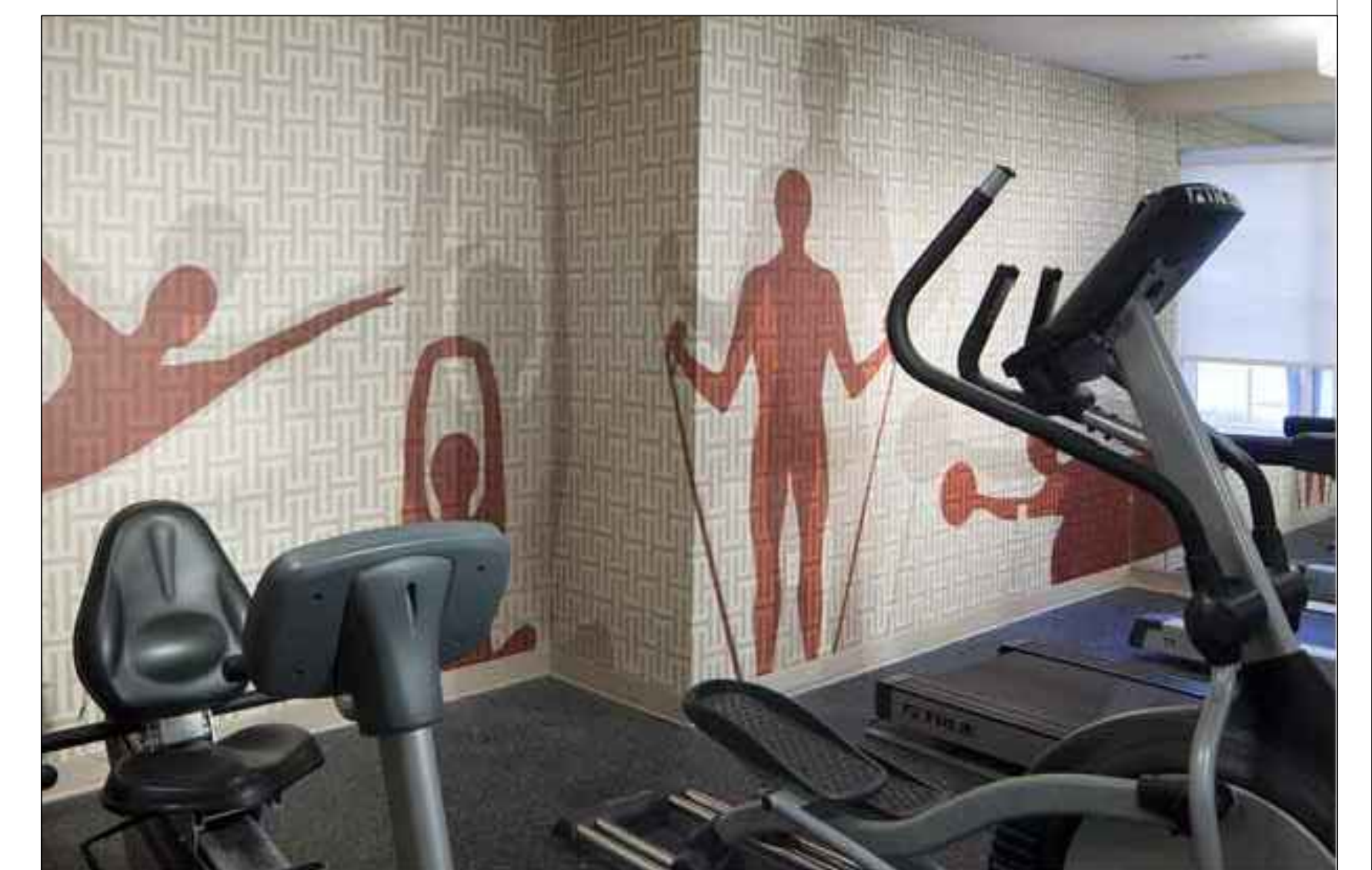
ARCH. LICENSE  
AR 0011733

A-503



# HAWTHORN<sup>®</sup>

## SUITES BY WYNDHAM



### OWNERS

3500 PROPERTY HOLDINGS, LLC.  
7801 NW 37th STREET SUITE 108  
DORAL, FL 33195  
T.786.703.4804

### CIVIL ENGINEER

RODOLFO IBARRA, P.E. P.A.  
12301 SW 128th COURT  
MIAMI, FL 33186  
T.305.281.8746

### LANDSCAPE ARCHITECT

LEWIS AQUI, L+A+D.  
7408 B SW 48th STREET  
MIAMI, FL 33155  
T.305.796.2575

### DEVELOPER / OWNERS REP.

NI2 CONSTRUCTION, CORP.  
2130 SW 13th AVENUE  
MIAMI, FL 33145  
T.786.347.1873

### STRUCTURAL ENGINEER

CSW STRUCTURAL GROUP, INC.  
5397 ORANGE DRIVE, SUITE 203  
DAVIE, FL 33314  
T.954.316.9001

### LANDSCAPE ARCHITECT

LEWIS AQUI, L+A+D.  
7408 B SW 48th STREET  
MIAMI, FL 33155  
T.305.796.2575

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FOR CORRECTING ANY DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FOR CORRECTING ANY DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FOR CORRECTING ANY DISCREPANCIES.

# HAWTHORN<sup>®</sup>

## SUITES BY WYNDHAM

HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
COVER SHEET

DATE:  
01.18.2016

SEAL:

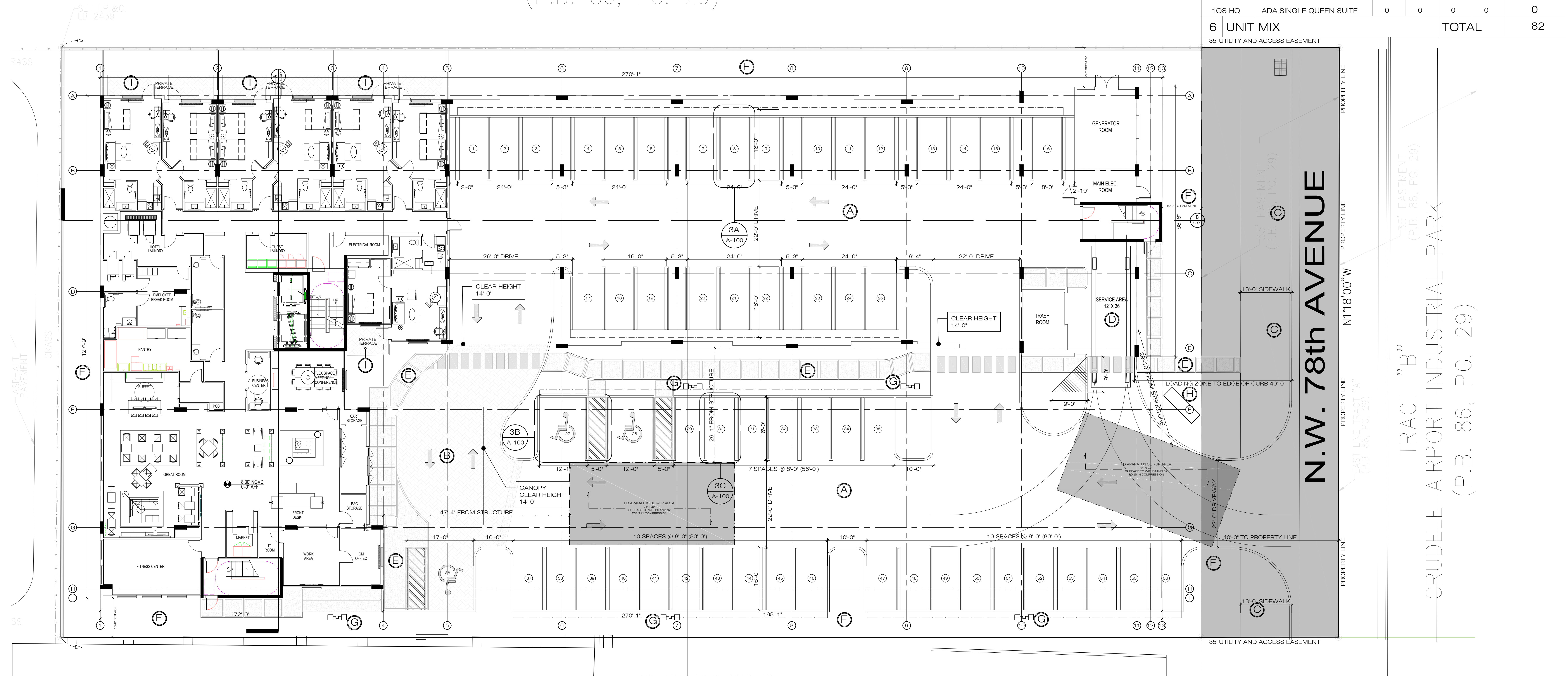
ARCH. LICENSE  
AR 0011733

A-000



TRACT "A"  
 CRUDELE AIRPORT INDUSTRIAL PARK  
 (P.B. 86, PG. 29)

MARK	ROOM TYPE	FLOOR LEVEL				TOTAL
		1	2	3	4	
1BEDS	2 BEDROOM SUITE	3	13	15	13	44
1BEDS HQ	ADA 2 BEDROOM SUITE	0	2	0	2	4
QQS	DOUBLE QUEEN STUDIO	0	7	7	7	21
QQS HQ	ADA DOUBLE QUEEN STUDIO	0	0	0	0	0
KS	KING STUDIO	0	3	3	3	9
KS HQ	ADA KING STUDIO	0	0	0	0	0
1QS	SINGLE QUEEN SUITE	1	1	1	1	4
1QS HQ	ADA SINGLE QUEEN SUITE	0	0	0	0	0
<b>6</b>	<b>UNIT MIX</b>	<b>TOTAL</b>				<b>82</b>



**1 SITE PLAN**

**SITE DATA:**  
 GROSS LOT AREA: 48,750.0427 SF  
 1.119 ACRES  
 SITE ADDRESS: 3500 NW 78TH AVE  
 LEGAL DESCRIPTION: CRUDELE AIRPORT INDUSTRIAL PARK  
 PB 86-29 N150' OF S385' OF TRACT A  
 OR 14691-2502 0690 1

**ZONING DATA:**

SITE DISTRICT: VILLAGE SUB-DISTRICT	REQUIRED	PROVIDED
DENSITY: (75 GR / ACRE)	83 GR	82 GR
BUILDING COVERAGE: .75 X GLA	36,562.531 SF	21,156.6456 SF
MAXIMUM HEIGHT: WIDTH OF R-O-W	50' R-O-W	49'-10"
OPEN SPACE: 10% OF GLA	4,875 SF	11,984 SF

**SETBACKS:**

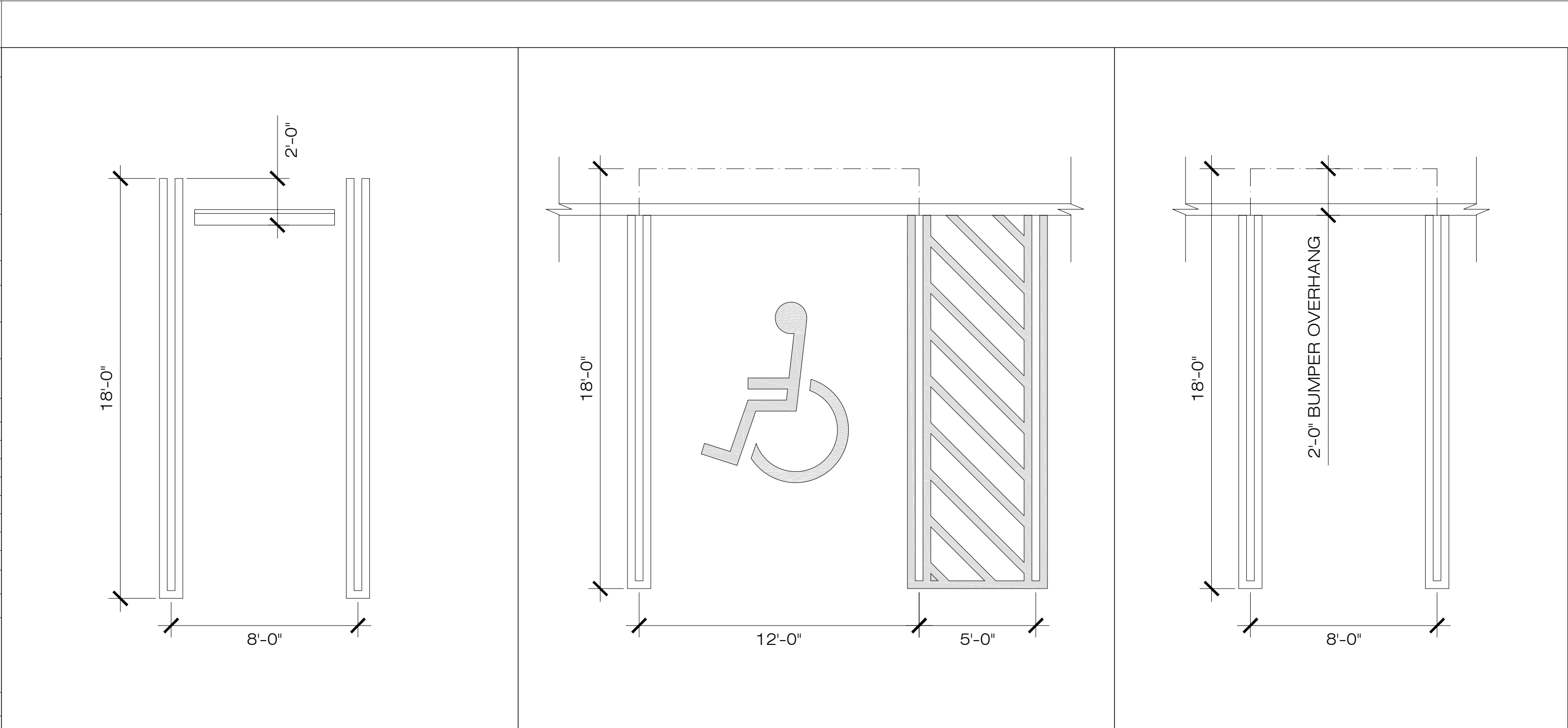
FRONT	0' - 10'-0"	10'-0" FROM EASEMENT
SIDE	0' - 10'-0"	10'-0"
REAR	0'	+/- 10'-0"

**FAR:**

FLOOR	REQUIRED	PROVIDED
GRFUND FLOOR @ .75	36,562 SF	9,275 SF
2ND FLOOR @ .5	24,375 SF	21,271 SF
3RD FLOOR @ .5	24,375 SF	21,095 SF
4TH FLOOR @ .5	24,375 SF	21,271 SF
<b>TOTAL</b>	<b>109,687 SF</b>	<b>72,912 SF</b>

**PARKING: (LODGING)**

REQUIREMENT	REQUIRED	PROVIDED
1) 1 SPACE FOR THE FIRST 40 UNITS	40 SPACES	
2) 1 SPACE FOR EVERY 2 UNITS THEREAFTER	21 SPACES	
3) 1 SPACE FOR EVERY 4 EMPLOYEES	1 SPACE	
4) PARKING REDUCTION - 75% OF REQUIRED	-16 SPACES	
<b>TOTAL SPACES</b>	<b>46 SPACES</b>	<b>56 SPACES</b>



- 4 GENERAL NOTES**
- BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY.
  - LOT SHALL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES AND / OR RIGHT OF WAY.
  - PROVIDE "VULCLAY" WATERPROOFING AT ALL CONCRETE AND MASONRY WALLS EXPOSED TO EARTH.
  - FOR GRADING, PAVEMENTS, DRAINAGE SYSTEMS AND ALL OTHER SITE INFORMATION REFER TO CIVIL DRAWING.
  - ALL PERMANENT STRUCTURES MUST BE CLEAR OF THE RECORDED 35' ACCESS AND UTILITY EASEMENT LOCATED AT THE PRINCIPAL FRONTAGE OF THE PROPERTY.
  - ALL SITE CONCRETE PAVERS SHALL BE INSTALLED OVER A CRUSHED LIME ROCK BASE FOR LEVELING, OVER A PERMEABLE FABRIC TO PREVENT THE GROWTH OF VEGETATION BETWEEN THE CONCRETE PAVERS.
  - NO PLANTINGS OTHER THAN SOD FOR 24" FROM CONCRETE CURBS, WHERE PARKING STALLS OVERHANG.
- 5 SITE LEGEND**
- (A) ASPHALT PAVEMENT
  - (B) CONCRETE PAVERS
  - (C) STREET TREES WITH GRATES
  - (D) 12 X 36' LOADING AREA
  - (E) CONCRETE SIDEWALK
  - (F) LANDSCAPED AREAS
  - (G) PARKING LIGHTING
  - (H) HOTEL MONUMENT SIGN
  - (I) PRIVATE TERRACES
  - (1) PARKING COUNT

DATE: \_\_\_\_\_

REVISIONS:

NO.	DATE	DESCRIPTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CONSTRUCTION IN AREA OF PROPOSED NEW WORK. BEFORE COMMENCING CONSTRUCTION OF NEW WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF ALL EXISTING UTILITIES OR CONSTRUCTION. THESE DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND NOTED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CONSTRUCTION IN AREA OF PROPOSED NEW WORK. BEFORE COMMENCING CONSTRUCTION OF NEW WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF ALL EXISTING UTILITIES OR CONSTRUCTION. THESE DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND NOTED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CONSTRUCTION IN AREA OF PROPOSED NEW WORK. BEFORE COMMENCING CONSTRUCTION OF NEW WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF ALL EXISTING UTILITIES OR CONSTRUCTION. THESE DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND NOTED ON THE CONSTRUCTION DOCUMENTS.



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

**MF Architects**  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

**DRAWN BY:**  
 CAN

**SHEET TITLE:**  
 SITE PLAN

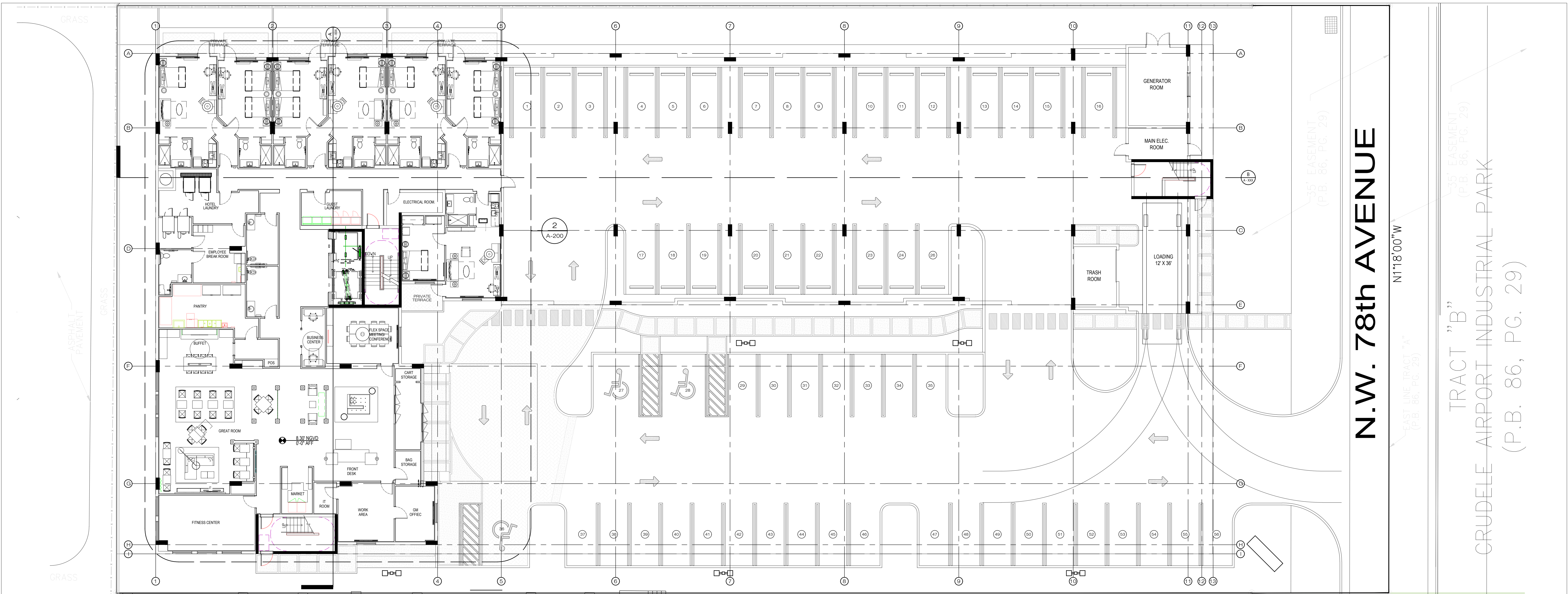
**DATE:**  
 01.18.2016

**SEAL:**

**ARCH. LICENSE:**  
 AR 0011733

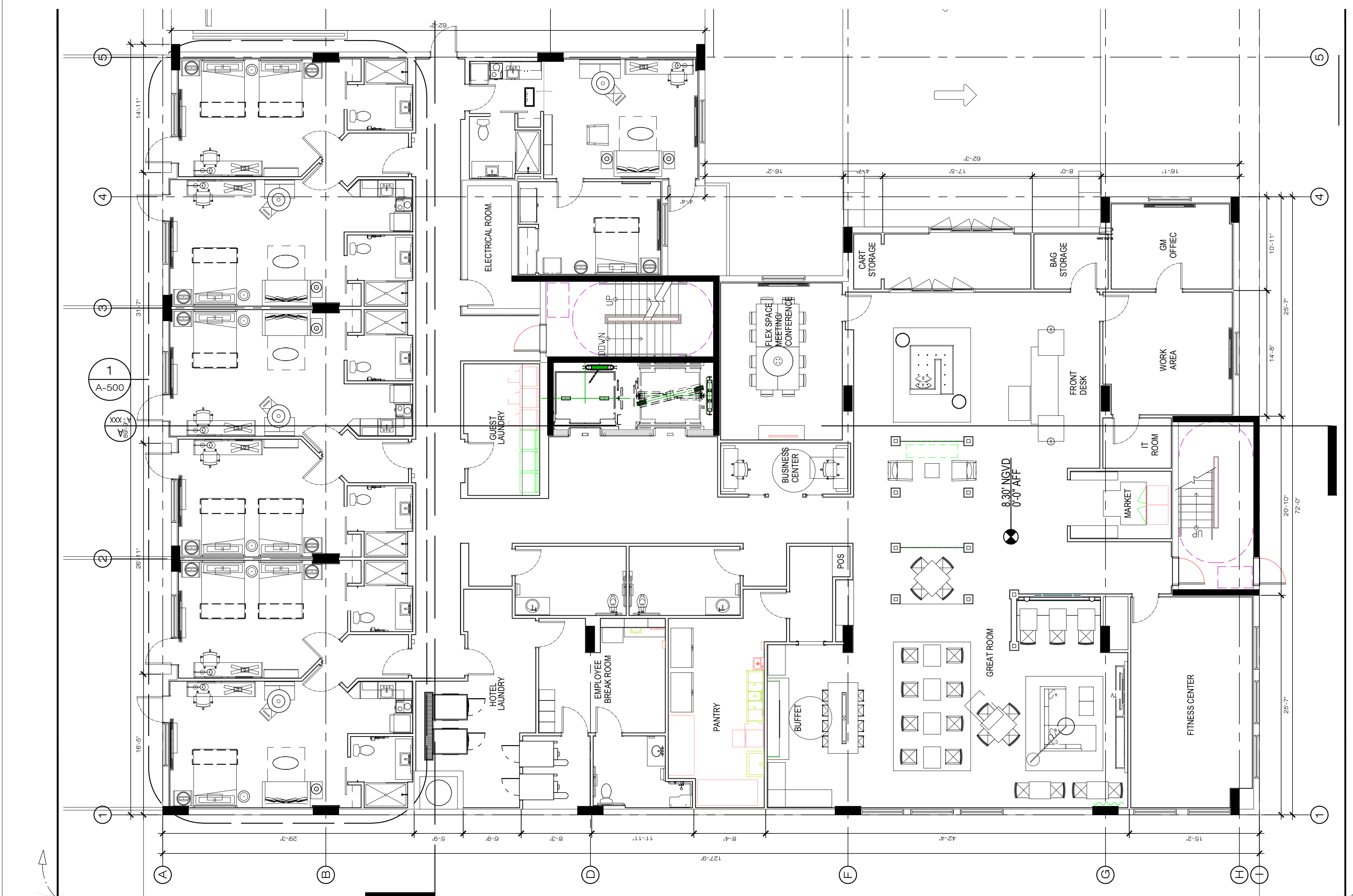
**A-100**





1 GROUND FLOOR PLAN

SCALE : 3/32" = 1'-0"



2 GROUND FLOOR PLAN - ENLARGED

SCALE : 1/8" = 1'-0"

1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
8. FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
9. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
10. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

3 GENERAL NOTES

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 SYMBOL LLEGEND

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

**MF Architects**  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
 GROUND FLOOR PLAN

DATE:  
 01.18.2016

SEAL:

ARCH. LICENSE  
 AR 0011733

**A-200**



- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE. REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- 'CLEAR' DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN FROM THE FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL WORK.



**HAWTHORN SUITES BY WYNDHAM**  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
 2ND FLOOR PLAN

DATE:  
 01.18.2016

SEAL:

ARCH. LICENSE  
 AR 0011733

**A-210**

REVISIONS	DATE



1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
9. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
10. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL WORK. ANY DISCREPANCIES IN FIELD CONDITIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
3RD FLOOR PLAN

DATE:  
01.18.2016  
SEAL:

ARCH. LICENSE  
AR 0011733

**A-220**



1. REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
2. REFER TO SPECIFICATIONS FOR FINISH INDEX.
3. REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
4. ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
5. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
7. ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
9. WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
10. "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
11. SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
12. FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE NOTED.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
4TH FLOOR PLAN

DATE:  
01.18.2016  
SEAL:

ARCH. LICENSE  
AR 0011733

**A-230**

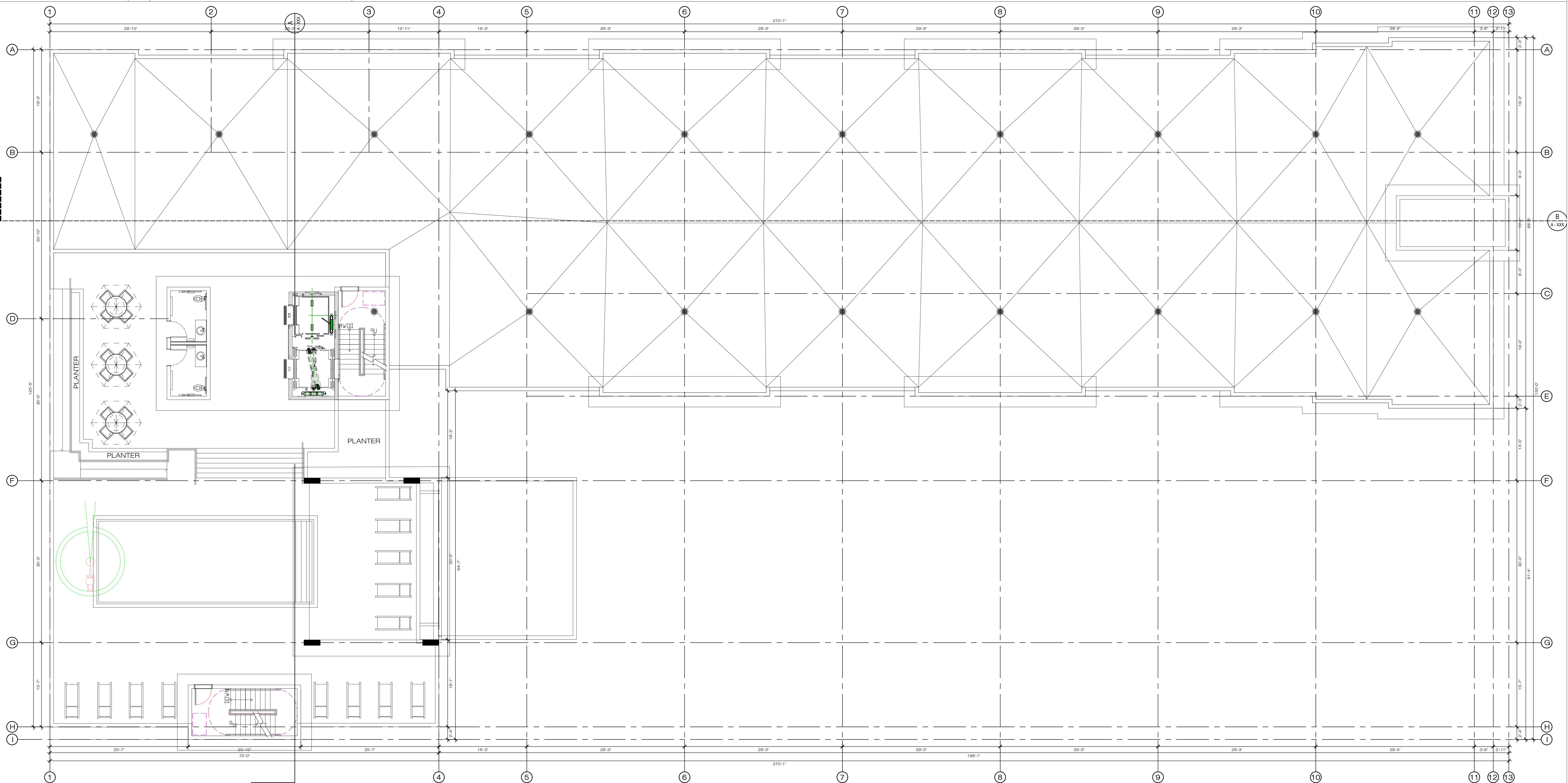


- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 16" TO CL OF BOX FROM FINISHED FLOOR ELEVATION. USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT) FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

- REVISION TAG
- GUESTROOM WITH COMMUNICATION FEATURES
- GUESTROOM WITH MOBILITY FEATURES
- ADA MANEUVERING CLEARANCE
- WINDOW MARK
- DOOR MARK
- WALL TYPE - SEE SHEET A-050
- FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

3 GENERAL NOTES

3 SYMBOL LLEGEND



REVISIONS	DATE



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

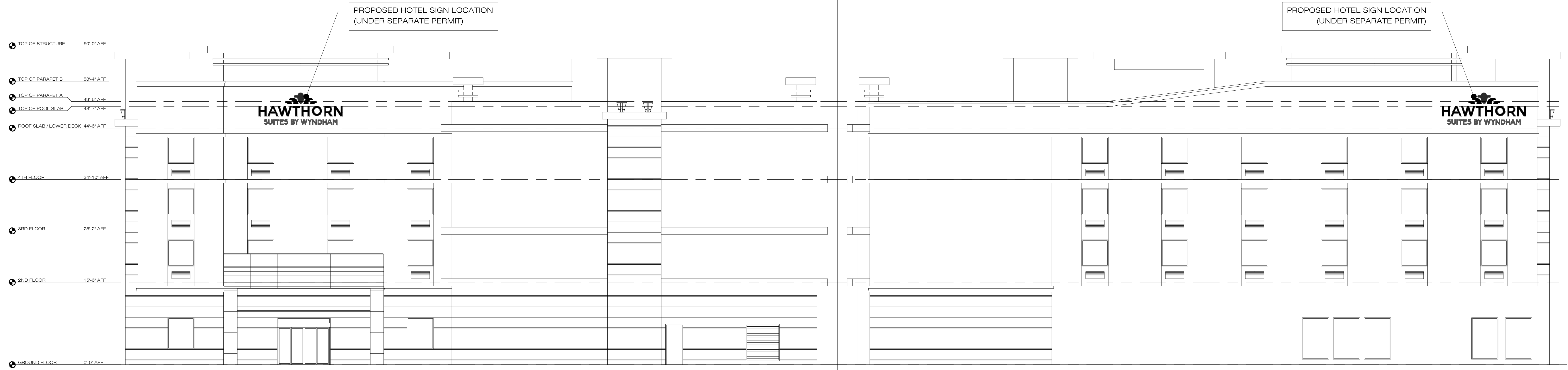
SHEET TITLE:  
ROOF - POOL DECK  
PLAN

DATE:  
01.18.2016  
SEAL:

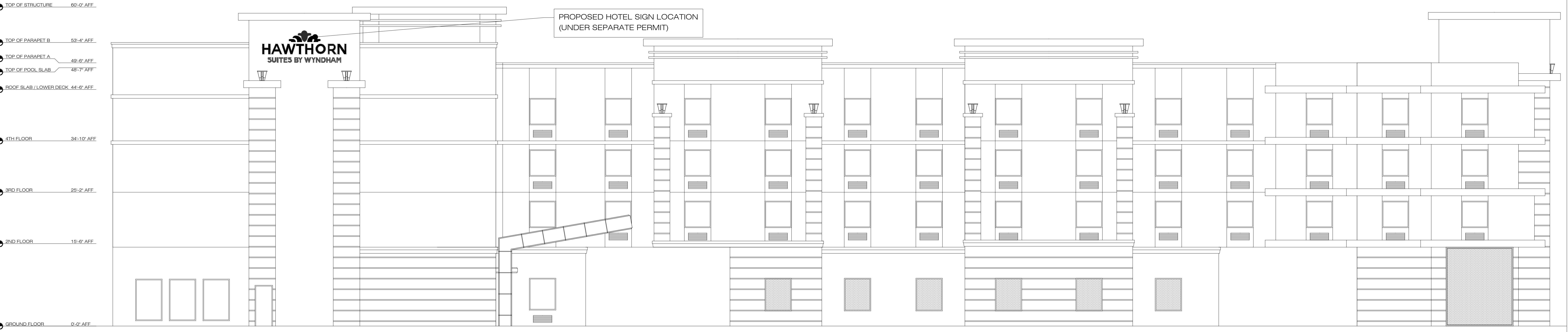
ARCH. LICENSE  
AR 0011733

**A-240**





1 EAST ELEVATION SCALE : 1/8" = 1'-0" 2 WEST ELEVATION SCALE : 1/8" = 1'-0"



3 SOUTH ELEVATION SCALE : 1/8" = 1'-0"



4 NORTH ELEVATION SCALE : 1/8" = 1'-0"

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS SHALL BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.



HAWTHORN SUITES BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
 CAN

SHEET TITLE:  
 EXTERIOR ELEVATIONS

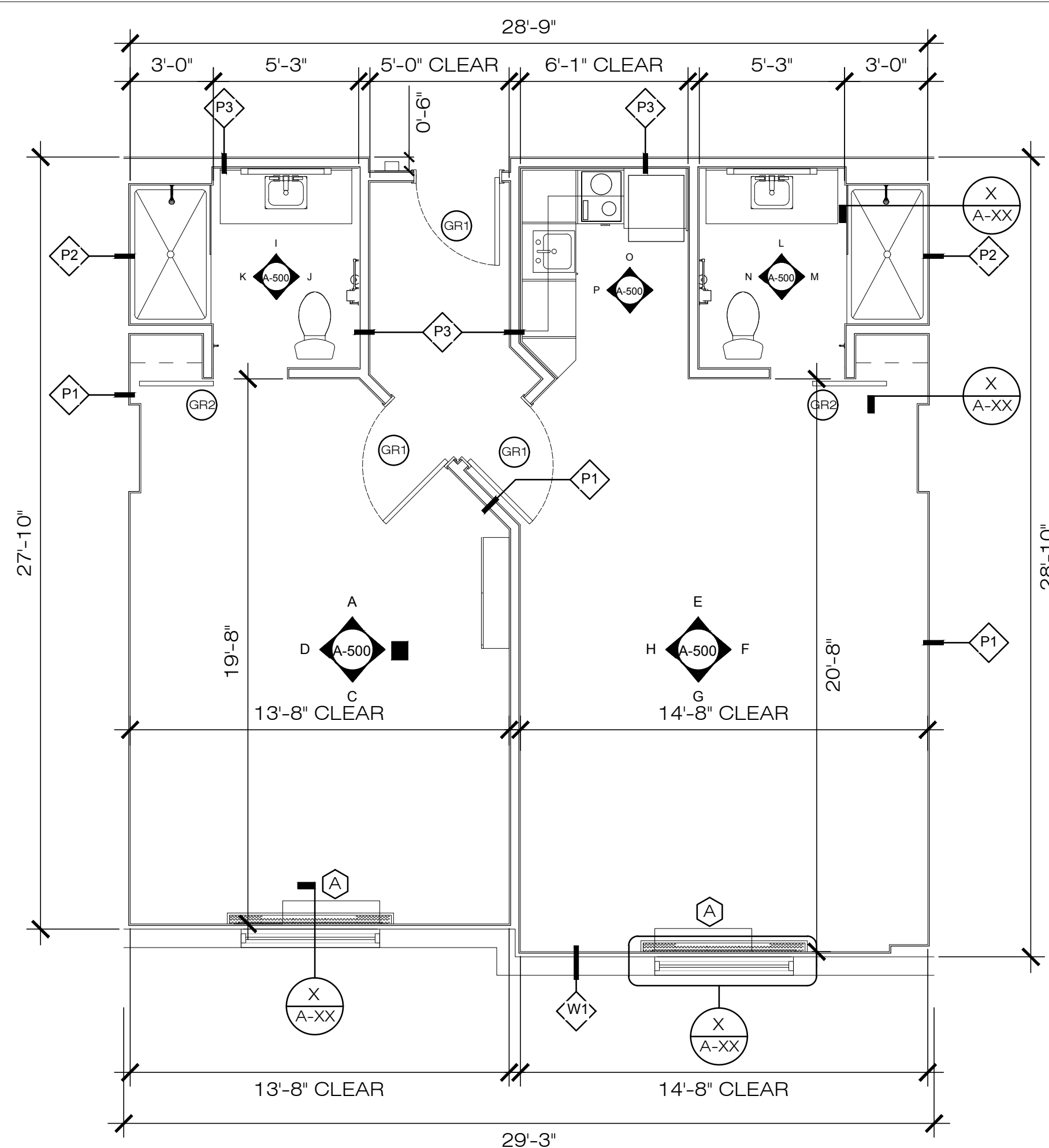
DATE:  
 01.18.2016

SEAL:

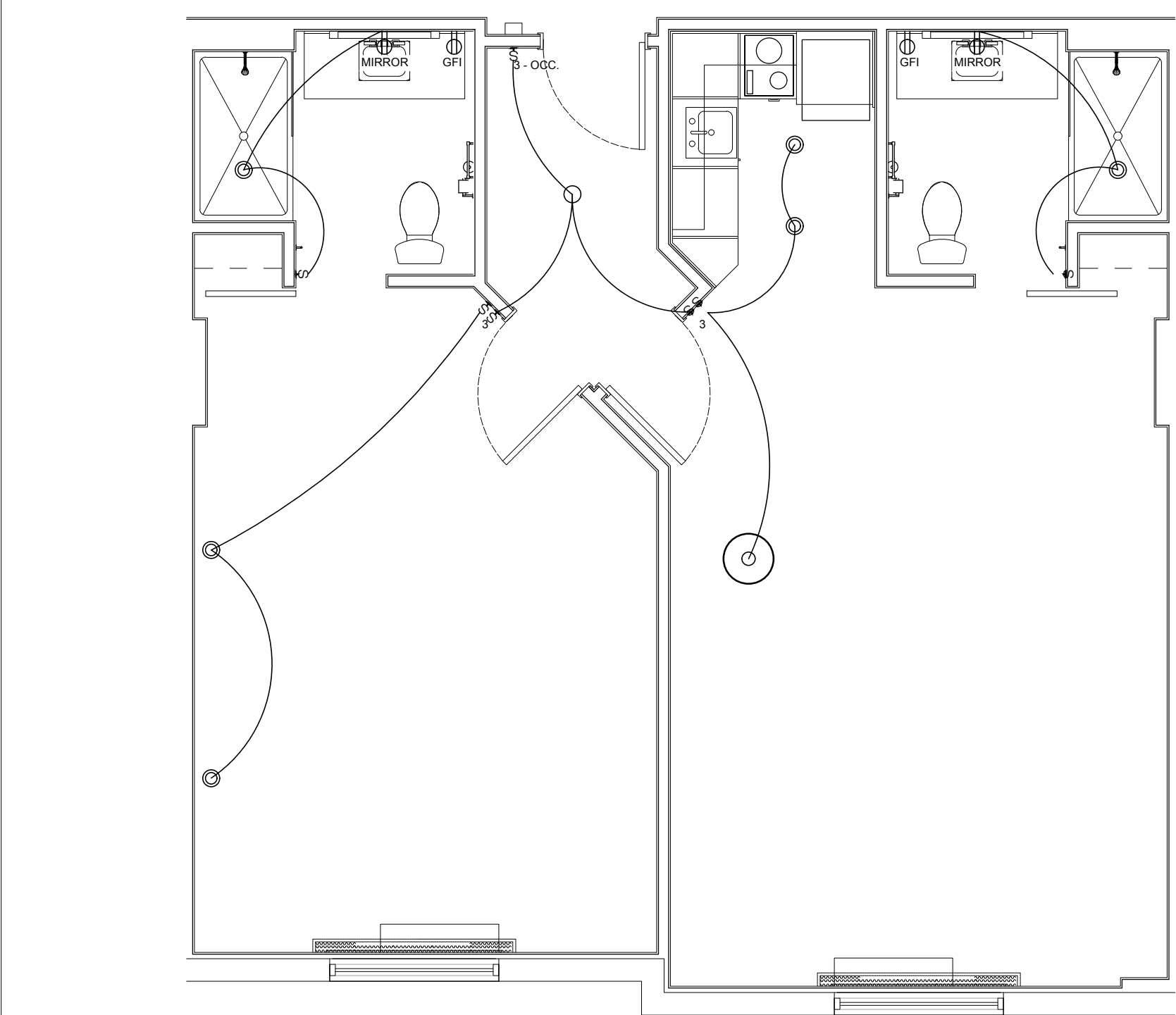
ARCH. LICENSE  
 AR 0011733

A-400

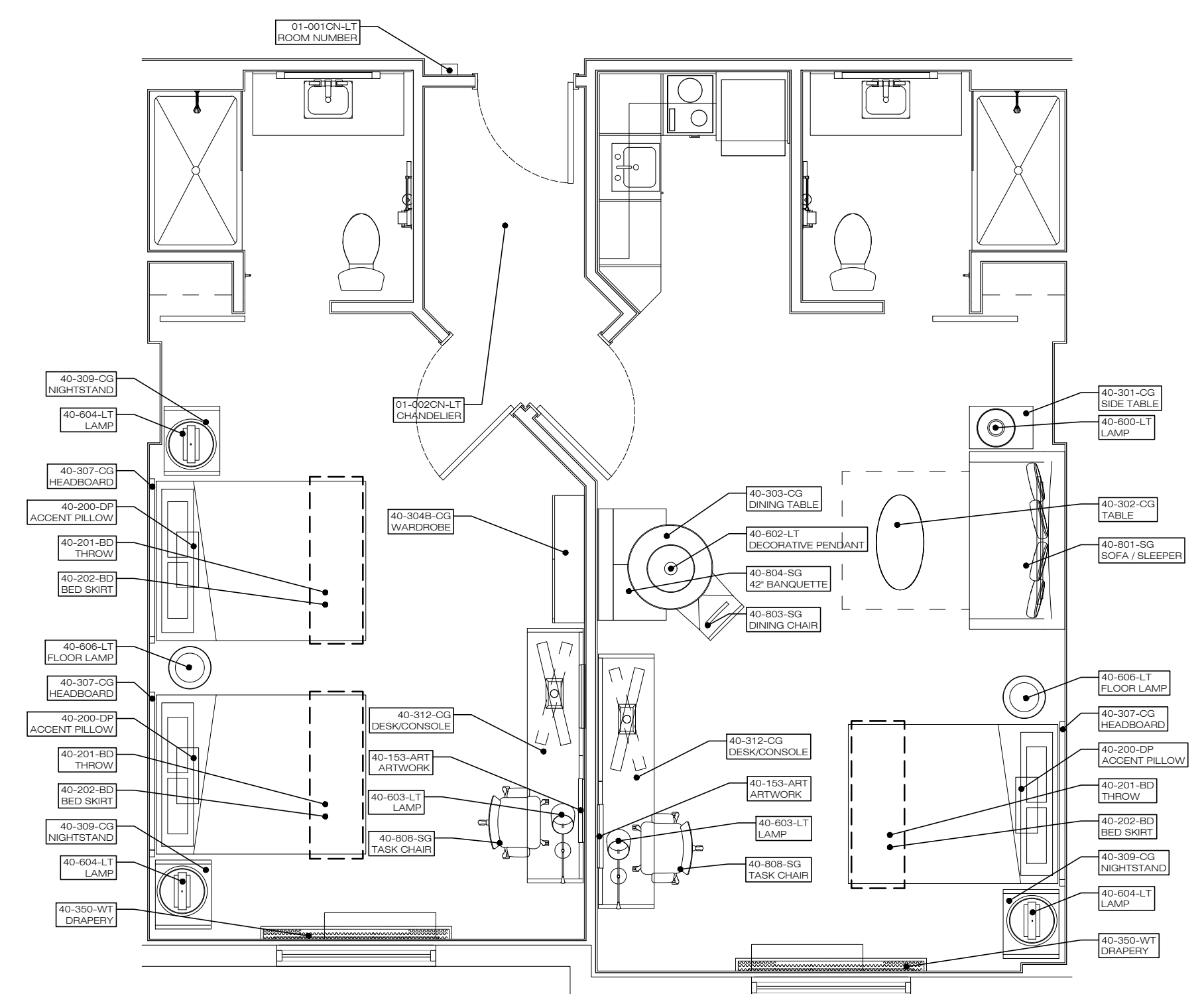




1 UNIT FLOOR PLAN

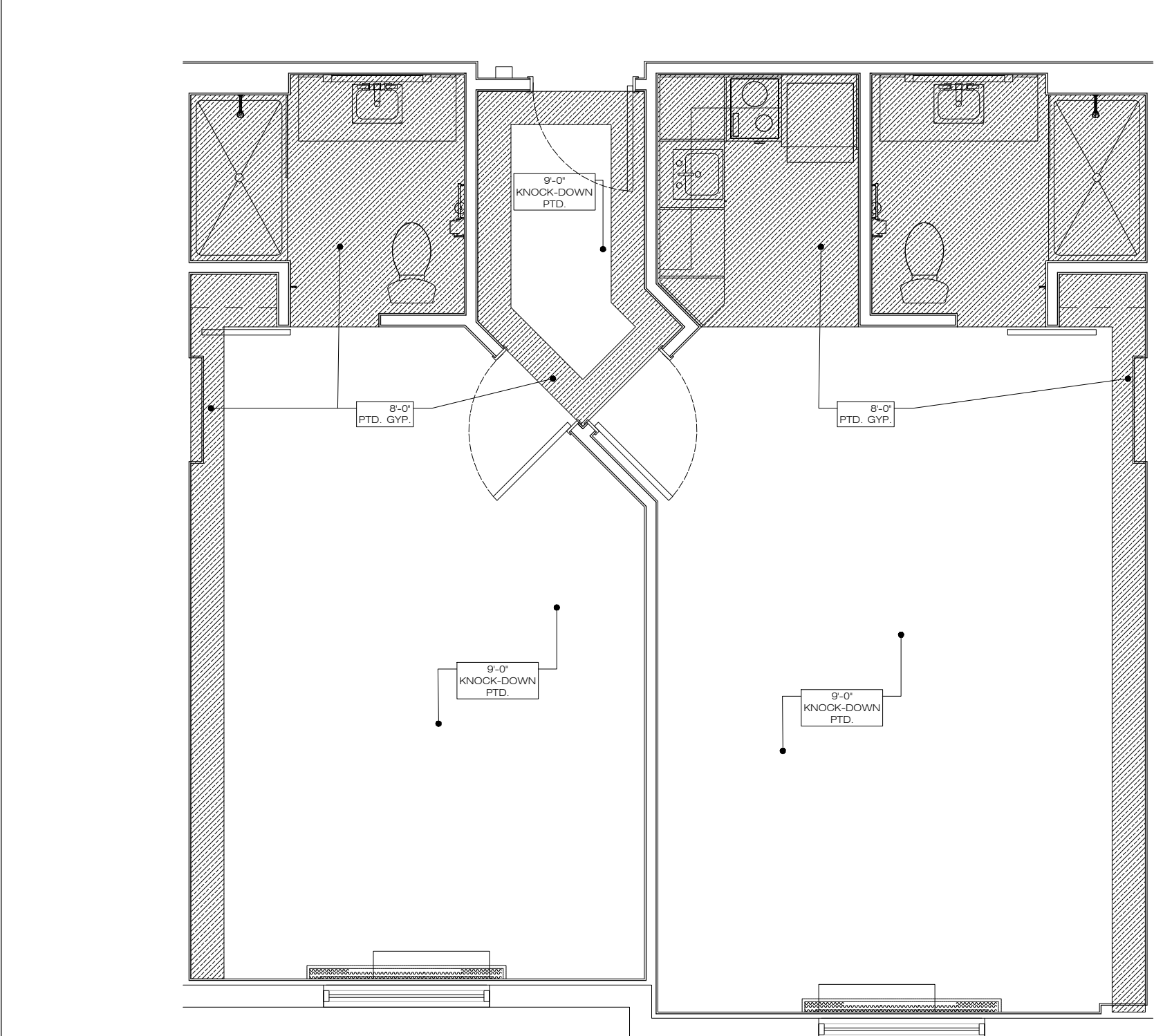


3 ELECTRICAL PLAN

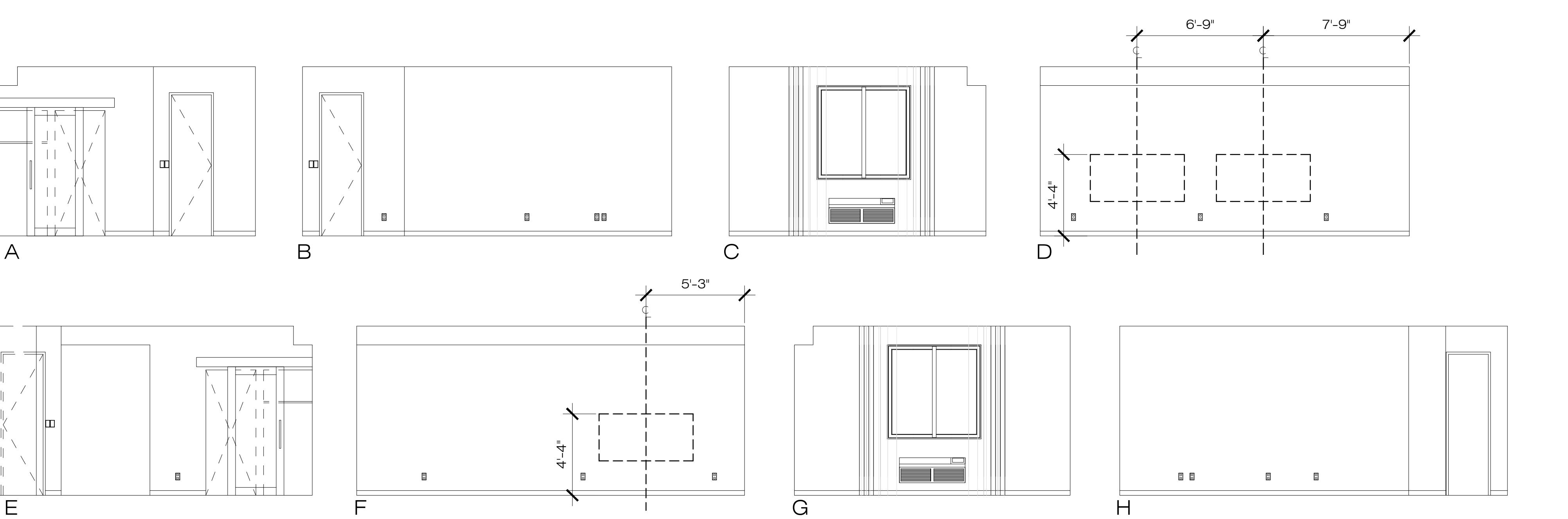


2 FF&E PLAN

SCALE : 1/4" = 1'-0"

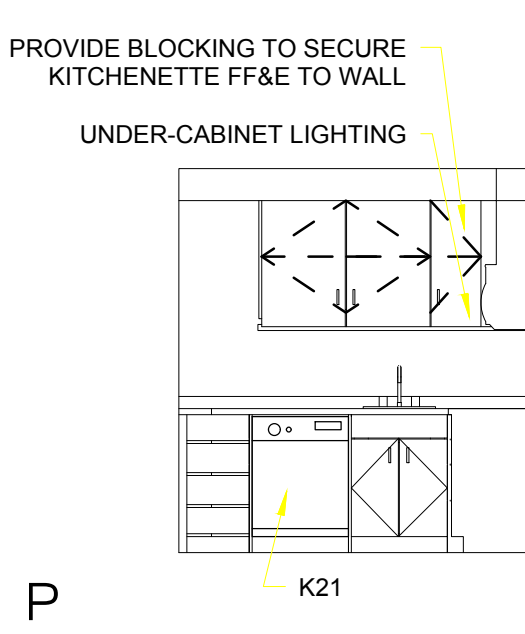
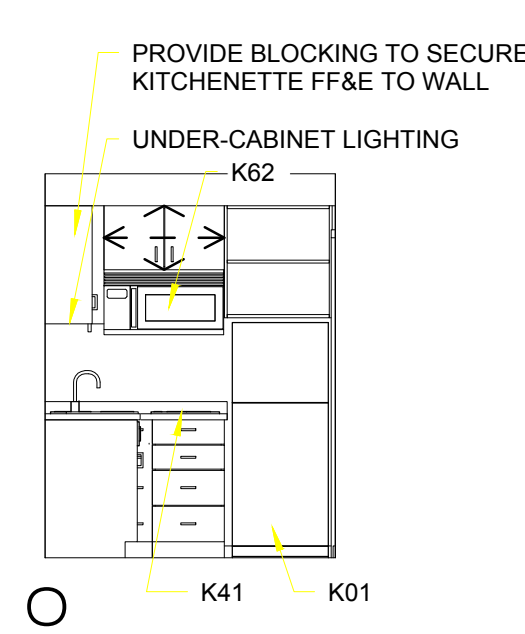
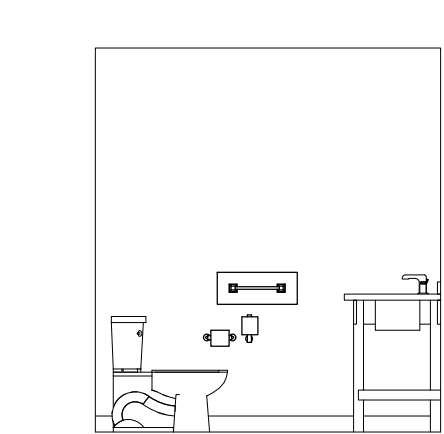
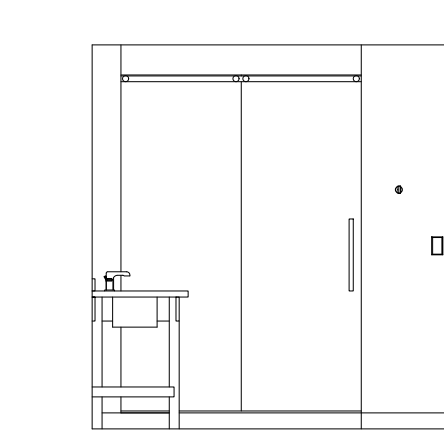
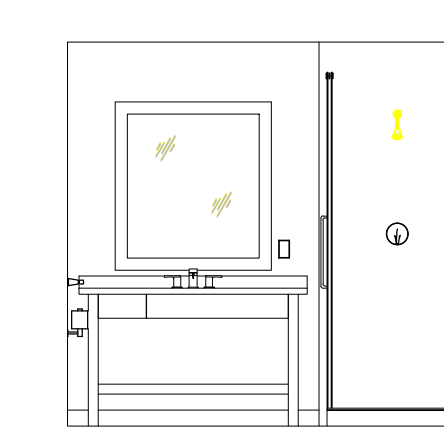
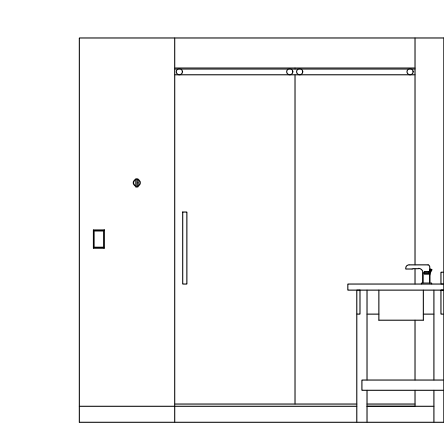
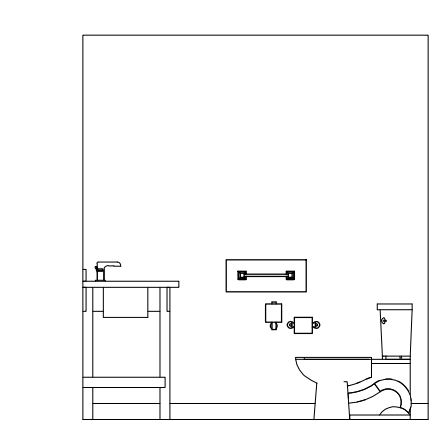
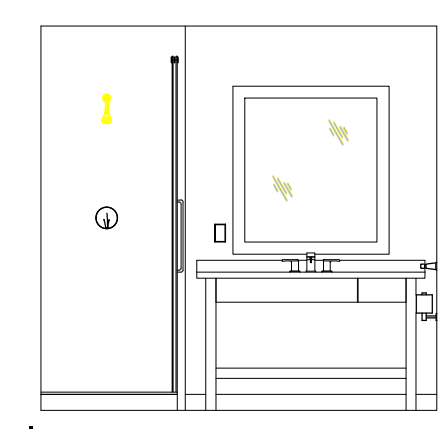


4 REFLECTED CEILING PLAN



5 ELEVATIONS - SLEEPING AREAS

SCALE : 1/4" = 1'-0"



6 ELEVATIONS - BATH & KITCHENS

SCALE : 1/4" = 1'-0"

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- (XXX) FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- (O) CEILING MOUNTED LIGHT FIXTURE
- (O) RECESSED LIGHT FIXTURE
- (3. occ.) 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- (3) 3 WAY LIGHT SWITCH
- (S) LIGHT SWITCH
- (R) RECEPTACLE
- (R) GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY AND ALL CONSTRUCTION IN AREAS OF PROPOSED NEW WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL EXISTING UTILITIES OR CONDUITS. THESE DRAWINGS AND SPECIFICATIONS SHALL BE THE ARCHITECT'S PROPERTY AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. SEE SHEET A-050 FOR FULL PERMISSION.



HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

SHEET TITLE:  
ENLARGED (1 BEDS)  
1 BED SUITE

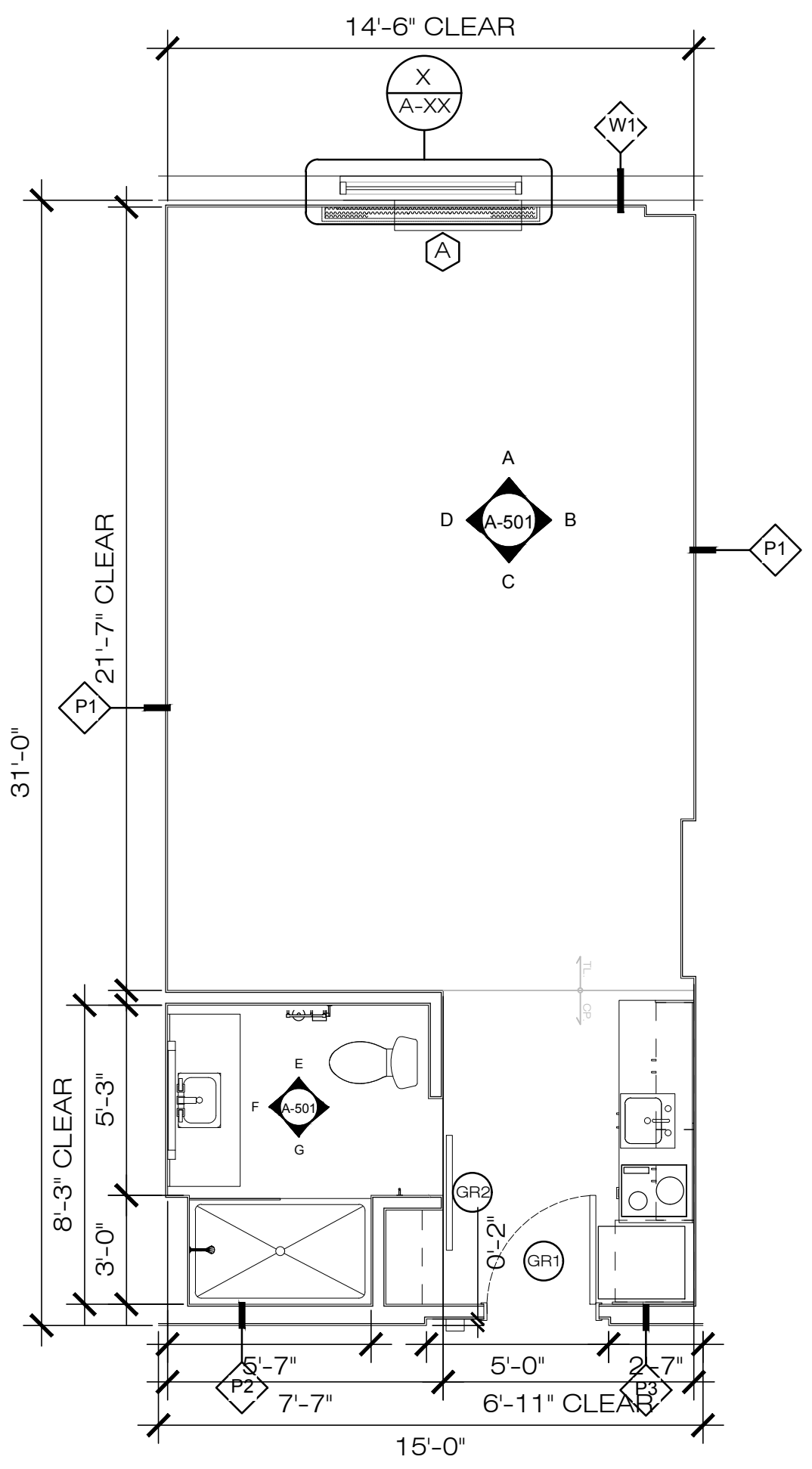
DATE:  
01.18.2016

SEAL:

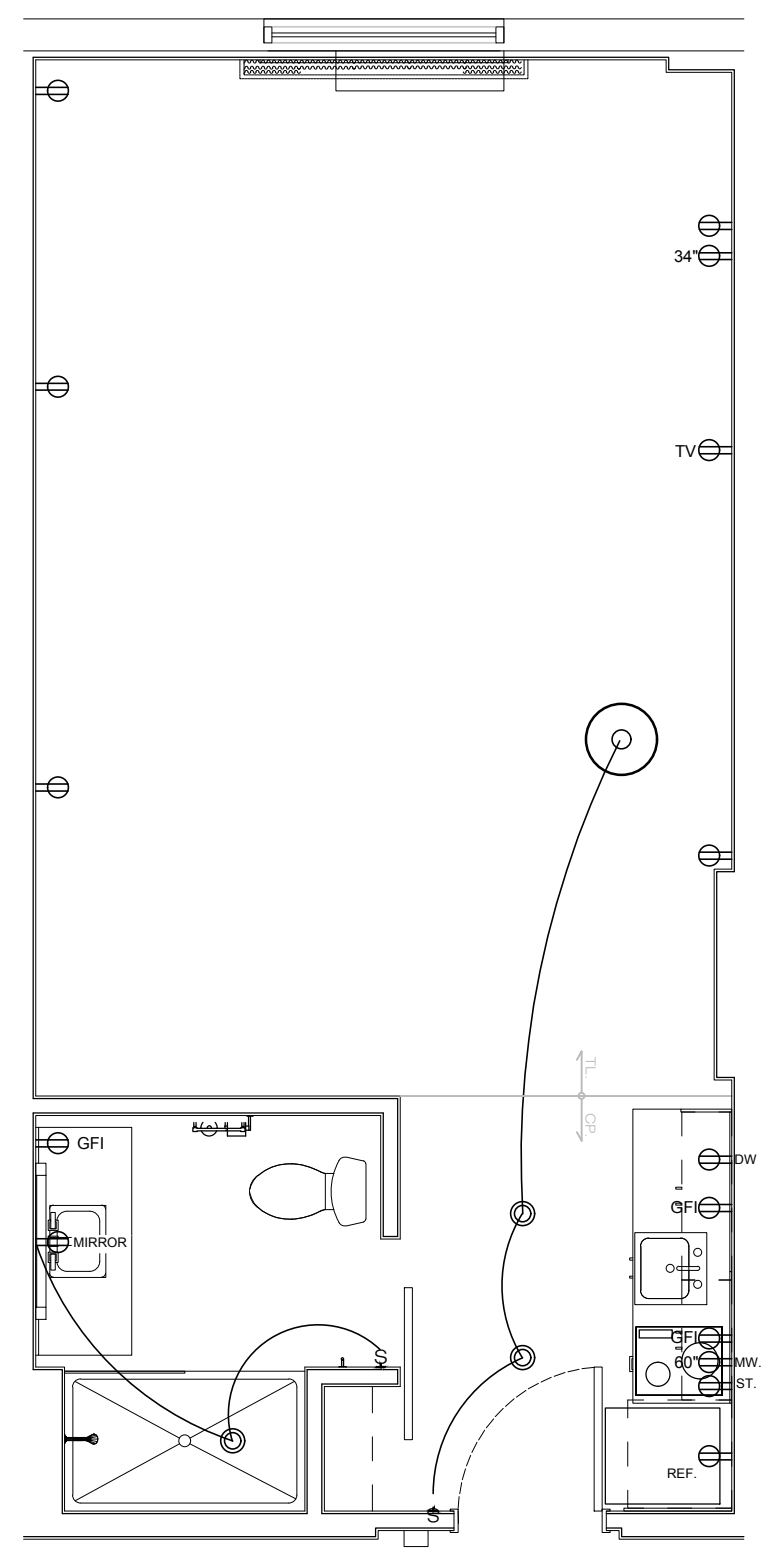
ARCH. LICENSE  
AR 0011733

A-500

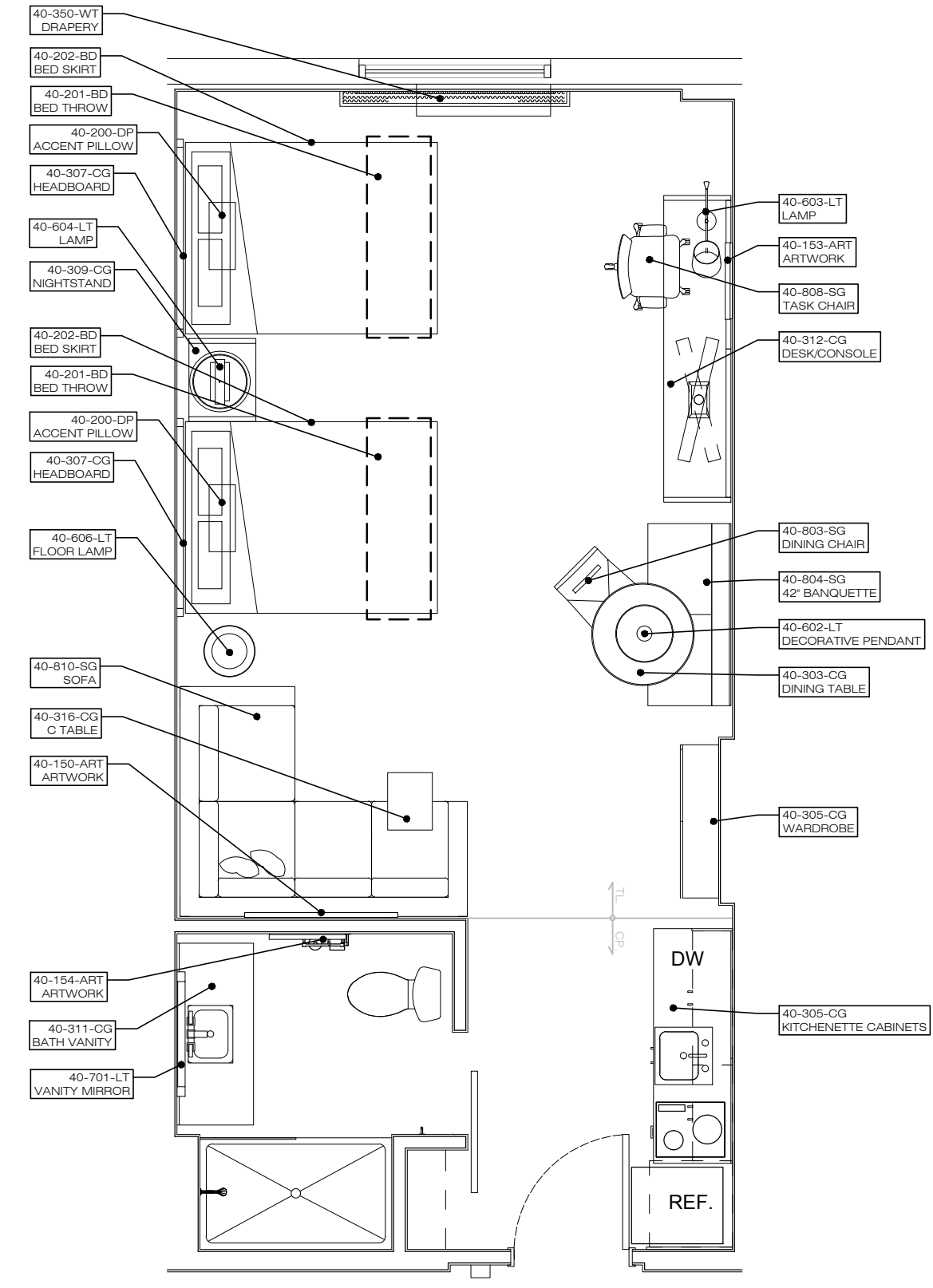




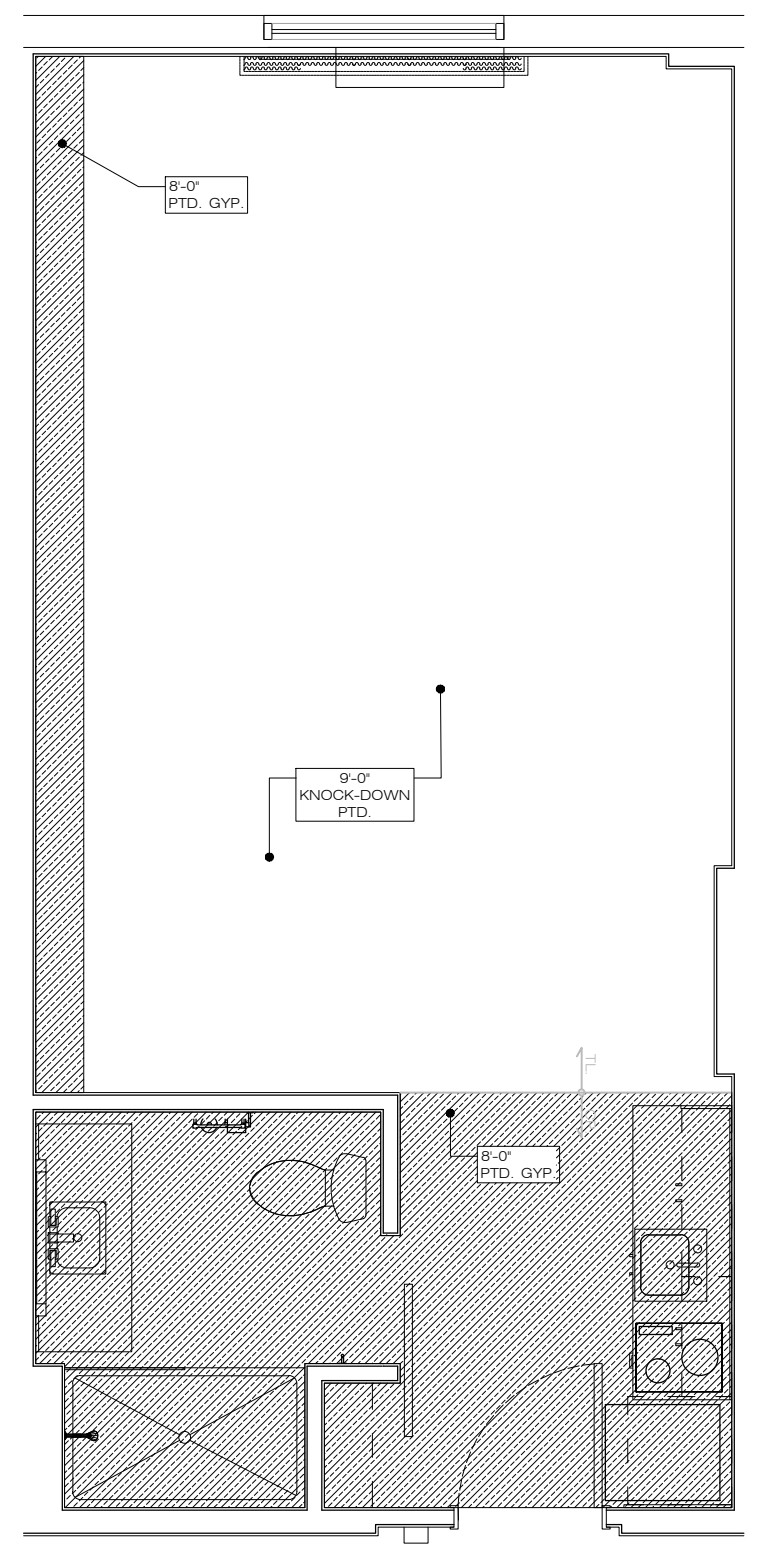
1 UNIT FLOOR PLAN



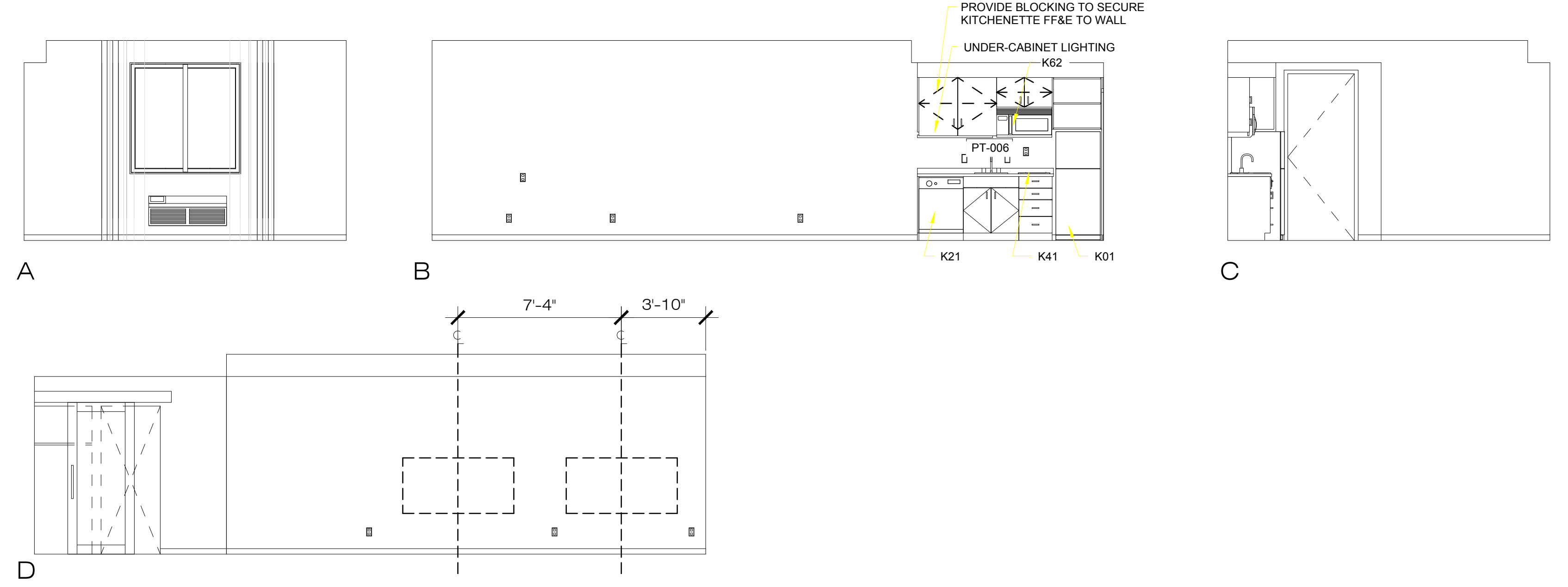
3 ELECTRICAL PLAN



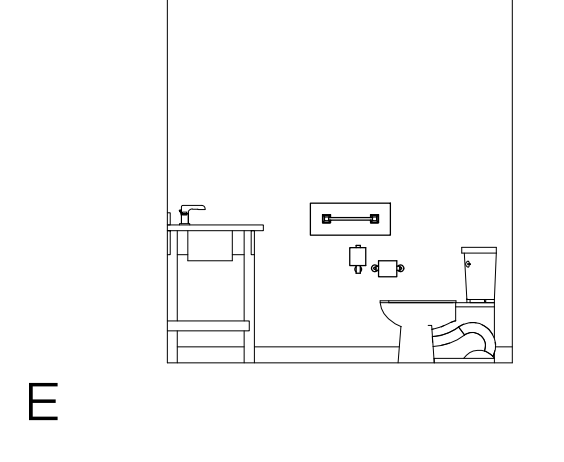
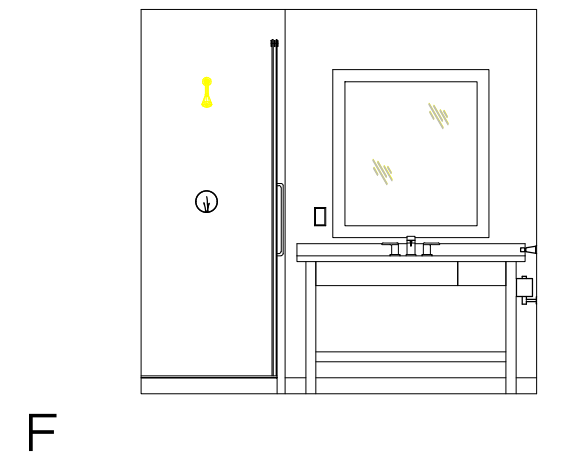
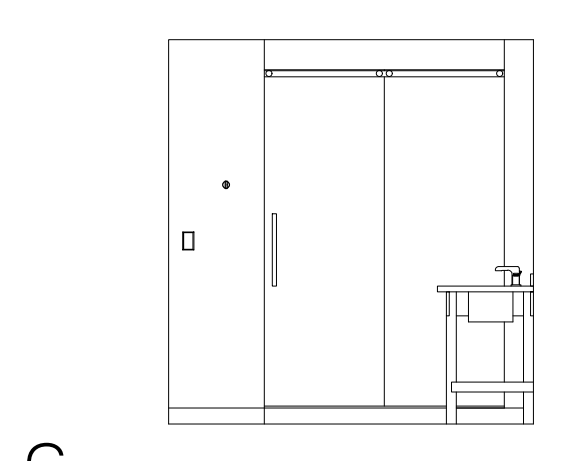
2 FF&E PLAN  
SCALE : 1/4" = 1'-0"



4 REFLECTED CEILING PLAN



5 ELEVATIONS  
SCALE : 1/4" = 1'-0"



6 ELEVATIONS - BATH  
SCALE : 1/4" = 1'-0"

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- XXX XXX FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- O CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- § LIGHT SWITCH
- ⊕ RECEPTACLE
- ⊕ GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH ANY WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE INDICATED. ANY AND ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE INDICATED. ANY AND ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE INDICATED. ANY AND ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE INDICATED.



HAWTHORN SUITES BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
CAN

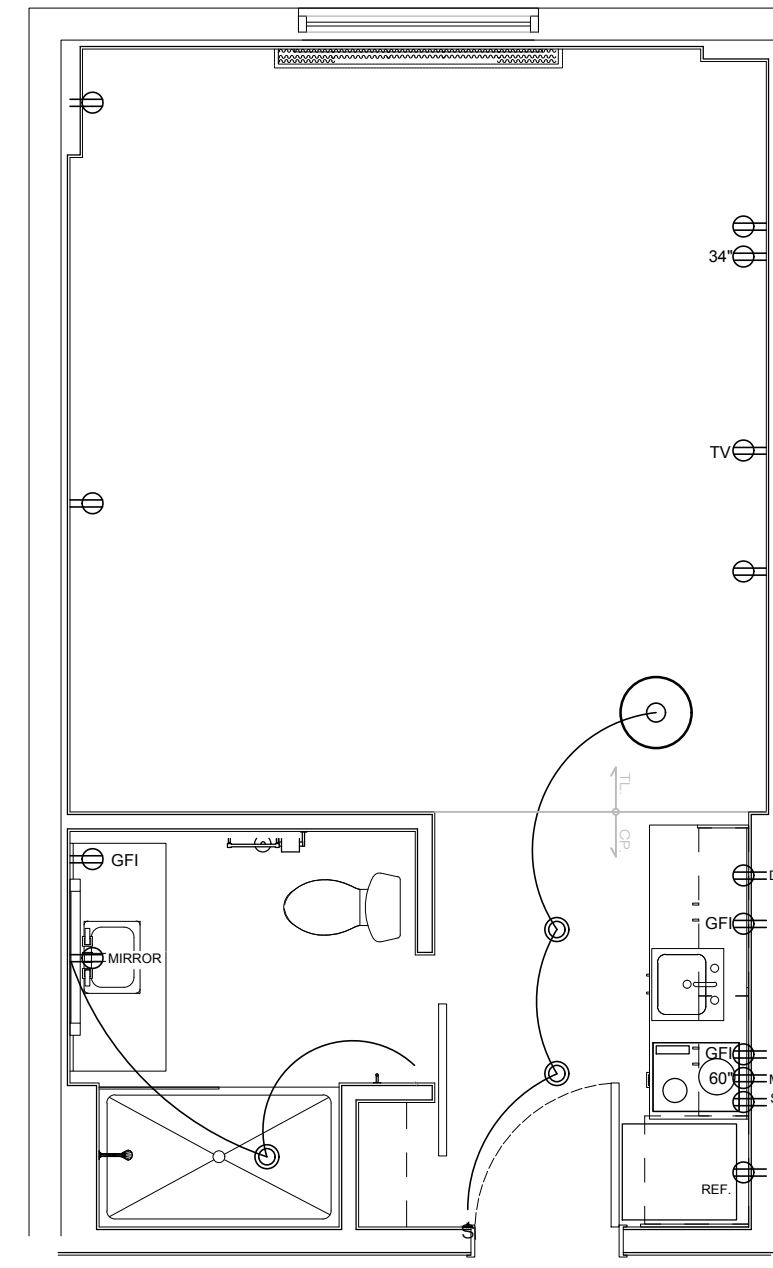
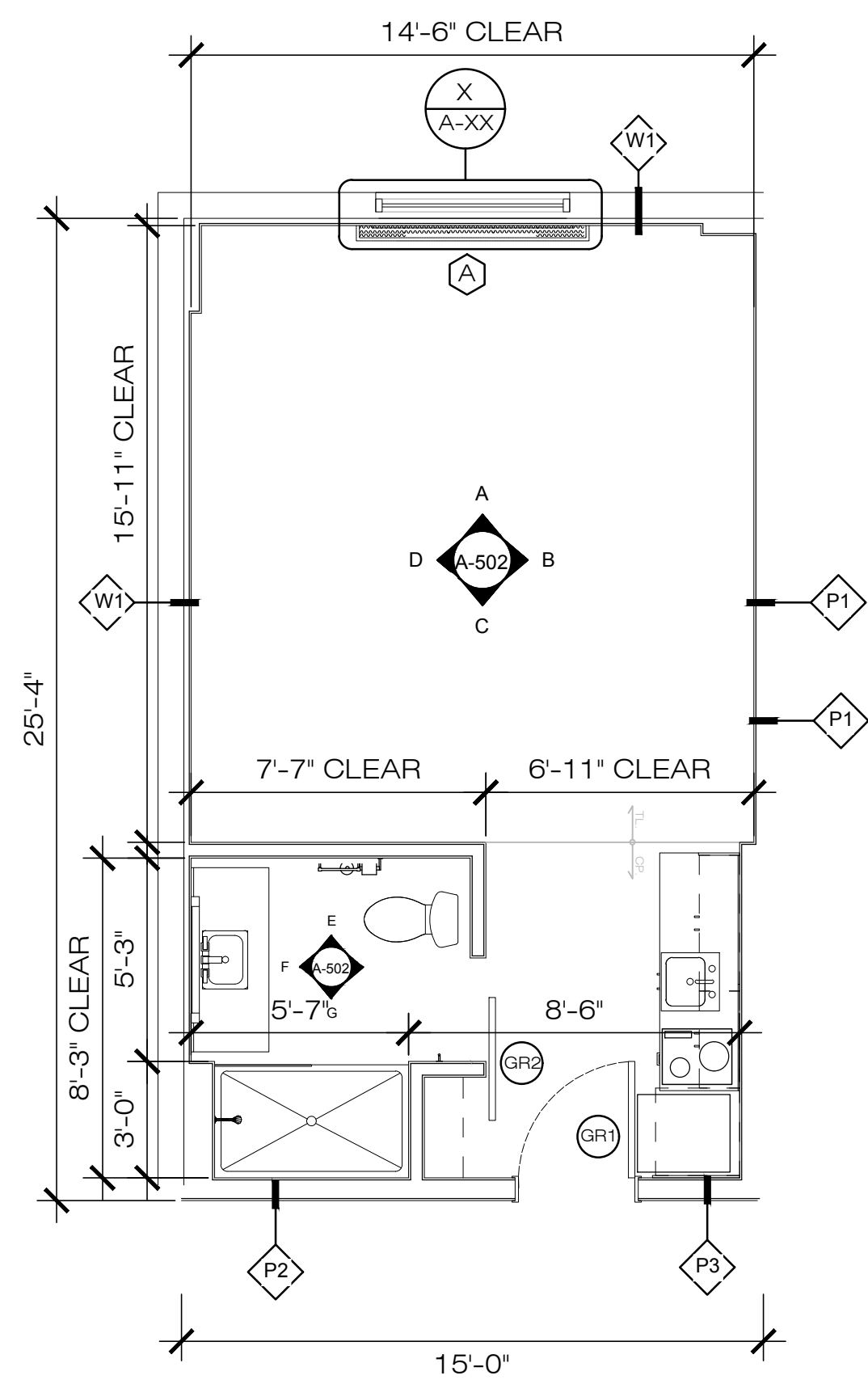
SHEET TITLE:  
ENLARGED (QQS)  
DOUBLE QUEEN

DATE:  
01.18.2016  
SEAL:

ARCH. LICENSE  
AR 0011733

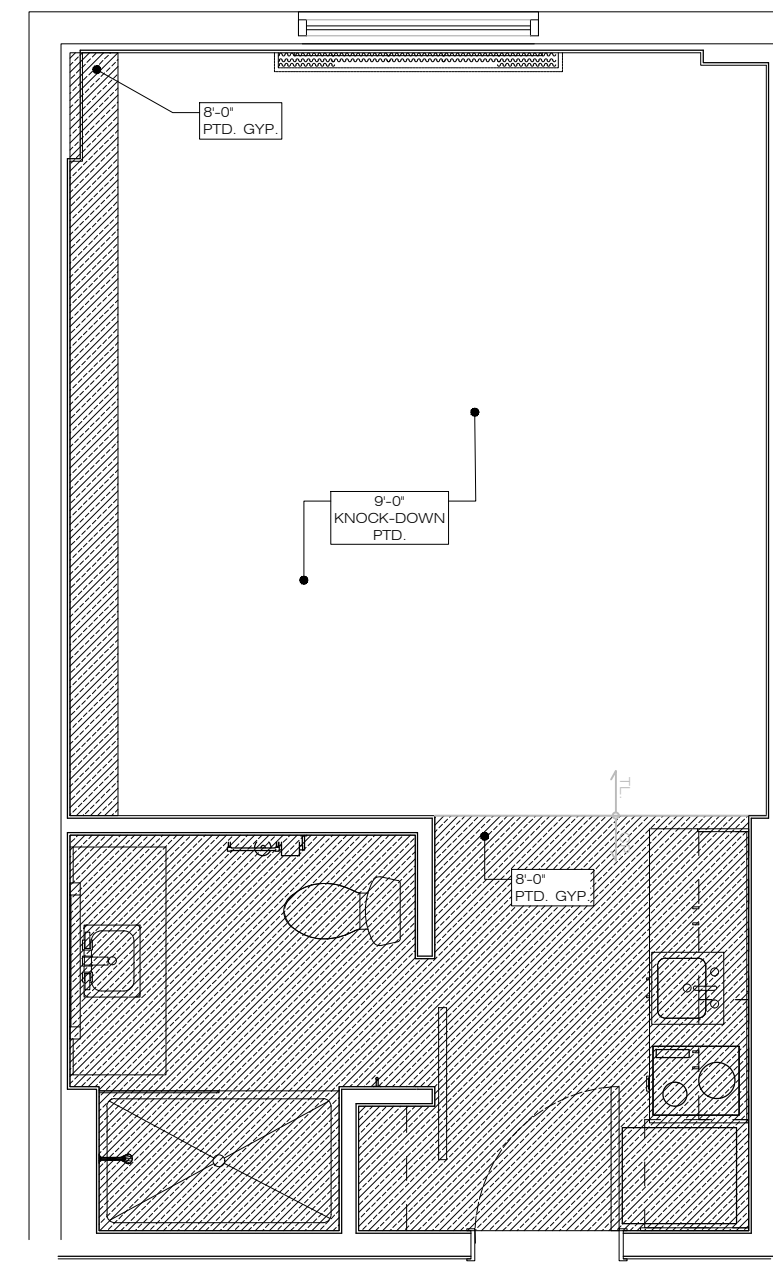
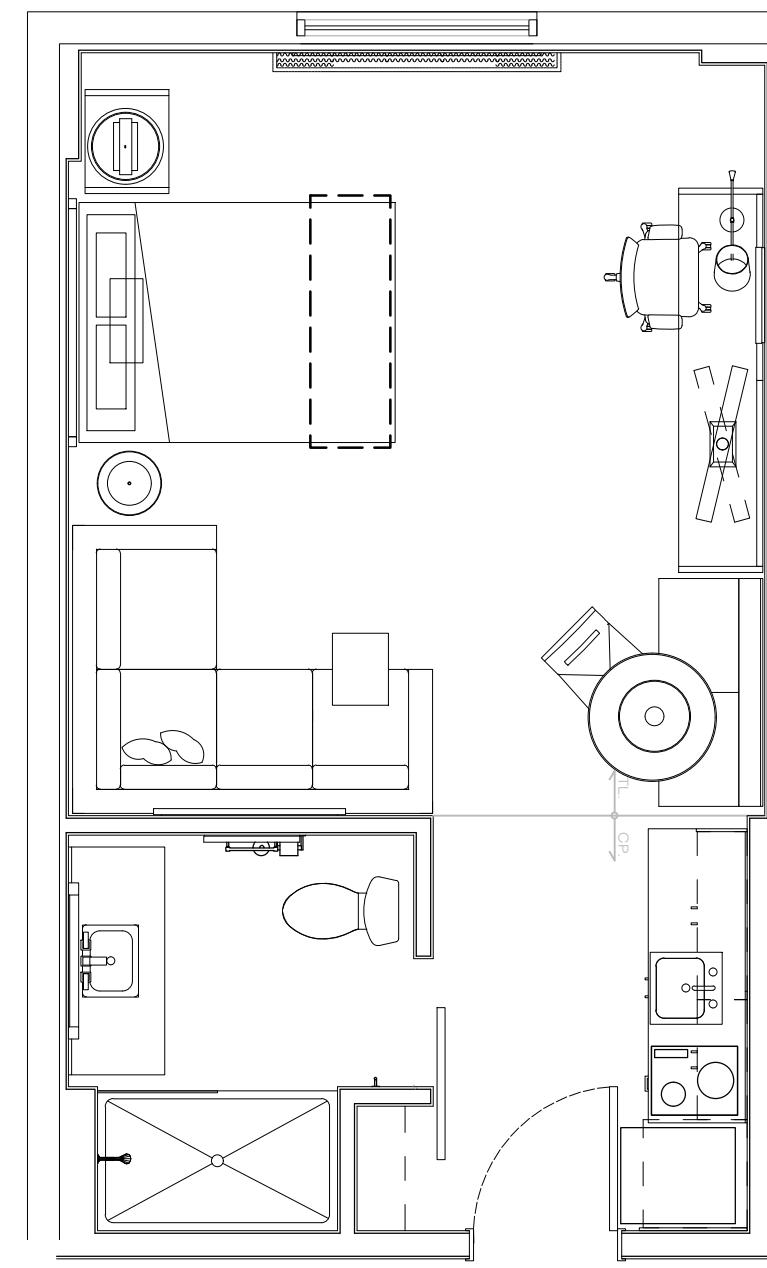
A-501





1 UNIT FLOOR PLAN

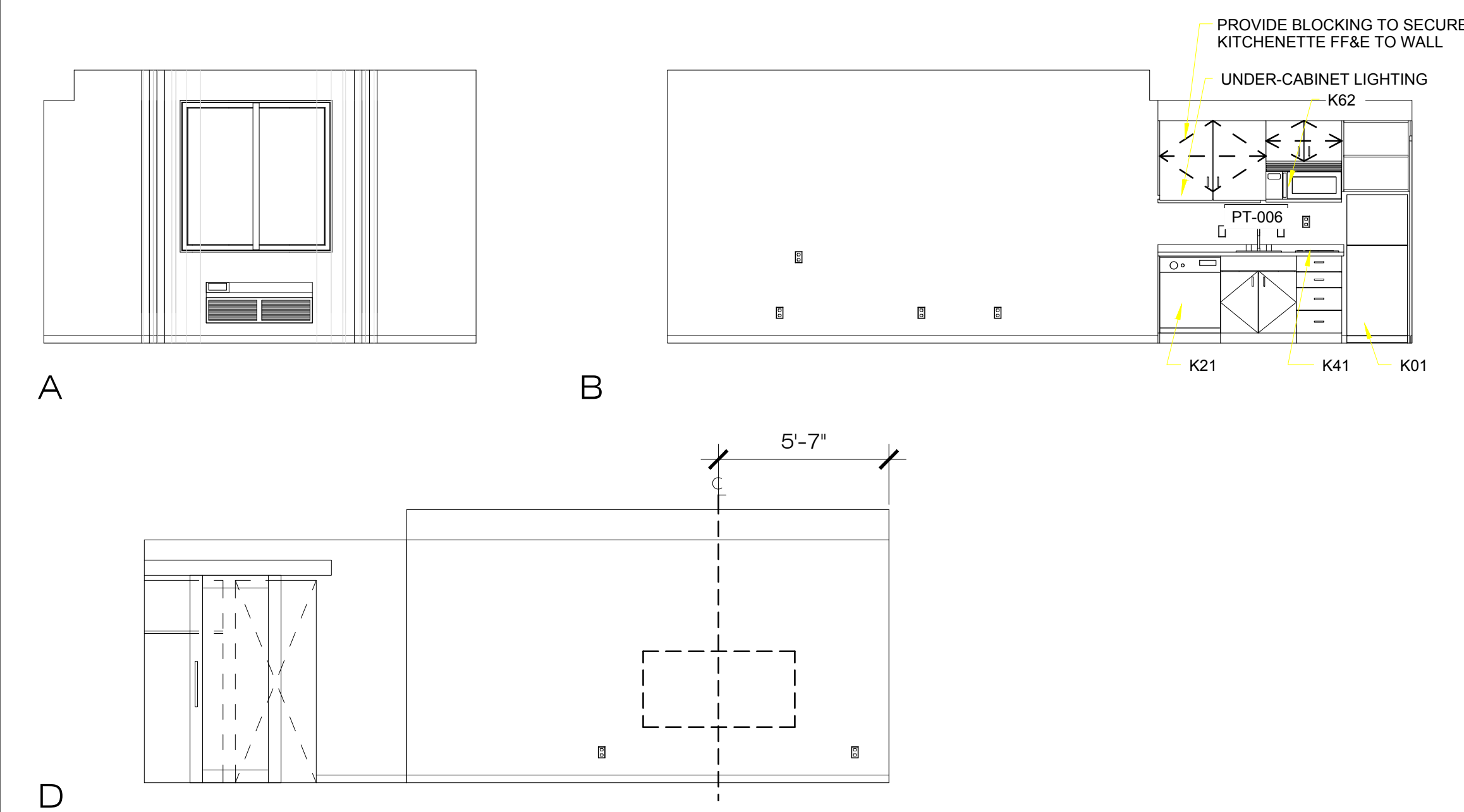
3 ELECTRICAL PLAN



2 FF&E PLAN

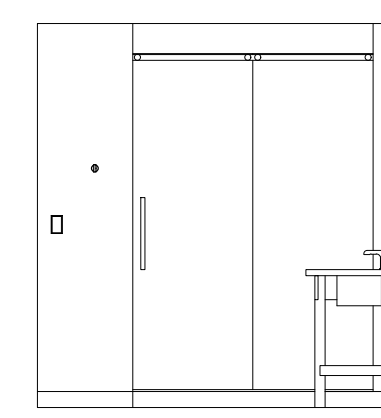
SCALE : 1/4" = 1'-0"

4 REFLECTED CEILING PLAN

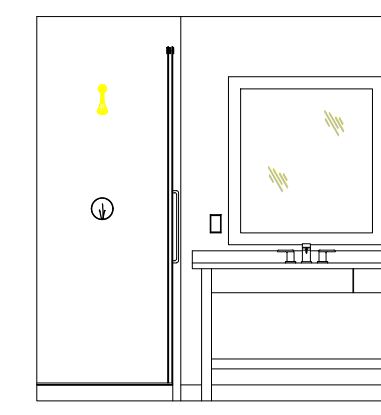


5 ELEVATIONS

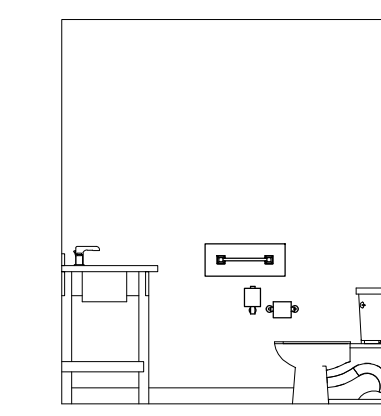
SCALE : 1/4" = 1'-0"



G



F



E

SCALE : 1/4" = 1'-0"

6 ELEVATIONS - BATH

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX.
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL. OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL. OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- XXX XXX FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- O CEILING MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR
- 3 WAY LIGHT SWITCH
- LIGHT SWITCH
- RECEPTACLE
- GFI RECEPTACLE
- DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ANY AND ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ANY AND ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED. ANY AND ALL DIMENSIONS TO BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL, FLORIDA  
ASPA SET 01.14.2015

**MF Architects**  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**CAN**

SHEET TITLE:  
ENLARGED (KS)  
KING STUDIO

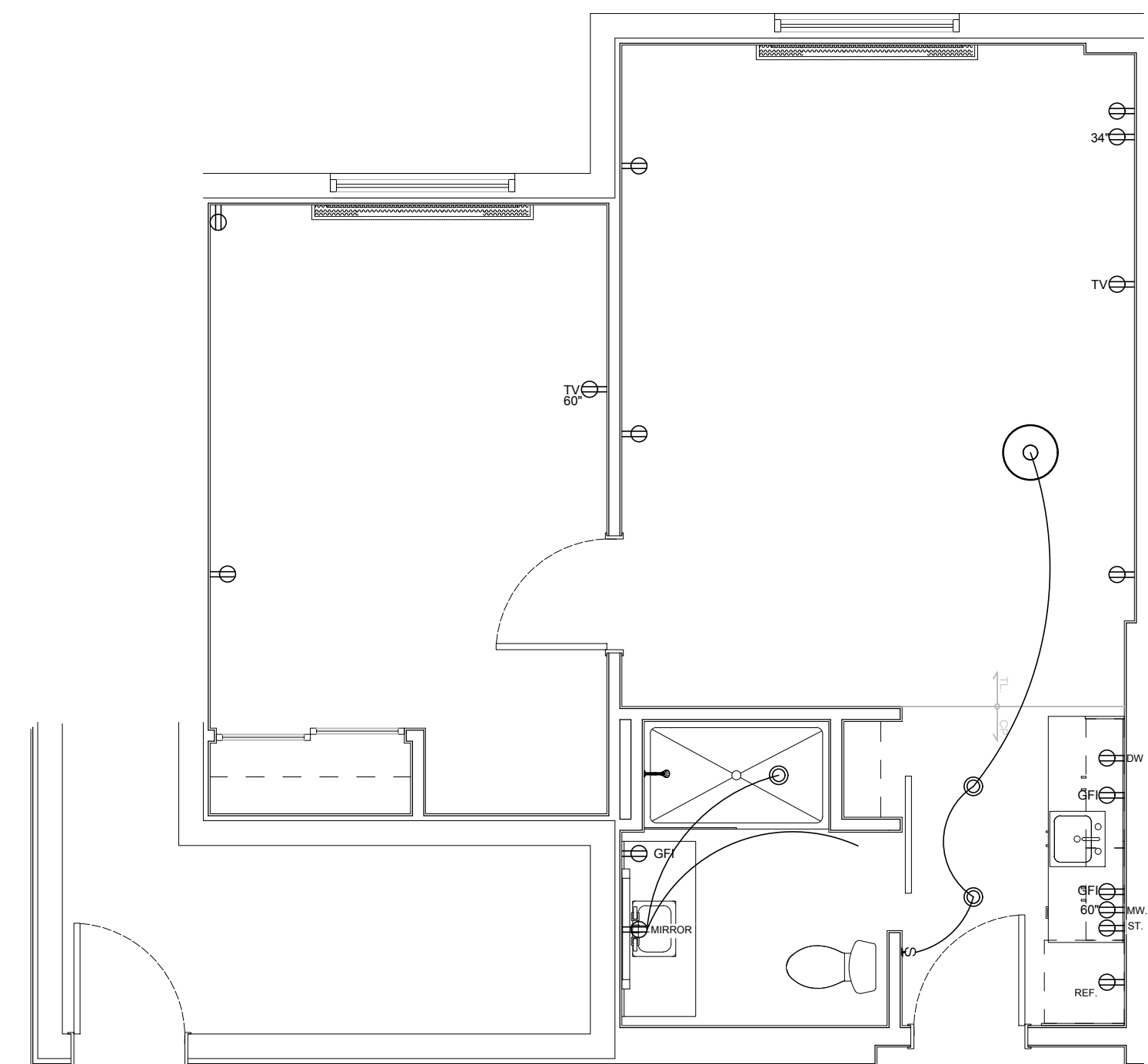
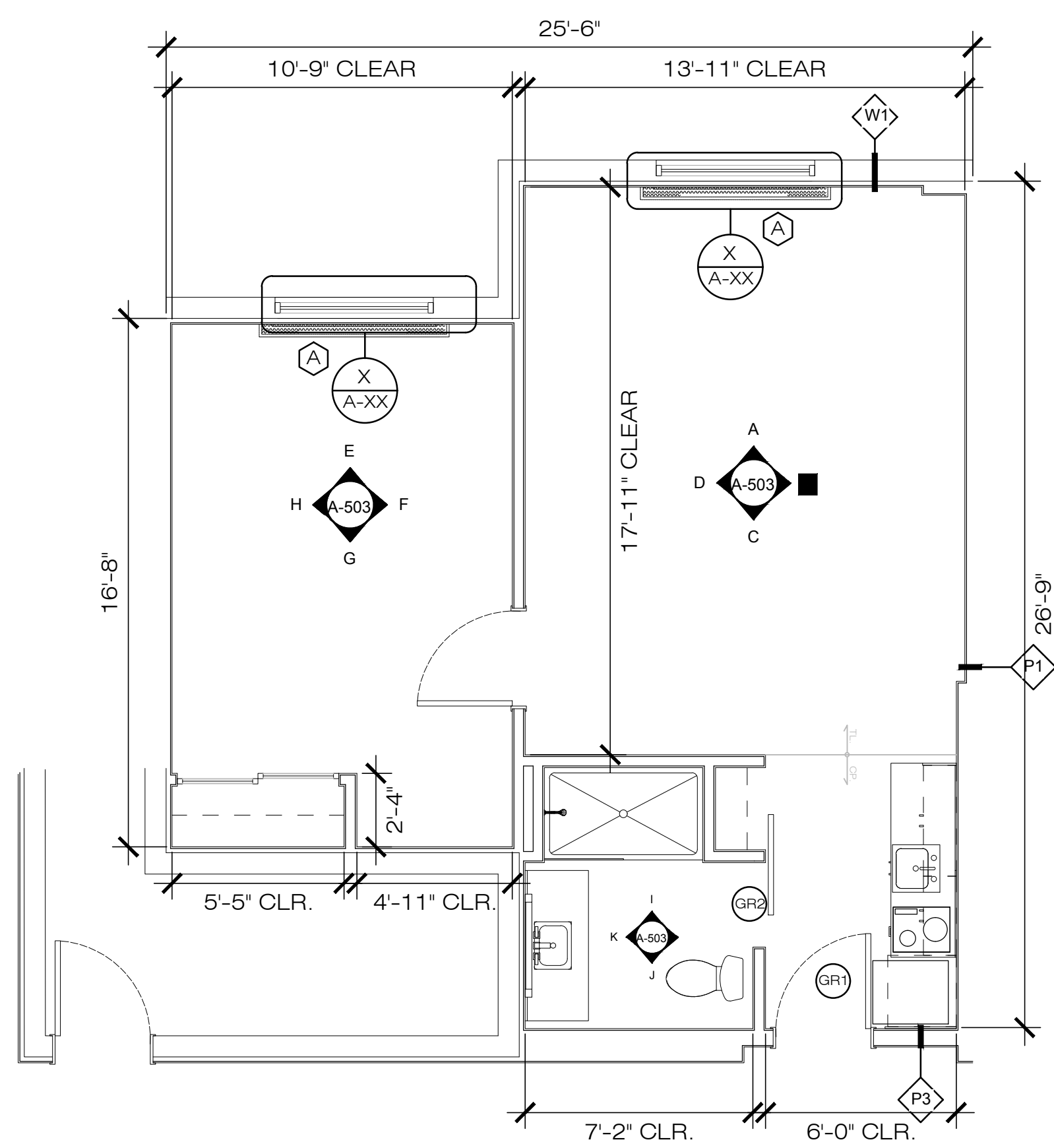
DATE:  
01.18.2016

SEAL:

ARCH. LICENSE  
AR 0011733

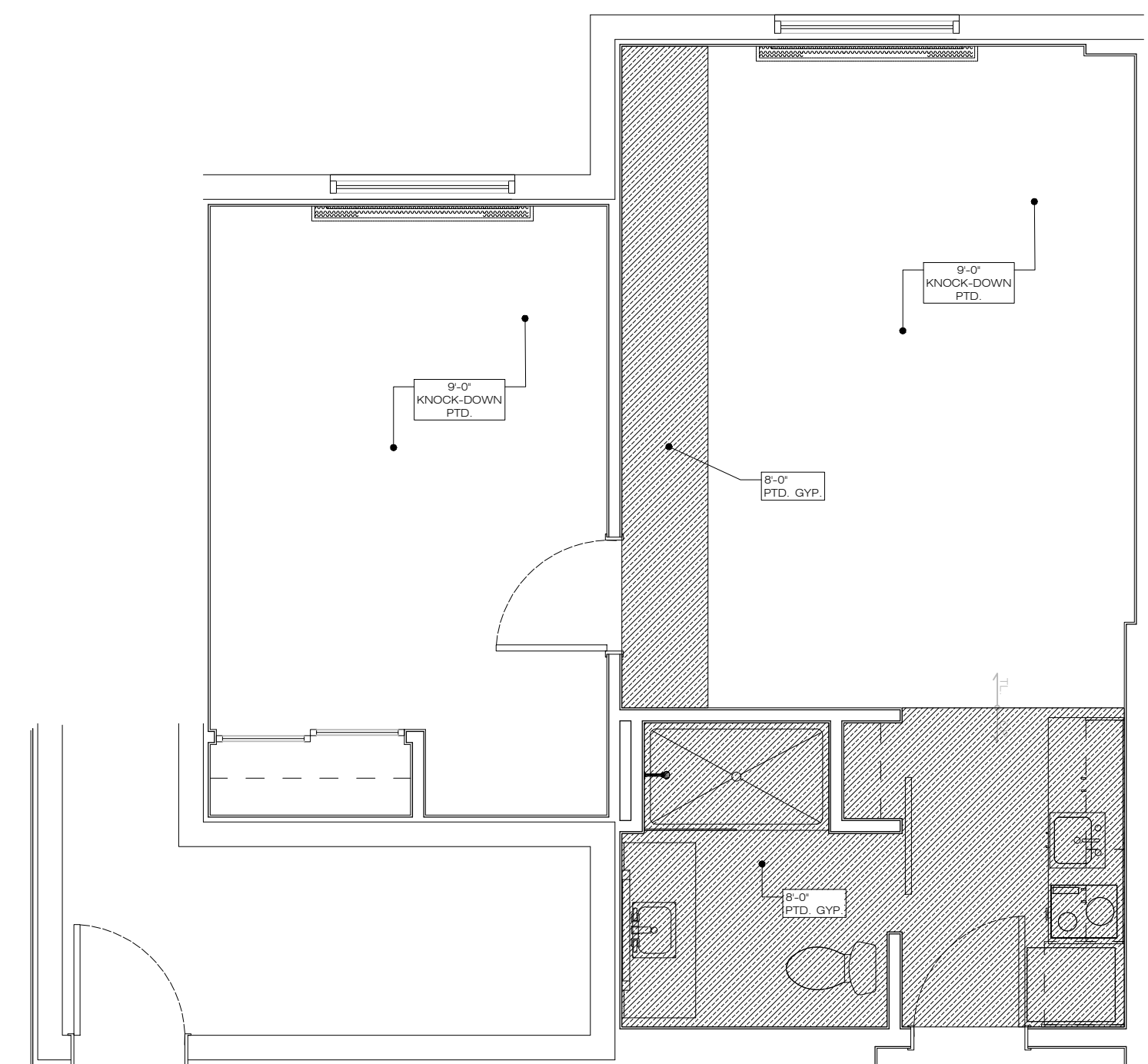
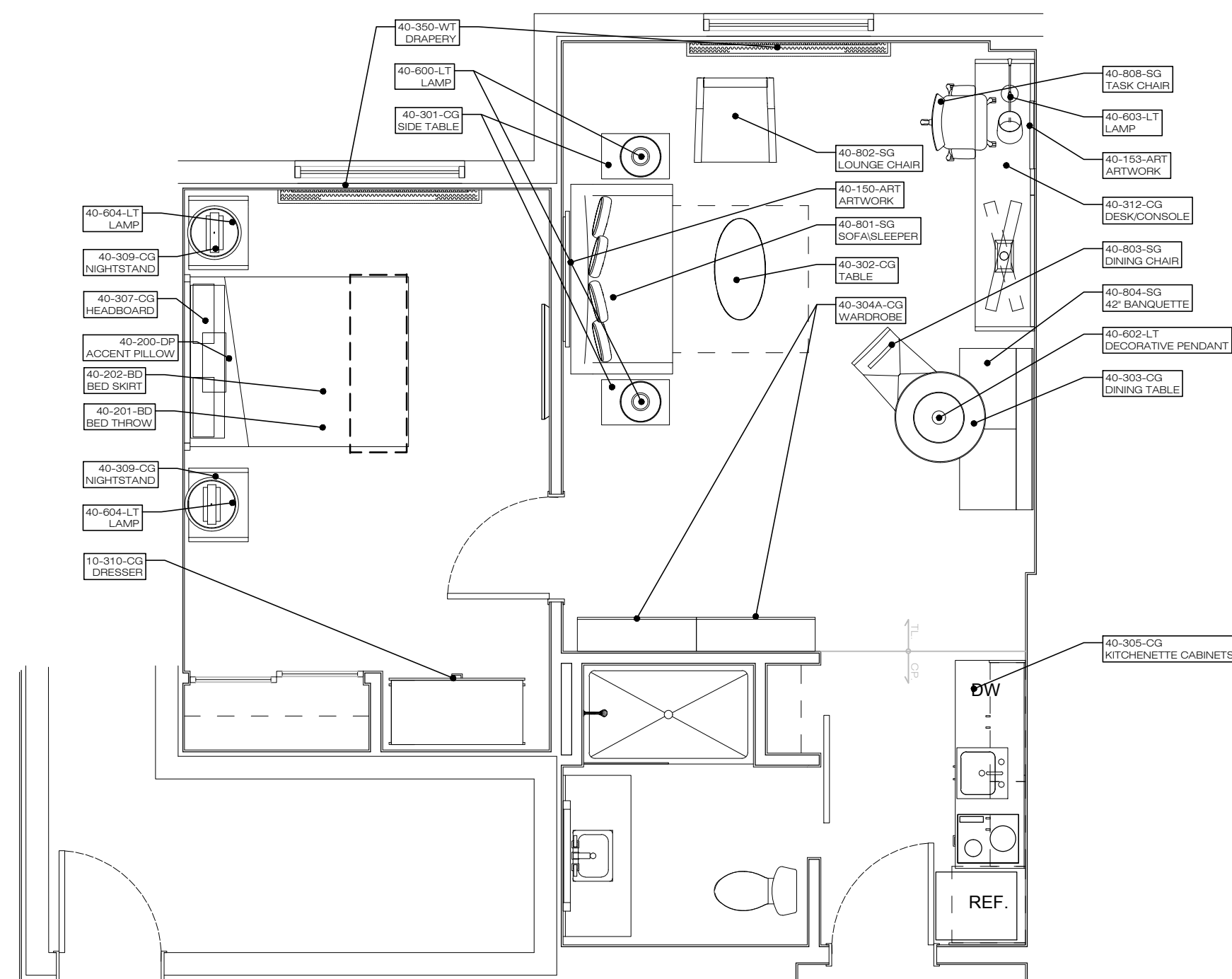
**A-502**





1 UNIT FLOOR PLAN

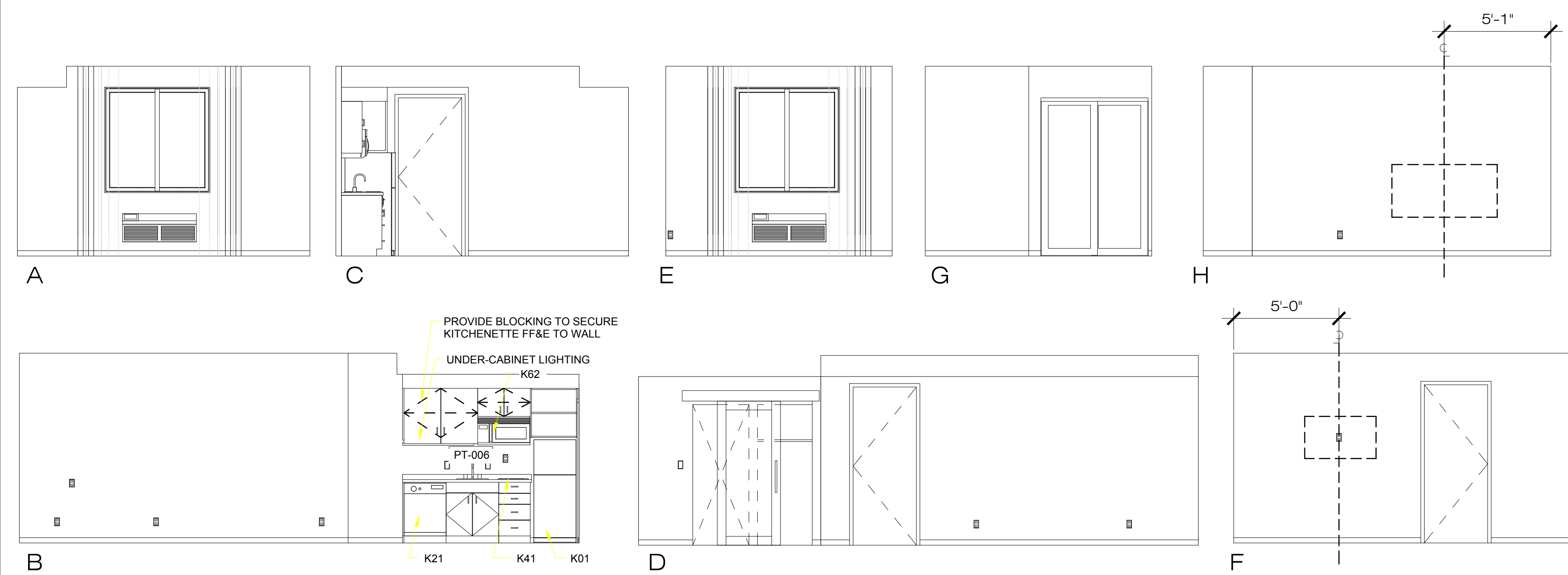
3 ELECTRICAL PLAN



2 FF&E PLAN

SCALE : 1/4" = 1'-0"

4 REFLECTED CEILING PLAN

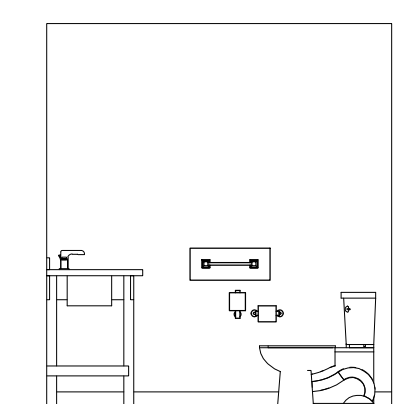


5 ELEVATIONS

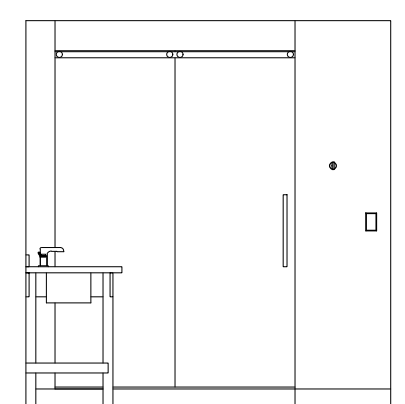
SCALE : 1/4" = 1'-0"



K



J



I

SCALE : 1/4" = 1'-0"

6 ELEVATIONS - BATH

7 GENERAL NOTES

- REFER TO SHEET A-510 FOR INTERIOR FINISH SCHEDULE.
- REFER TO SPECIFICATIONS FOR FINISH INDEX
- REFER TO SHEET A-050 FOR PARTITION ASSEMBLY TYPES.
- ELECTRICAL OUTLETS TO BE MOUNTED AT STANDARD HEIGHT OF 18" TO CL OF BOX FROM FINISHED FLOOR ELEVATION.
- USE PROVIDED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE PROVIDED AS CLEAR DIMENSIONS AND DIMENSIONS TO CL OF WALL ASSEMBLIES. REFER TO SHEET A-050 FOR WALL ASSEMBLY DETAILS AND DIMENSIONS.
- ALL FLOOR PLAN LAYOUTS HAVE A MIRRORRED VERSION (RIGHT OR LEFT).
- FOR ACCESSORY SCHEDULE, REFER TO SPECIFICATIONS SECTION 10-28-00.
- WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS. REFER TO SHEET A-052 FOR BACK TO BACK CONDITION DETAIL.
- "CLEAR" DIMENSIONS ARE TYPICAL TO ALL ROOM TYPES.
- SEE SHEET A-XXX FOR FLOOR TRANSITION DETAILS.
- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.

8 CRITERIA NOTES

- FF&E PROCUREMENT COMPANY TO PROVIDE DETAILS AND LOCATIONS FOR BLOCKING.
- START WITH FULL TILE WHERE SHOWN.
- MASTER LIGHT SWITCH WITH SIGNAGE TO CONTROL ALL HARDWIRED LIGHTING IN GUESTROOM, WITH THE EXCEPTION OF THE BATHROOM.
- IRONING BOARD.
- FAN / LIGHT COMBINATION TO BE PROVIDED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR DETAIL.
- SET COOKTOP WITH CONTROLS AWAY FROM REFRIGERATOR.
- PROVIDE GFI RECEPTACLES AT ALL REQUIRED LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS.
- DEDICATED CIRCUIT FOR DISHWASHER.
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- FIRE HORN IN STANDARD ROOMS, FIRE HORN/STROBE IN ACCESSIBLE ROOMS.
- EXTEND J-BOX, DEVICE & OVER PLATE FLUSH WITH MILLWORK BACK PANEL.
- WIRELESS INTERNET IS REQUIRED IN ALL GUESTROOMS - AN ADDITIONAL WALL DATA OUTLET TO BE PROVIDED AT THE DESK AS NEEDED.

9 SYMBOL LEGEND

- (X) WINDOW MARK
- (O) DOOR MARK
- (X) WALL TYPE - SEE SHEET A-050
- (XXX) FF&E MARK - REFER TO BRAND STANDARDS MANUAL.
- (O) CEILING MOUNTED LIGHT FIXTURE
- (O) RECESSED LIGHT FIXTURE
- (3 way) 3 WAY LIGHT SWITCH W/ OCCUPANCY SENSOR.
- (3 way) 3 WAY LIGHT SWITCH
- (S) LIGHT SWITCH
- (R) RECEPTACLE
- (GFI) GFI RECEPTACLE
- (X) DESIGN CRITERIA MARK

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.



HAWTHORN SUITES BY WYNDHAM  
 3500 NW 78TH AVE, DORAL, FLORIDA  
 ASPA SET 01.14.2015

MF Architects  
 Marcelo A. Moino, AIA  
 15552 SW 15th Street  
 Weston, FL 33326  
 (786) 299-9408

DRAWN BY:  
 CAN

SHEET TITLE:  
 ENLARGED (10S)  
 SINGLE QUEEN SUITE

DATE:  
 01.18.2016  
 SEAL:

ARCH. LICENSE  
 AR 0011733

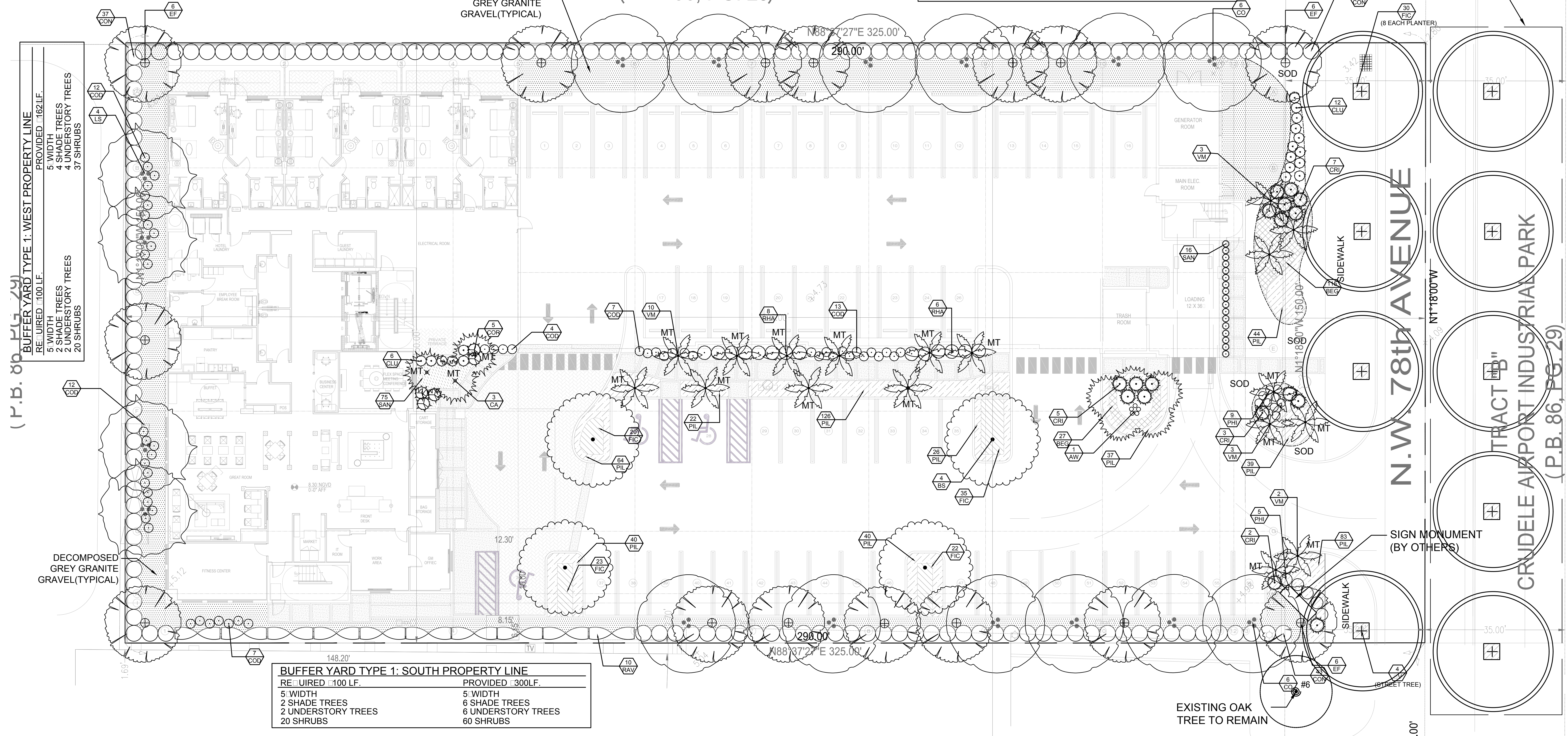
A-503



TRACT "A"  
CRUDELE AIRPORT INDUSTRIAL PARK  
( P.B. 86, PG. 29)

BUFFER YARD TYPE 1: NORTH PROPERTY LINE	
REQUIRED 100 LF.	PROVIDED 300LF.
5 WIDTH	5 WIDTH
2 SHADE TREES	6 SHADE TREES
2 UNDERSTORY TREES	6 UNDERSTORY TREES
20 SHRUBS	60 SHRUBS

PROPOSED TREES FOR STREETSCAPE  
ON EAST PROPERTY NOT PART OF  
THIS SUBMITTAL



BUFFER YARD TYPE 1: SOUTH PROPERTY LINE	
REQUIRED 100 LF.	PROVIDED 300LF.
5 WIDTH	5 WIDTH
2 SHADE TREES	6 SHADE TREES
2 UNDERSTORY TREES	6 UNDERSTORY TREES
20 SHRUBS	60 SHRUBS

BUFFER YARD TYPE 1: WEST PROPERTY LINE	
REQUIRED 100 LF.	PROVIDED 162LF.
5 WIDTH	5 WIDTH
2 SHADE TREES	4 SHADE TREES
2 UNDERSTORY TREES	4 UNDERSTORY TREES
20 SHRUBS	37 SHRUBS

**1 SITE PLAN**

SITE DATA:  
GROSS LOT AREA: 48,750.0427 SF  
1.119 ACRES  
SITE ADDRESS: 3500 NW 78TH AVE  
LEGAL DESCRIPTION: CRUDELE AIRPORT INDUSTRIAL PARK  
PB 86-29 N150' OF S385' OF TRACT A  
OR 14691-2502 0690 1

ZONING DATA:  
SITE DISTRICT: VILLAGE SUB-DISTRICT  
DENSITY: (75 GR / ACRE)  
BUILDING COVERAGE: 75 X GLA  
MAXIMUM HEIGHT: 50' R-O-W  
OPEN SPACE: 10% OF GLA  
SETBACKS:  
FRONT: 0' - 10'-0"  
SIDE: 10'-0"  
REAR: 0'  
FAR:  
GRFUND FLOOR @ 75: 36,562 SF  
2ND FLOOR @ 5: 24,375 SF  
3RD FLOOR @ 5: 24,375 SF  
4TH FLOOR @ 5: 24,375 SF  
TOTAL: 109,687 SF  
PARKING: (LODGING)  
1) 1 SPACE FOR THE FIRST 40 UNITS  
2) 1 SPACE FOR EVERY 2 UNITS THEREAFTER  
3) 1 SPACE FOR EVERY 4 EMPLOYEES  
4) PARKING REDUCTION - 70% OF REQUIRED  
TOTAL SPACES: 44 SPACES

**LANDSCAPE LEGEND** (This information is required to be permanently affixed to the plans.)  
Zoning District: 1 (Village Sub District) Net Lot Area: 1.119 acres 48,750 square feet

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = <u>48,750</u> square feet x <u>10</u> % = <u>48750</u> square feet	4,875	11,684
B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces <u>30</u> x 10 square feet per parking space =	300	300
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	5,175	11,984

**LAWN AREA CALCULATION**

A. Total square feet of landscaped open space required by Chapter 33 =	4,875
B. Maximum lawn area (St Augustine sod) permitted = <u>20</u> % x <u>4,875</u> square feet =	975

**TREES**

A. The number of trees required per net lot acre less the existing number of trees that meet minimum requirements = <u>15</u> trees x net lot acreage (minus existing trees)	17	36
B. 30% palm trees allowed (two palms = one tree) Palms provided =	5	25 (equal 13 trees)
C. Percentage of native trees required = the number of trees provided x 30% =	5	40
D. Street trees (max. average spacing of 35' o.c.): <u>127</u> linear feet along street, 35 = Palms as street trees (max. average spacing 25' o.c.): <u>4</u> linear feet along street, 25 =	4	4
E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.): <u>4</u> linear feet along street, 25 =	N/A	N/A
F. Total number of trees provided =	N/A	53

**SHRUBS**

A. The Total number of trees required x 10 = the number of shrubs required	170	296
B. The number of shrubs required x 30% = the number of native shrubs required	51	155

**IRRIGATION PLAN:** Required by Chapter 33. Auto Irrigation X or hose bib        provided.

**LEGEND:**  
MT □ MITIGATION TREE

**NOTE:**  
A NEW AUTOMATIC IRRIGATION SYSTEM PLAN WILL BE PREPARED TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. SYSTEM WILL MEET MINIMUM LOCAL CODE REQUIREMENTS.

SCALE : 3/32 = 1'-0"

**2 ZONING DATA**

REVISIONS	DATE
AS PER COMMENTS	3.13.16
AS PER COMMENTS	4.13.16



HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL FLORIDA

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
AP

SHEET TITLE:  
PLANTING AND TREE  
DISPOSITION PLAN

DATE:  
04.13.2016

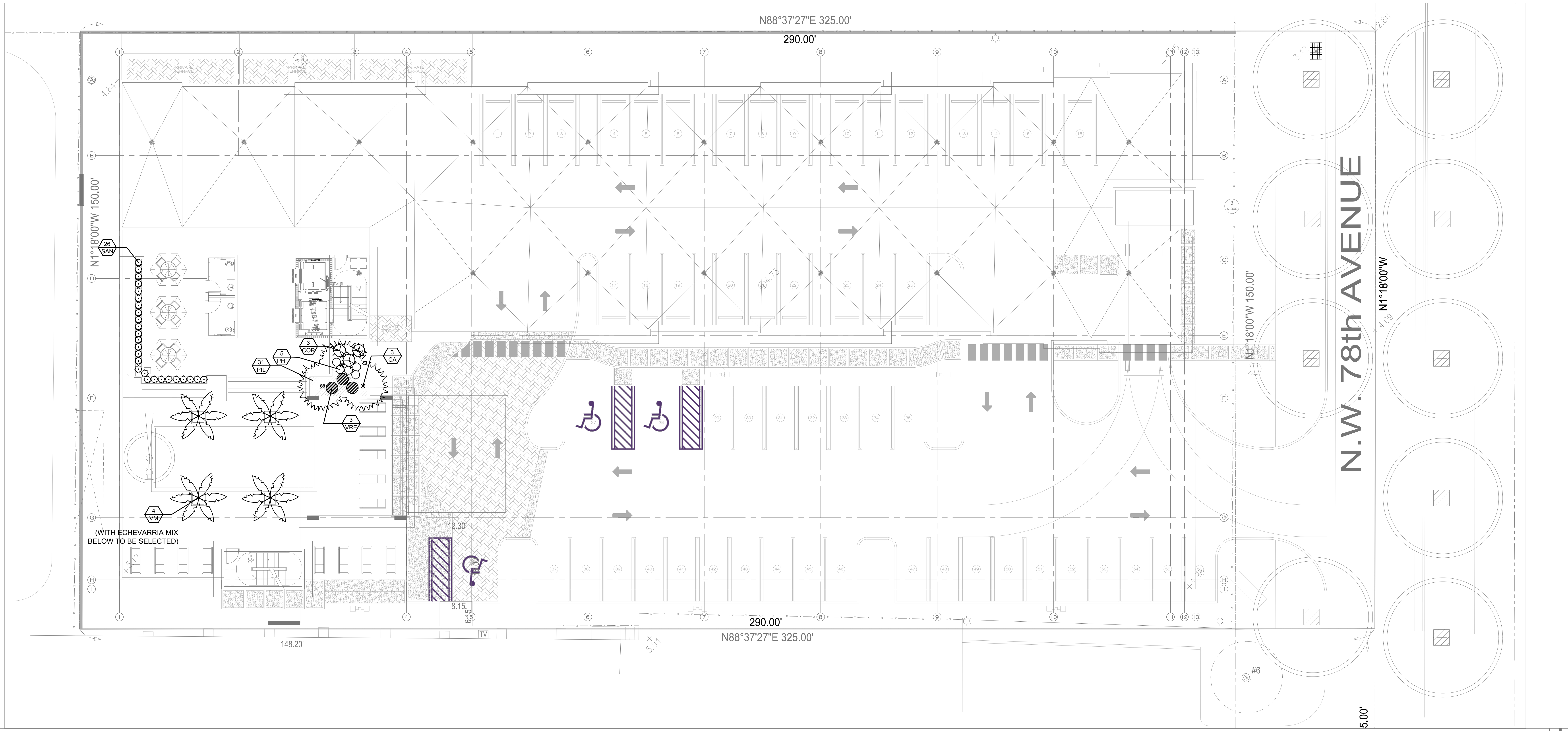
SEAL:



ARCH. LICENSE:  
AR001733

L-1





SCALE : 3/32 = 1'-0"

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE TIME OF PRODUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND SHALL DETERMINE THE LOCATION OF ANY AND ALL UTILITIES TO BE MAINTAINED OR MOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES TO BE MAINTAINED OR MOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES TO BE MAINTAINED OR MOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES TO BE MAINTAINED OR MOVED.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL FLORIDA

**MF Architects**  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**AP**

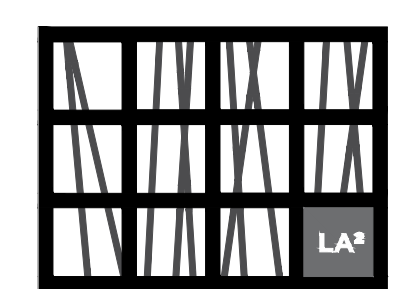
SHEET TITLE:  
AMENITY LEVEL  
PLANTING PLAN

DATE:  
04.13.2016

SEAL:

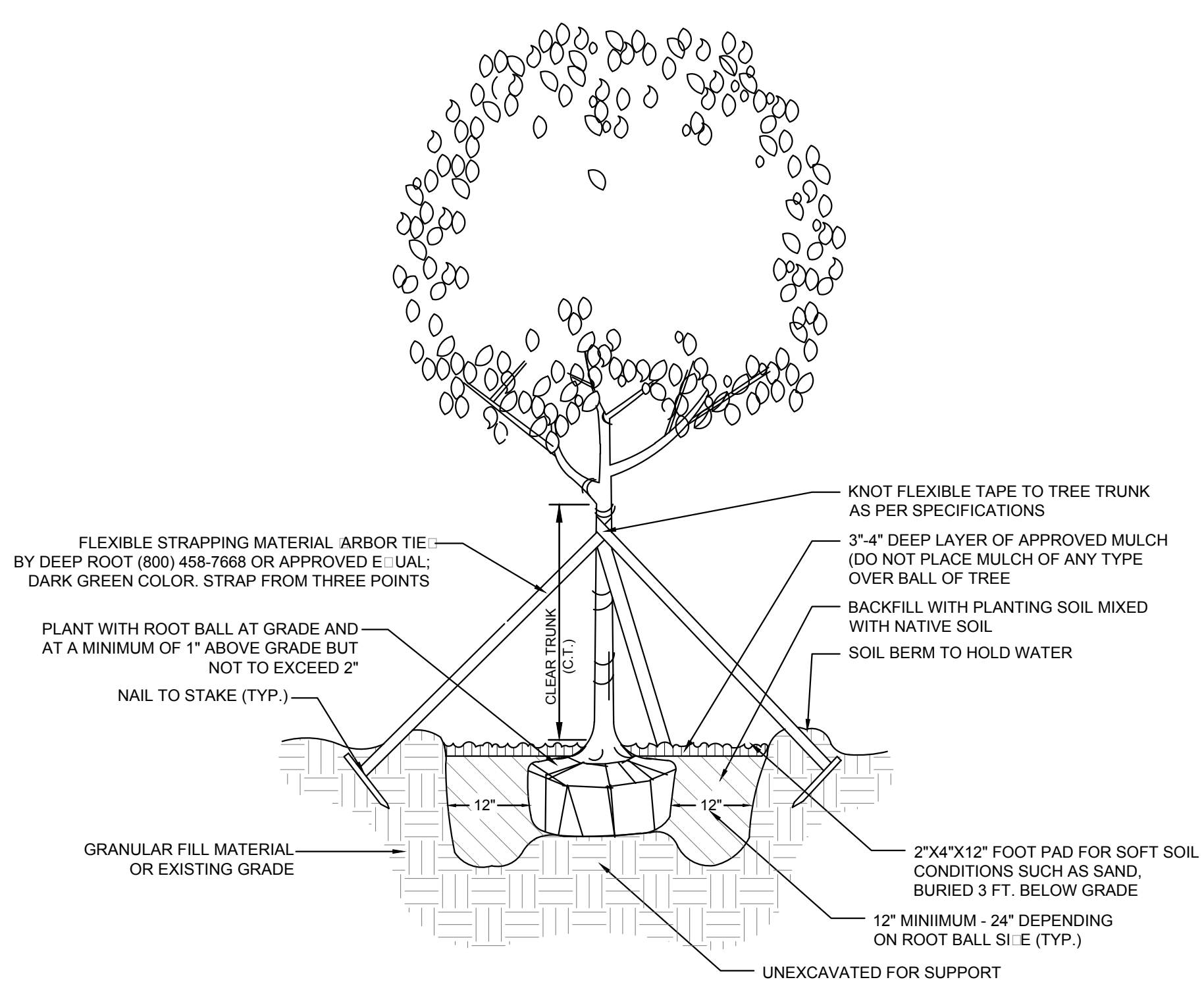
ARCH. LICENSE:  
AR 0011733

**L-2**



**LEWIS AQUÍ**  
LANDSCAPE ARCHITECTURAL DESIGN, LLC  
7408 B SW 48<sup>th</sup> STREET  
MIAMI, FL 33195  
PHONE: (305) 661-1855  
FAX: (305) 661-1865



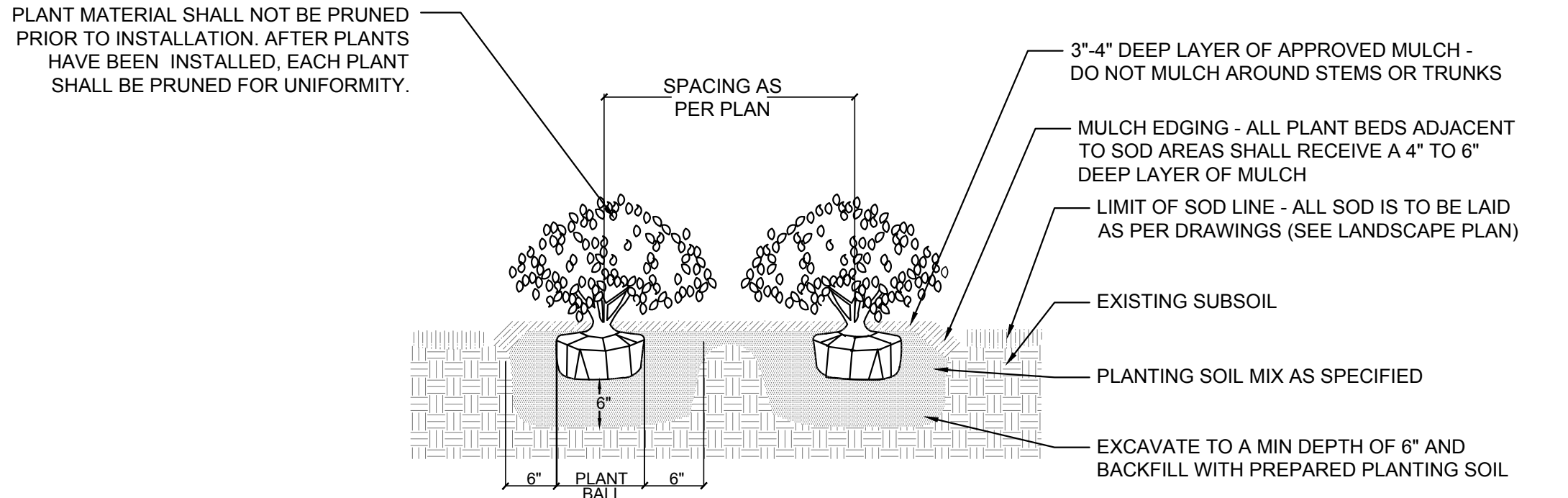
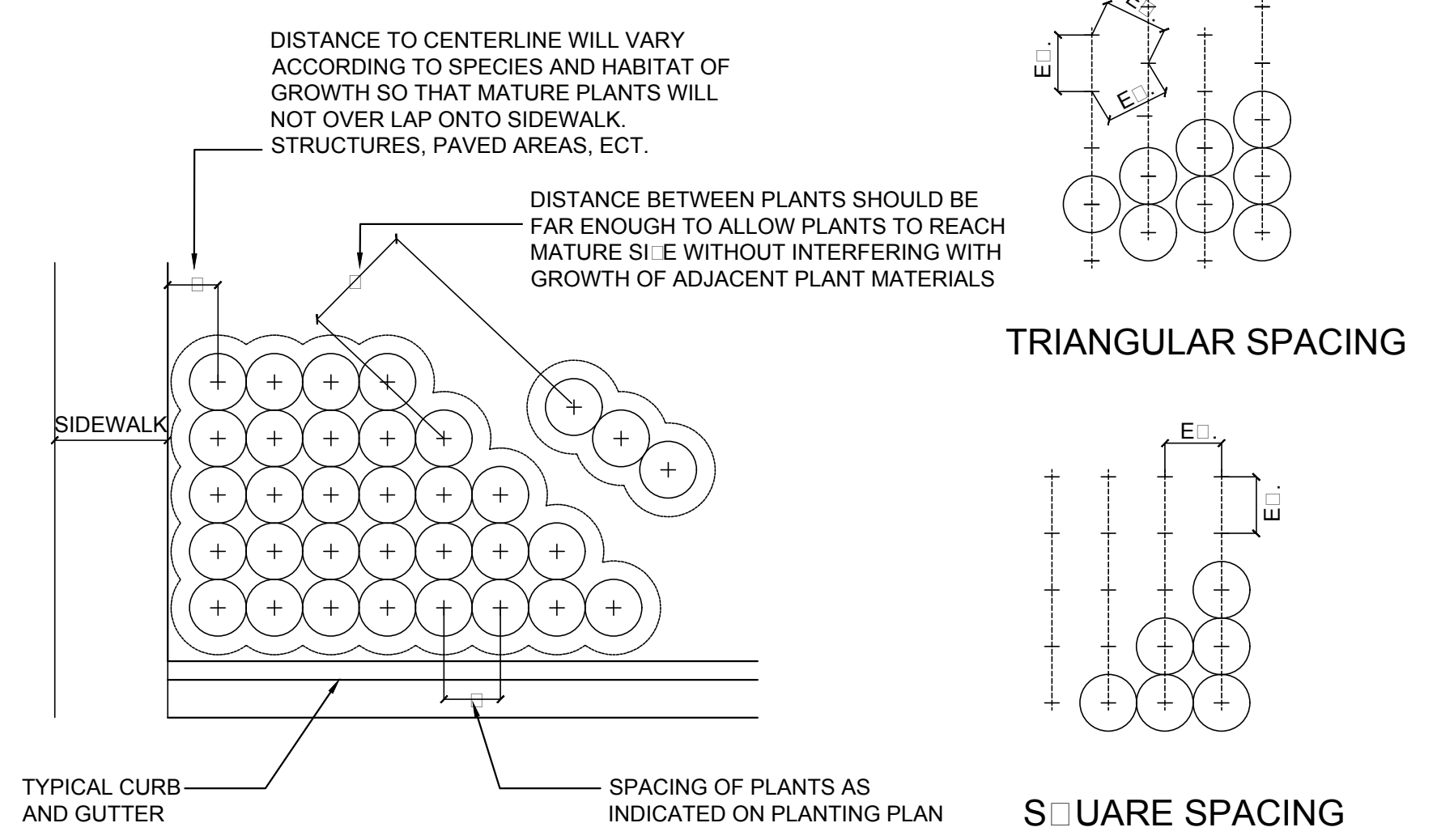
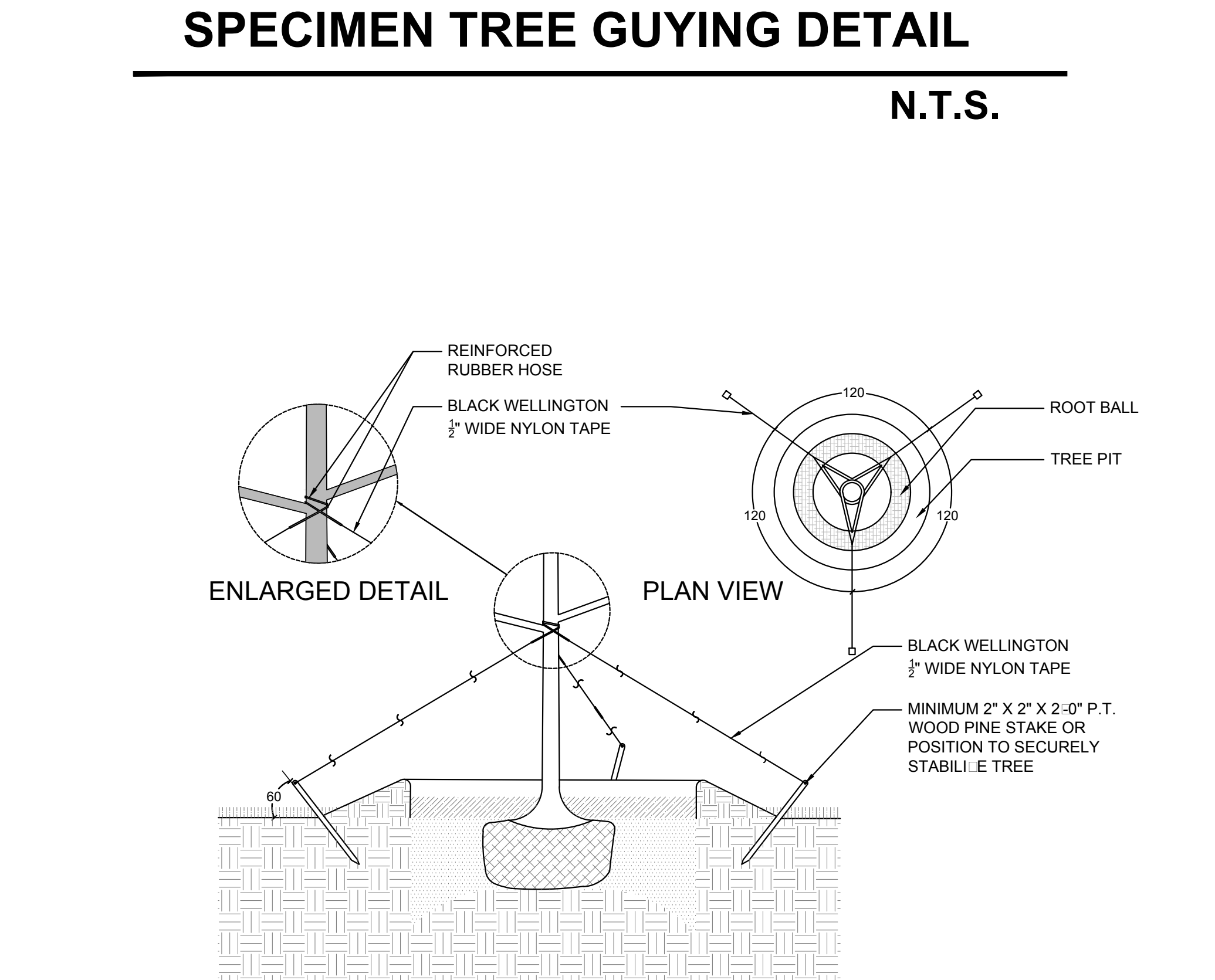
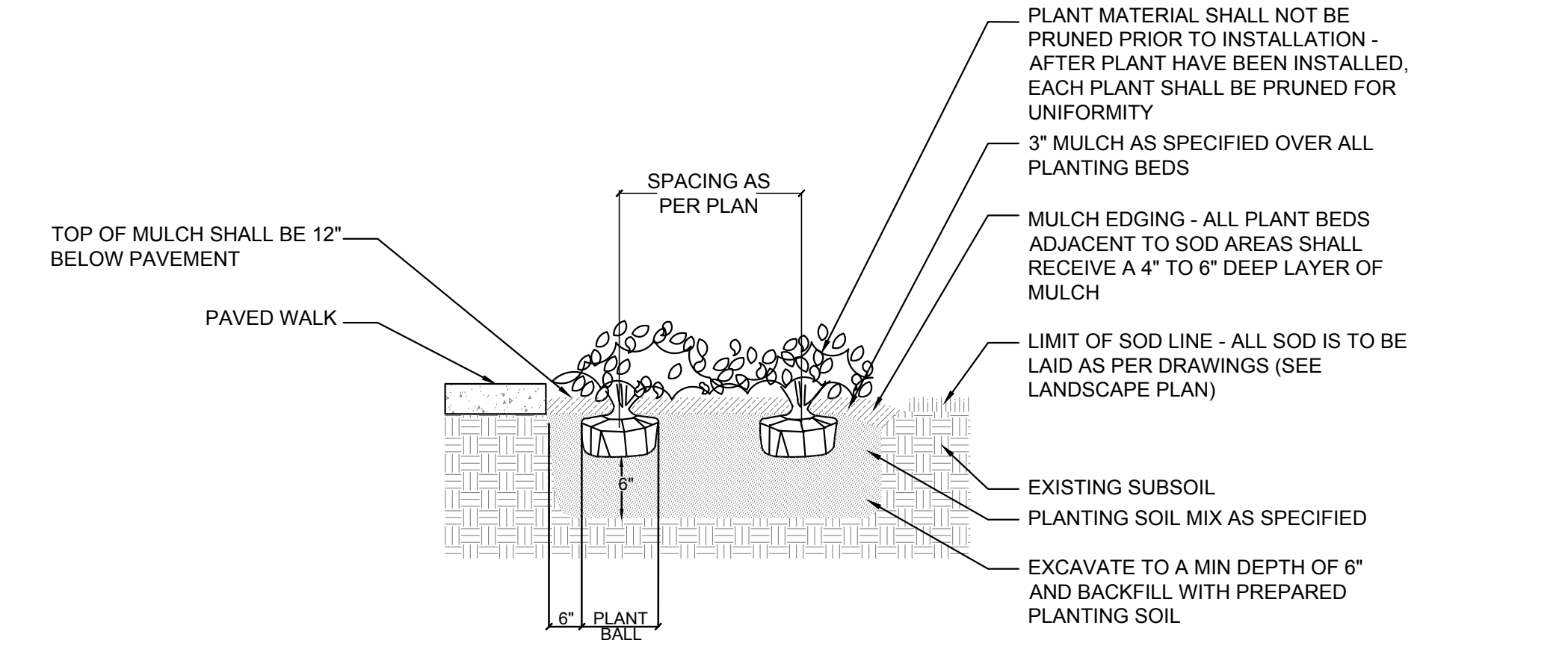
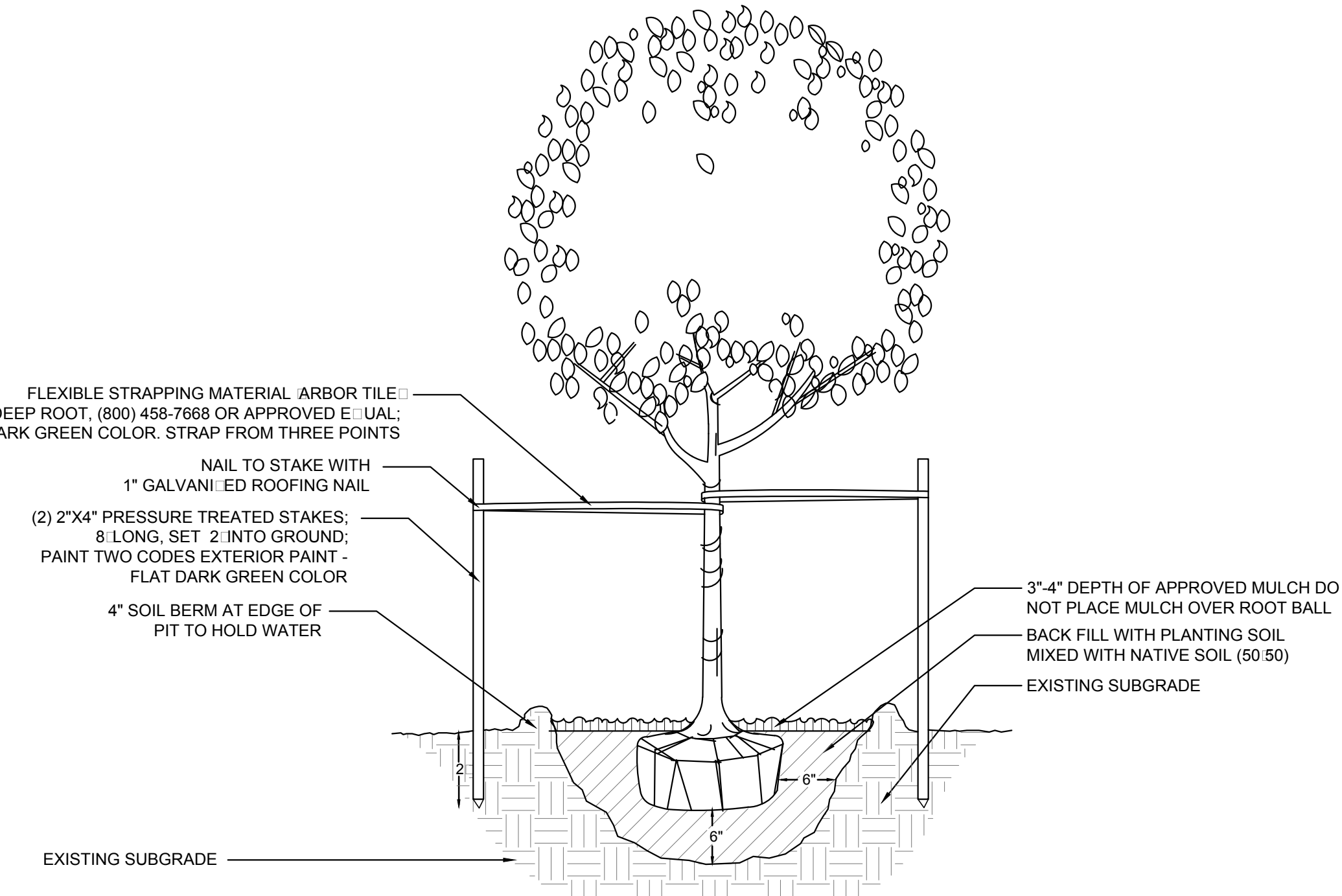
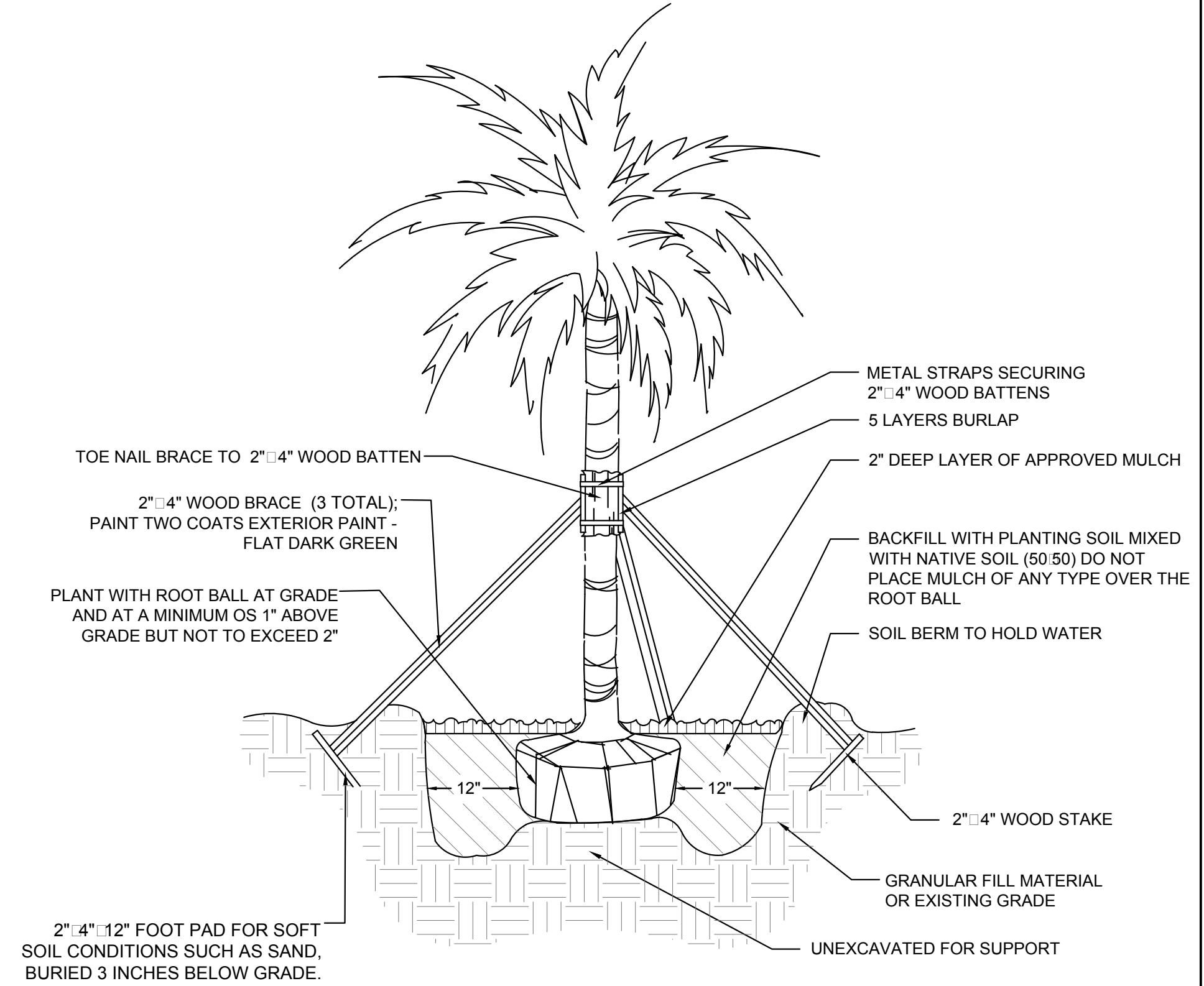


**PALMS AND TREES LIST**

TREES AND PALMS		NEW / EXISTING	QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED HT. / SPECS	CALIPER INSTALLED (DBH)	HEIGHT AT MATURITY	CANOPY DIAMETER AT MATURITY	NATIVE
NEW	1	AW			<i>Acroterhaphis wrightii</i>	Paurotis Palm	F.G. 18" OA. HGT.	3"-4"	35'	25'	YES
NEW	4	BS			<i>Bursera simaruba</i>	Gumbo Limbo	14'-16' OA HT. Single Leader	4"	30'	30'	YES
NEW	6	CA			<i>Coccothrinax argentata</i>	Florida Silver Thatch Palm	Single 5'-7' HT min 6' leaf count	6"	15'-20'	10'	YES
NEW	12	CO			<i>Chrysophyllum oliviforme</i>	Satin Leaf Tree	10'-12' OA HT. Single Leader	4"	25'	15'-20'	YES
NEW	16	EF			<i>Eugenia foetida</i>	Spanish Stopper	14'-16' OA HT. Single Leader	4"	30'	15'-20'	YES
NEW	4	LS			<i>Lysiloma sabicu</i>	Wild Tamarind	12'-14' OA HT	2 1/2"	30'	25'	NO
NEW	4	QV			<i>Quercus virginiana</i>	Live Oak	20'-22' OA HT. Single Leader. 7'CT min	6"	30'	20'	YES
NEW	22	VM			<i>Vetitchi montgomeryana</i>	Montgomery Palm	16'-18' OA HT. 7' CT Min. Staggered Min Leaf count 5-root ball 9" match	4"	30'	15'	NO

**SHRUBS AND GROUND COVER**

NEW / EXISTING	QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED HT. / SPECS	CALIPER INSTALLED (DBH)	HEIGHT AT MATURITY	CANOPY DIAMETER AT MATURITY	NATIVE
NEW	143	BEG	<i>Begonia "Joe Hayden"</i>	Begonia "Joe Hayden"	3 GAL. / FULL 24" O.C.	N/A	18"-24"	N/A	NO
NEW	51	COD	<i>Codiaeum variegatum</i>	Croton "Mammy"	7 GAL. / FULL	N/A	5'	N/A	NO
NEW	159	CON	<i>Conocarpus erectus</i>	Green Buttonwood	25 gal. bush full 6'-8' HT	N/A	keep @ 8' HT hedge	N/A	YES
NEW	8	COR	<i>Cordyline terminalis spp</i>	Black Magic	15 gal. 4'-5' HT Full	N/A	5'-6'	N/A	NO
NEW	17	CRI	<i>Crinum augustum</i>	"Queen Emma Supreme"	15 GAL. FULL 4' HT	N/A	5'	N/A	NO
NEW	110	FIC	<i>Ficus microcarpa "Green Island"</i>	Green Island Ficus	9 or more perfect leaves 3 GAL. / 18" O.C.	N/A	18"	N/A	NO
NEW	19	PHI	<i>Philodendron "Rojo Congo"</i>	Philodendron "Rojo Congo"	7 GAL	N/A	30"	N/A	NO
NEW	552	PIL	<i>Pilea microphylla "Stoptlight"</i>	Artillery Fern "Stoptlight"	3 gal. @ 18" o.c.	N/A	18"	N/A	NO
NEW	10	RAV	<i>Ravenala madagascariensis</i>	Traveler Palm	15 GAL. / FULL	N/A	20"	N/A	NO
NEW	14	RHA	<i>Rhapis excelsa</i>	Rhapis Palm	7 GAL. / 4'W	N/A	5'	N/A	NO
NEW	117	SAN	<i>Sansevieria trifasciata</i>	Sansevieria "Laurentii" Silver Only	SILVER ONLY / 3 GAL	N/A	24"-30"	N/A	NO
NEW	3	VRE	<i>Vreisia imperialis</i>	Vreisia imperialis	7 gal 16" x 30" spr red only	N/A	36"	N/A	NO
NEW	18	CLU	<i>Clusia guttifera</i>	Small Leaf Clusia	15 Gal. 4'-5' HT Full to Base	N/A	keep @ 6' HT Hedge	N/A	YES



REVISIONS

NO.	DATE	DESCRIPTION



HAWTHORN SUITES BY WYNDHAM  
3500 NW 78TH AVE, DORAL FLORIDA

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY: AP

SHEET TITLE: PLANTING DETAILS

DATE: 04.13.2016

SEAL:

ARCH. LICENSE: AR 001733

L-3





LANDSCAPE SPECIFICATIONS

1.00 GENERAL

1.01 The Contractor is reminded that the General Conditions and/or Special Conditions of this contract govern the work of this section of the Specifications whether attached hereto or not. Subcontractors undertaking to perform work under this Section shall be made fully aware of these documents and of their responsibilities and obligations thereunder. In the event of any discrepancies between the drawings and specifications and the following Scope of Work, the latter shall prevail.

2.00 SCOPE OF WORK

2.01 The work of this Section shall include all labor, materials, equipment, appliances, and accessories necessary for the complete performance of all excavation, grading, planting and backfill work in accordance with these Specifications and the Contract Drawing. Without restricting the generality of the foregoing, the items listed below and similar items shown on the Contract Drawings shall constitute the work of this Section:

- A. Finish grading and final site preparation of all areas to be landscaped.
- B. Furnishing and incorporating fertilizer and other soil amendments.
- C. Furnishing plant materials and grass materials and installing same.
- D. Furnishing and placing Planting Material and other miscellaneous items to complete the work.
- E. Replacement of unsatisfactory plant material.
- F. Clean-up.

3.00 SITE PREPARATION and SITE SITEWARDHIP FOR SUSTAINABLE SITES

3.01 The Contractor shall provide finish grading and final preparation of all areas to be landscaped to within 6" of finish grade. This will require raking and pulverizing of all areas in order to crumble dirt, clods and/or debris. The Landscape Contractor shall be responsible for finish grading, which is the top 6" of the site.

3.02 The Contractor must perform the following preventative measures for erosion controls during construction:

- Stockpile and Protect disturbed Topsoil from erosion;
  - Control the path and velocity of runoff with silt fencing or equivalent;
  - Protect sewer inlets, streams, and lakes with straw bales or silt fencing;
  - Provide swales to divert surface water from hillsides, use tiers, erosion blankets, compost blankets, etc. on sloped areas.
- 3.03 Contractor must minimize disturbed area of site where site is not previously developed by following tree plant protection plan and enforcing No Disturbance Zones quarantined by use of Construction tape or Fencing. When site is previously developed, Contractor must enforce Tree Plant protection Plan and use Hay bales, silt fencing, etc. for erosion controls.

3.04 All Landscaping must be 24" from finish wall of structures for pest control measures.

4.00 MATERIALS

4.01 Plant materials shall be furnished by the Landscape Contractor and as indicated on the plans. All plant materials shall meet or exceed the following standards.

- A. Plant species and sizes shall conform with plant list. Nomenclature shall conform to Standardized plant names, in accordance with the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- B. All plants shall be nursery grown or as stipulated herein and shall comply with all required inspections, grading standards and plant regulations as set forth in the Florida Department of Agriculture Grades and Standards for Nursery Plants, including revisions. Ensure that plant materials are shipped with tags stating the botanical and common name of the plant.
- C. The minimum grade for all trees, palms, shrubs, and groundcovers shall be Florida No. 1 and shall meet or exceed the size and quality standards of the American Association of Nursery Stock, sponsored by the American Association of Nurserymen, latest addition, unless otherwise indicated and all plants shall be sound, healthy and vigorous, well-branched and densely foliated when in leaf. They shall have healthy, well developed root systems and shall be free of disease and insect pests, eggs or larvae. Florida Fancy material shall be provided where plant list specifies specimen.
- D. The determining measurements for trees shall be the height and spread, and shall be measured from the top of the plant to the root crown, not to include the immediate terminal growth. Their width shall be measured across the normal spread of the branches. Both measurements shall be made with the plants in their normal position.
- E. Plants larger in size than those specified may be used with approval of the Landscape Architect. If the use of the larger plants is approved, the ball of earth or spread of roots shall be increased proportionately.
- F. Container grown plants the same quality as balled and burlapped plants may be substituted in lieu thereof. Plants grown in containers shall be delivered and remain in the containers in a shady location until planted. Plants in containers shall be watered prior to transportation and shall be kept moist until planted. The container must be removed prior to planting, with care as not to injure the roots.
- G. Grass materials shall consist of the following:
  - 1. Sod: Solid sod shall be as indicated on the drawings. Sod must be strongly rooted and free of pernicious weeds. Mow to a height not to exceed 1 1/2" before lifting. Lifts shall have a uniform thickness of 1 inch to 1 1/2 inches. Sod containing nutgrass, lippia water sedge, dollar weed, or other common turfweed species (if applicable), will not be accepted.
  - 2. Sodding installation :
    - a) Sodding shall be done as soon as practical following finish grading. Ground shall be covered with a 4" blanket of soil using specified 60/40 top soil mixture where necessary to create a 4" soil blanket. The day before sod installation, the contractor shall rake 50# Milorganite per 1000 sf of area to receive sod. Ground shall be leveled with the back of a rake and sod laid with joints closely butted so that no voids are visible, keeping surface of sod flush with the adjoining seeded areas and/or pavements. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Hand tamp to ensure contact with subgrade, and water thoroughly with a fine spray immediately after laying.

- b) After sod is in place, it shall be top dressed with sufficient sharp, clean 60/40 sand/muck soil mixture to fill all voids remaining and thoroughly watered to wash the top dressing into the sodded surface.
- c) All sod areas shall then be rolled using a vibrating 1500 sod roller. The contractor shall apply a preemergent herbicide to all sodded areas.
- d) It is the Landscape Contractor's responsibility to keep new sod properly watered until completion of the contract. All watering shall meet specifications according to Grades and Standards Section 983.

H. Substitutions in plant species or size will be made only with prior written permission of the Landscape Architect.

I. If, in the opinion of the Landscape Architect, materials and/or work do not conform with the plans and specifications, it may be rejected and upon rejection, must be removed immediately from the site by the Contractor and replaced.

J. The Contractor shall be responsible for the certification and inspection of plant material that may be required by local, state, or federal authorities and shall bear the cost of the same, if any.

4.02 Materials used to install the job shall meet or exceed the following standards:

- A. Planting soil mixture to be used for 4" soil blankets and backfilling around trees shall be: similar to the existing soil in PH, texture, permeability and other characteristics. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavement.
- B. Fertilizers: Fertilizer shall be delivered mixed as specified in standard bags, sealed, and showing weight by analysis and name of manufacturer. Fertilizer shall be stored in weatherproof storage and in such a manner that its effectiveness will not be impaired.
- C. Mulch: Mulch shall be shredded melaleuca, Grade B, clean, bright, and free of weeds, moss, sticks, and other debris. Install at 3" deep.
- D. Water: All water required for the execution of the work shall be supplied at the site by the Owner.

5.00 INSTALLATION

5.01 The Planting operations used to install the job shall meet or exceed the following standards:

A. Excavation of Plant Pits: Plant pit excavations shall be roughly cylindrical in shape, with their side approximately vertical. Pit shall be excavated so that bottom of pit is same depth as root ball. Plants shall be centered in the hole, with the trunk location as shown in the plans. Holes for balled and burlapped plants shall be large enough to allow 12" minimum (depending on root ball size) of back fill around the sides of the root ball, and 12" of back fill beneath the root ball. In all cases the diameter of the plant hole shall be twice the diameter of the root ball. Where excess material has been excavated from the plant hole, the excavated material may be used to backfill to the proper level. Minimum existing excavated material in 50:50 ratio with new planting soil mixture. The Contractor, in excavation for plantings shall take care not to damage underground utilities or other sub-surface obstructions, and shall be held liable for their repair, if damaged.

B. Setting Plants: All trees shall be set so, that when settled, the top of the root ball will be flush with the surrounding area of the finish grade or slightly above finish grade. Each plant shall be planted in planting soil mixture in the center of the pit. Shrubs shall be set flush with the surrounding finish grade of the planting area. The back fill shall be made with prepared planting in mixture as specified herein and shall be firmly rodded and watered, so that no air-pockets remain. The quantity of water applied immediately upon planting shall be sufficient to thoroughly moisten all of the backfilled earth. Plants shall be kept in a moistened condition the duration of the planting.

C. Staking and Guying: All trees shall be staked or guyed as shown in the details and according to the following specifications.

- 1. Use wide plastic, rubber or other flexible strapping materials to support the tree to stakes or ground anchors that will give as the tree moves in any direction up to 30 degrees. Use strapping material Arbor Tie by Deep Root (800) 458-7668 dark green color, or approved equal. Do not use rope or wire through a hose. Use guy chords, hose or any other thin bracing or anchorage material which has a minimum 12" / 300 mm length of high visibility flagging tape secured to guys, midway between the tree and stakes for safety.
- 2. Stake trees larger than 1" / 25 mm diameter and smaller than 2" / 50 mm diameter with a 2" by 2" / 50 by 50 mm stake, set at least 2 / 0.6 m in ground and extending to the crown of the plant. Firmly fasten the plant to the stake with flexible strapping materials as noted above.
- 3. TREES OF 2 TO 3 1/2" / 50 MM TO 90 MM CALIPER: Stake all trees, other than palm trees, larger than 2" / 50 mm caliper and smaller than 3 1/2" / 90 mm caliper with two 2" by 4" / 50 by 100 mm stakes, 8 / 2.4 m long, set 2 / 0.6 m in the ground. Place the tree midway between the stakes and hold it firmly in place by flexible strapping materials as noted above.

4.LARGE TREES: Guy all trees, other than palm trees, larger than 3 1/2" / 90 mm caliper, from at least three points, with flexible strapping materials as noted above. Anchor flexible strapping to 2" by 4" by 24" / 50 by 100 by 600 mm stakes, driven into the ground such that the top of the stake is at least 3" / 75 mm below the finished ground.

5.SPECIAL REQUIREMENTS FOR PALM TREES: Brace palms which are to be staked with three 2" by 4" / 50 by 100 mm wood braces, toe-nailed to cleats which are securely banded at two points to the palm, at a point one third the height of the trunk. Pad the trunk with fiber layers of burlap under the cleats. Place braces approximately 120 degrees apart and secure them underground by 2" by 4" by 12" / 50 by 100 by 300 mm stake pads. Paint wood flat dark green exterior paint, two coats.

6.TREE PROTECTION AND ROOT BARRIERS: Install tree barriers when called for in the Contract Documents or by the Landscape Architect to protect existing trees from damage during project construction. Place barricades at the drip line of the tree foliage or as far from the base of the tree trunk as possible. Barricades shall be able to withstand bumps by heavy equipment and trucks. Maintain barricades in good condition. When called for in the Contract Documents, install root barriers or fabrics in accordance with the details shown.

D. Pruning: All broken or damaged roots or branches shall be cut smoothly and the tops of all trees shall be pruned in a manner complying with standard horticultural practice. At the time pruning is completed, all remaining wood shall be alive.

E. Mulching: Within one week after planting, mulch material, consisting of shredded Eucalyptus or Pinebark shall be uniformly applied to a minimum loose thickness of 2 inches, over the entire area of the backfilled hole or bed. The mulch shall be maintained continuously in place until the time of final inspection, and must be a minimum of 2 inches thick to be accepted. Mulch shall not be placed against stems or trunks.

F.Fertilizing: Feeding of all trees and specimen shrubs shall be done with slow release, Woodace Briquettes, 17 gram, tablet fertilizer, analysis 14-3-3, as per manufacturers instructions. Fertilizing shall not occur until after flush of new growth.

6.00 MAINTENANCE

- 6.01 Maintenance shall include watering, weeding, mowing, fertilizing, treating, mulching, trimming, removal or replacement of dead or diseased plants and removal of refuse and debris on a regular basis so as to continue a healthy growing condition and present a neat and well-kept appearance at all times.
- 6.02 Shade trees shall be maintained at a minimum canopy diameter of thirty (30) feet in accordance with the American National Standards Institute, A-300 standards or similar accepted standards as published.
- 6.03 A landscape sight triangle shall be provided and visibility maintained as per local code requirements.
- 6.04 Plant material which block visibility shall be removed by the property owner or maintained so as to allow clear visibility of oncoming traffic.(pending public works department approval)
- 6.05 Landscaping shall be inspected periodically by the department to insure proper maintenance. The owner, tenant or other agent shall be notified in writing, of any areas which are not being properly maintained and shall provide corrective action within thirty (30) calendar days from the time of notification.

7.00 GUARANTEE

7.01 The Landscape Contractor shall guarantee and maintain all new field grown trees for a period of one year, and all field grown palms for a period of one year. All containerized trees, palms, shrubs and groundcovers for a period of 90 days, and all sod for a period of 90 days. The Landscape Contractor shall replace at the direction of the Landscape Architect all trees, shrubs, or groundcovers deemed by the Landscape Architect to be unacceptable, due to death or damage; acts of God, Owner negligence and vandalism accepted.

7.02 New material used to replace material unacceptable to the Landscape Architect, shall be guaranteed for similar period from date of installation

8.00 FINAL INSPECTION AND ACCEPTANCE

8.01 The Landscape Contractor shall advise the Landscape Architect in writing at the end of the guarantee period that the project is ready for final inspection. Only upon notification to the Landscape Architect by the Landscape Contractor in writing and subsequent inspection attended by the Landscape Contractor shall the requirements of the guarantee be met.

9.00 CLEAN-UP

9.01 Upon completion of all work under this section, and intermittently as required, the Landscape Contractor shall clear the site of all debris, superfluous material and all equipment to the satisfaction of the Landscape Architect

10.00 **All plant material is subject to the specifications of Florida's Grades and Standards, Revised unless otherwise noted. Compliance with ANSI A300, part 5, 6 & 8 and other relevant ANSI A300 standards shall be adhered to in the strictest sense of the standard language. All work shall be in compliance with ANSI Z133.1 and other industry safety standards. Any questions or concerns regarding the specifications should be immediately addressed in writing to the landscape architect of record or the owner's representative. Without such questions or concerns it is assumed and accepted that the landscape contractor has a full and complete understanding of all standards which may affect the performance in the execution of these specifications. Landscape contractor is responsible for the selection of plant material that fits the grade specified in this document. The plant material shall be considered accepted by the landscape contractor at the exact time of installation.**

**All plant material shall be Grade #1 or better.**

**Landscape contractor shall perform his own quantity take off. Plan supersedes plant list.**

**Any discrepancy should be called to the attention of LA**

**No substitution on species on size or quantity can be made without approval from LA**

11.00 End



**LEWIS AQUÍ**  
LANDSCAPE + ARCHITECTURAL DESIGN, LLC  
7408 B SW 48<sup>th</sup> STREET  
MIAMI, FL 33155  
PHONE: (305) 661-1855  
FAX: (305) 661-1855

REVISIONS	DATE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT ALL TIMES BEFORE PROCEEDING WITH ANY WORK. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED.



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL FLORIDA

**MF Architects**  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
**AP**

SHEET TITLE:  
LANDSCAPE SPECIFICATIONS

DATE:  
04.13.2016

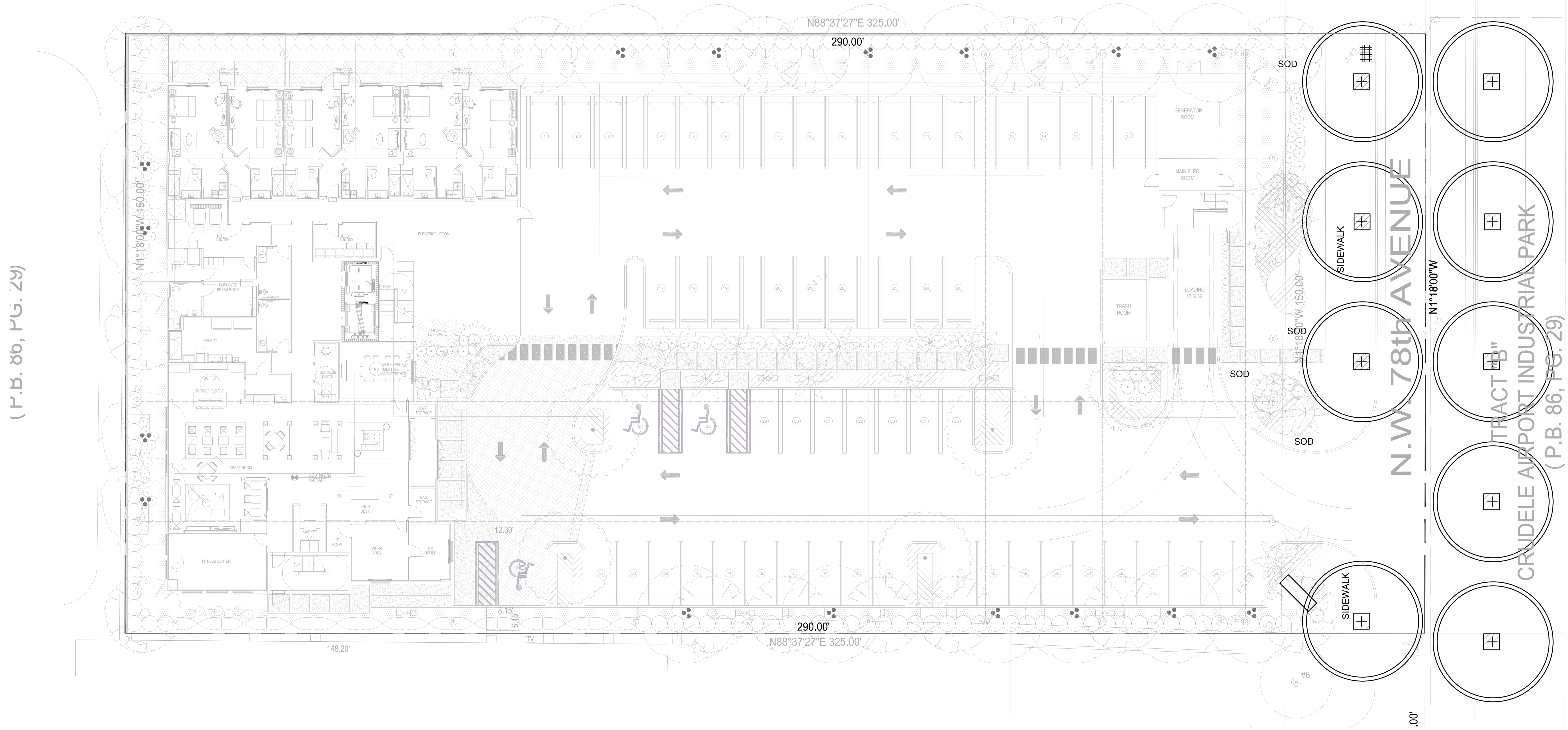
SEAL:

ARCH. LICENSE:  
AP001733

**L-4**



TRACT "A"  
CRUDELE AIRPORT INDUSTRIAL PARK  
( P.B. 86, PG. 29)



**1 SITE PLAN**

**SITE DATA:**  
GROSS LOT AREA: 48,750.0427 SF  
1.119 ACRES  
SITE ADDRESS: 3500 NW 78TH AVE  
LEGAL DESCRIPTION: CRUDELE AIRPORT INDUSTRIAL PARK  
PB 86-29 N150' OF S385' OF TRACT A  
OR 14691-2502 0690 1

**ZONING DATA:**

SITE DISTRICT: VILLAGE SUB-DISTRICT	REQUIRED	PROVIDED
DENSITY: (75 GR / ACRE)	83 GR	82 GR
BUILDING COVERAGE: 75 X GLA	36,562.531 SF	21,156.6456 SF
MAXIMUM HEIGHT:	50' R-O-W	49-10'
WIDTH OF R-O-W	50'	49-10'
OPEN SPACE: 10% OF GLA	4,875 SF	11,984 SF
<b>SETBACKS:</b>		
FRONT	0' - 10'-0"	10'-0" FROM EASEMENT
SIDE	0' - 10'-0"	10'-0"
REAR	0'	+- 10'-0"
<b>FAR:</b>		
GRFUND FLOOR @ .75	36,562 SF	21,156 SF
2ND FLOOR @ .5	24,375 SF	21,271 SF
3RD FLOOR @ .5	24,375 SF	21,095 SF
4TH FLOOR @ .5	24,375 SF	21,271 SF
TOTAL	109,687 SF	84,793 SF
<b>PARKING: (LODGING)</b>		
1) 1 SPACE FOR THE FIRST 40 UNITS	40 SPACES	
2) 1 SPACE FOR EVERY 2 UNITS THEREAFTER	21 SPACES	
3) 1 SPACE FOR EVERY 4 EMPLOYEES	1 SPACE	
4) PARKING REDUCTION - 70% OF REQUIRED	-18 SPACES	
TOTAL SPACES	44 SPACES	56 SPACES

**2 ZONING DATA**

**LEGEND**

SYMBOL	SPECIFICATION	TY.
▼	LOW VOLTAGE (12V) LED SOLID BRASS FIXTURE -ACCENT UPLIGHT -GROUND STAKE MOUNTED -7.5 WATTS	
▼	LOW VOLTAGE (12V) LED SOLID BRASS FIXTURE -ACCENT UPLIGHT -GROUND STAKE MOUNTED -4.5 WATTS	
○	LOW VOLTAGE (12V) LED SOLID BRASS FIXTURE -ACCENT PATH LIGHT -1 WATT	
▼	LOW VOLTAGE (12V) LED SOLID BRASS FIXTURE -ACCENT UPLIGHT -TREE MOUNTED -7.5 WATTS	

**NOTES**

- CIRCUITRY BY OTHERS
- FIXTURES TO BE SELECTED BY L.A. AND CLIENT

SCALE : 3/32 = 1'-0"



**REVISIONS**

NO.	DATE	DESCRIPTION



**HAWTHORN SUITES**  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL FLORIDA

**MF Architects**  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

**DRAWN BY:**  
AP

**SHEET TITLE:**  
LIGHTING PLAN

**DATE:**  
04.13.2016

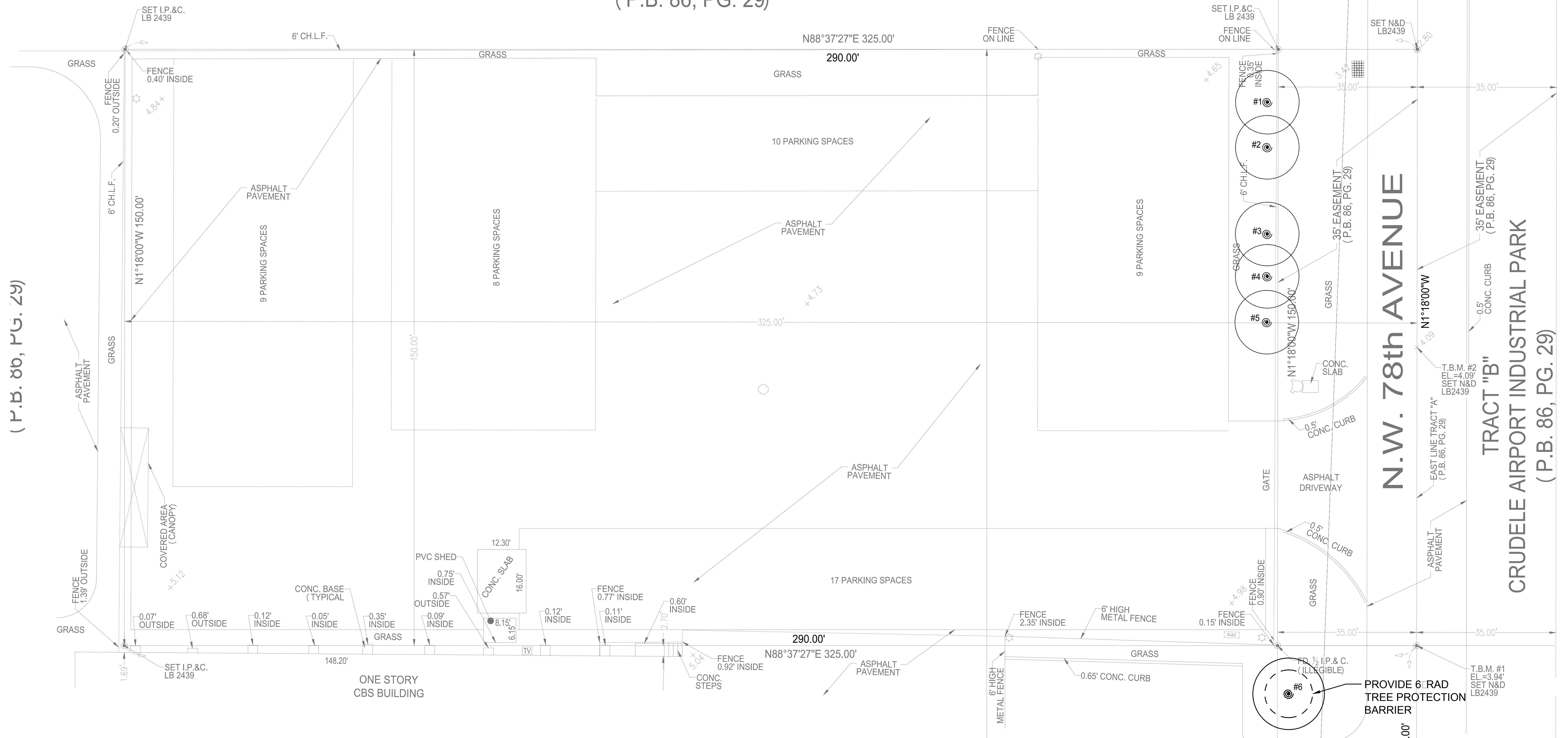
**SEAL:**

**ARCH. LICENSE:**  
AR 0011733

**L-5**



TRACT "A"  
CRUDELE AIRPORT INDUSTRIAL PARK  
( P.B. 86, PG. 29)



1 SITE PLAN SCALE : 3/32 = 1'-0"

HAWTHORN SUITES							
Scientific name	Common name	DBH	Height	Canopy	Condition	TPZ	Disposition
1 Roystonea regia	Royal palm	12"	24'	16'	Good	4'	Remove
2 Roystonea regia	Royal palm	14"	20'	16'	Good	4'	Remove
3 Roystonea regia	Royal palm	13"	25'	18'	Poor	4'	Remove
4 Roystonea regia	Royal palm	7"	15'	8'	Poor	N/A	Remove
5 Roystonea regia	Royal palm	10"	18'	18'	Poor	N/A	Remove
6 Quercus virginiana	Live oak	7"	18'	25'	Good	6'	Remain

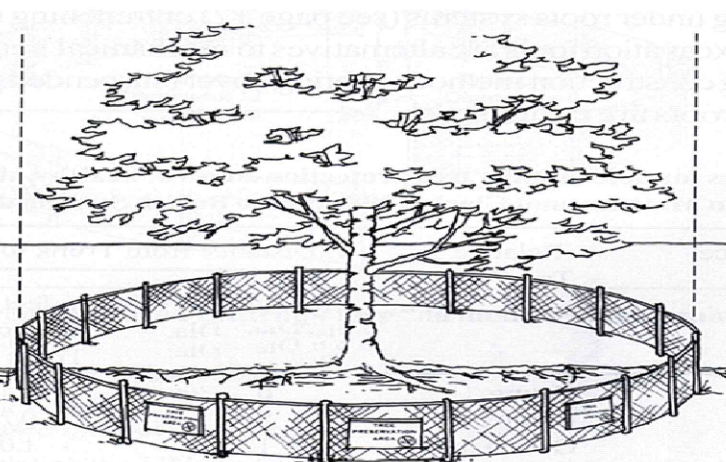
(Not on property)

<b>Total SF of canopy to be removed</b>	<b>961.24 SF</b>
<b>Total SF Canopy Provided</b>	<b>4,800 SF</b>

Miami Dade County Tree Mitigation Calculation Table				
Proposed Qty	Tree Type	Min. Hgt	Mitigation Credit per Tre	Total Credit
0	Shade Tree 1	12' OA Hgt.	500 SF	0
0	Shade Tree 2	8' OA Hgt.	300 SF	0
15	Palm 1	10' OA Hgt	300 SF	4500 (SF)
3	Palm 2	3' OA Hgt.	100 SF	300 (SF)
0	Small Tree	6' OA Hgt	200 SF	0
	<b>Total SF</b>		<b>4,800 SF</b>	

ANSI A300 (Part 5) - 2005, Annex A  
Management report information  
Examples of suitability ratings  
**Good:** These are trees with good health and structural stability that have the potential for longevity at the site.  
**Moderate:** Trees in this category have fair health and/or structural defects that may be abated with treatment. Trees in this category require more intense management and monitoring, and may have shorter life-spans than those in the "good" category.  
**Poor:** Trees in this category are in poor health or have significant defect s in structure that cannot be abated with treatment. These trees can be expected to decline regardless of management. The species or individual tree may possess either characteristics that are undesirable in landscape settings or be unsuited for use areas.

**Critical Root Zone and Tree Protection Zone**  
ANSI A 300 (Part 5) – 2012 Management of Trees and Shrubs during Site Planning, Site Development and Construction  
**Critical Root Zone (CRZ):** The minimum volume of roots necessary to have for tree health and stability.  
**Tree Protection Zone (TPZ):** The area surrounding a tree defined by a specified distance, in which excavation and other construction – related activities should be avoided. The TPZ is variable depending on species, factors, age and health of the plant, soil conditions, and proposed construction. The zone may be accomplished by physical barriers or soil protection layers or treatments.  
ANSI A300 (Part 5) – 2012 54.7  
A tree protection zone (TPZ) shall be delineated around all trees to be protected during a project

- 54.7.1 The area and dimensions of the TPZ should be calculated on the basis of species tolerance, age, and health, root structure, rooting depth and soil conditions.  
**Schematic for tree protection during construction**  

- The dimensions for the tree protection zones for all trees to remain onsite are herein shown in Tree Legend. This area shall be encircled with a 4 foot high sturdy fence supported by steel rods or pipes to support the fence every 6 feet. There shall be signage on the fence in English and Spanish not allowing storage of any materials, change of grade or movement of equipment. This fence shall be inspected regularly by the contractor to ensure compliance.
- The critical root zones of some trees many not extend completely to the recommended radius of the tree protection zones. This can be determined by monitoring the demolition. (Refer to Certified Arborist Tree Evaluation Report)

**LEWIS AQUÍ**  
LANDSCAPE + ARCHITECTURAL DESIGN, LLC  
7408 B SW 48<sup>th</sup> STREET  
MIAMI, FL 33155  
PHONE: (305) 661-1855  
FAX: (305) 661-1865

REVISIONS	DATE

**HAWTHORN**  
SUITES BY WYNDHAM

HAWTHORN SUITES  
BY WYNDHAM  
3500 NW 78TH AVE, DORAL FLORIDA

MF Architects  
Marcelo A. Moino, AIA  
15552 SW 15th Street  
Weston, FL 33326  
(786) 299-9408

DRAWN BY:  
AP

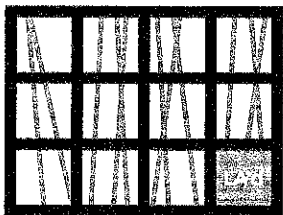
SHEET TITLE:  
TREE DISPOSITION PLAN

DATE:  
04.18.2016

SEAL:  
ARCH. LICENSE  
AR 0011733

TD-1





**LEWIS AQÜI**

LANDSCAPE + ARCHITECTURAL DESIGN, LLC  
LC 26000479

June 2nd 2016

**PROFESSIONAL PREPARER'S STATEMENT OF LANDSCAPING COMPLIANCE**

**PROCESS NUMBER** 2016-05S

Legal description: Lot \_\_\_\_\_, Block \_\_\_\_\_, Subdivision (See Attached Legal Description) P.B. \_\_\_\_\_ Page \_\_\_\_\_, Development name HAWTHORN SUITES AT DORAL  
Located at (address) 3500 NW 78th Avenue, Doral Florida

I/We hereby certify that the landscaping plan being submitted for the above captioned complies with the requirements of Ordinance 98-13 (landscaping ordinance) as to species, height, trunk width and location at time of planting, and that the species as shown are in accordance with the accepted species approved by Miami-Dade County and that none of the species are from the prohibited list.

Additionally, an automatic sprinkler system plan will be prepared to comply with requirements of said ordinance as to type of heads, spray system, location, etc.

I/We further certify that I/we am/are authorized under Chapter 481, Florida statutes to prepare and submit this landscaping plan.

Seal: (If Corporation)

Professional Preparer's Signature

Lewis E. Aqüi  
Print Name

**STATE OF** Florida

**COUNTY OF** Miami-Dade

I, an officer authorized to take acknowledgments, according to the law and duly qualified and so acting, do hereby certify that on this date appeared before me Lewis Aqüi, to me known to be the person described in and who executed the foregoing instrument and he/she acknowledged to me the execution thereof to be his/her free act and deed for the uses and purposes therein mentioned; Witness my signature and official seal this 2 day of June, 2007, in the County and State aforesaid, the date and year last aforesaid.

Notary Public

Cesar Nieto

Print Name

My Commission Expires:

