RESOLUTION No. 21-31

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING/DENYING THE SITE PLAN FOR SHELTON ACADEMY LOCATED AT 9455 NW 40 STREET ROAD, DORAL, FLORIDA; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Orbis Fortium, LLC (the "Applicant") has submitted an Application requesting Mayor and City Council site plan approval pursuant to Section 53-184(f) of the City's Land Development Code (LDC), for Shelton Academy, a privately owned, Catholic based school, located at 9455 NW 40 Street Road, Doral, Florida, as legally described in "Exhibit A"; and

WHEREAS, a zoning workshop was held on July 9, 2020, at which meeting the public was afforded an opportunity to examine the project and provide feedback; and

WHEREAS, after notice of public hearing duly published and notifications of all property owners of record within 500-foot radius, a public hearing was held before the Mayor and City Council of the City of Doral on January 27, 2021, at which hearing all interested persons were afforded the opportunity to be heard; and

WHEREAS, Staff finds that the proposed site plan is consistent with the City's Comprehensive Plan and complies with the requirements and standards of the Land Development Code; and

WHEREAS, the Mayor and City Council of the City of Doral find the adoption and implementation of this Resolution is in the best interest and welfare of the residents of the City.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

Section 1. The above recitals are confirmed, adopted, and incorporated herein and made part hereof by this reference.

Section 2. The City Council hereby approves the site plan for Shelton Academy, as legally described in "Exhibit A." The site plan comprises of the new school campus for Shelton Academy consisting of grades K-12. A copy of the site plan is provided in "Exhibit B." The approval of the site plan is subject to the following conditions. Violation of the conditions may result in a code compliance citation or the revocation of this Resolution.

1. That the private school be limited to grades K-12 and be limited to a maximum of 450 students.
2. That the Applicant submits an updated Traffic Impact Study (TIS) and Traffic Operation Plan (TOP) to Miami-Dade County Department of Transportation and Public Works (DTPW), for review and approval, updating the maximum number of students (450 students) before obtaining a Certificate of Use (CU). Additional signal requirements and/or off-site improvements may be required to address life safety concerns, inefficient queuing and traffic operations in the vicinity.
3. That at the time the Applicant proposes to increase the enrollment from 450 to 600 students, an updated Traffic Operation Plan (TOP) and Traffic Impact Study (TIS) shall be required for review and approval by the City's Public Works Department and Miami-Dade County Department of Transportation and Public Works (DTPW). Additional off-site improvements associated with the proposed expansion may be required at the expense and/or the responsibility of the owner.
4. That prior to issuance of Certificate of Occupancy (CO), the Applicant constructs sidewalks within the public right-of-way connecting to NW 97 Avenue on both NW 40 Street Road and NW 38 Street.
5. That prior to issuance of Temporary Certificate of Occupancy (TCO) or Certificate of Occupancy (CO), Miami-Dade County approved plans be submitted to the City's Public Works Department for review and approval for the requirements of new flashers and school zone striping and signage throughout.
6. All applicable impact fees shall be paid by the Applicant prior to issuance of a building permit.
7. The proposed project shall be built in substantial conformance with the plans entitled "Shelton Academy" prepared by Civica Architecture & Urban Design, consisting of 22 sheets, dated stamped received January 7, 2021.
8. The Property shall be landscaped in accordance with the landscape plan, prepared by Gardner + Semler Landscape Architecture, dated stamped

received January 7, 2021, as amended, and included with the site plan submittal.

9. Compliance with Ordinance No. 2015-09, "Public Arts Program" will be required at the time of building permit, if applicable.
10. Provide compliance with the Floodplain Management regulation (Chapter 23, Article II, Floodplain Management) of the City's Land Development Code.
11. Developer shall be responsible for providing the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
12. A Stormwater Pollution Prevention Plan (SWPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed, and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
13. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP) Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.
14. The Applicant shall preserve existing trees (including native trees) during the development of the project, wherever possible. If the trees must be removed, the Applicant shall be required to mitigate the impact in accordance with DRER requirements. If the relocated trees do not survive, the Applicant shall be required to replace the trees in compliance with DRER requirements.
15. The hours of operation during the construction shall adhere to as per Noise Ordinance No. 2011-01.
16. Approval from Division of Environmental Resources Management (DERM) is required at time of building permit. If DERM's requirements result in a modification to the approved administrative site plan, which may include but is not limited to, the layout of proposed parking field, the Applicant will be fully responsible to meet those requirements prior to building permit approval.
17. Approval from Miami-Dade County Fire Department is required at time of building permit.
18. All applicable local, state and federal permits must be obtained before commencement of the development.

19. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
20. Noncompliance with the approved site plan and the terms of this approval shall be considered a violation of the City Code. Penalties for such violation(s) shall be prescribed by the City Code, which include, but are not limited to, the revocation of the approval granted by this Resolution.
21. Applicant shall comply with any other outstanding conditions recommended by the Mayor and City Council, Public Works Department, Planning & Zoning Department or Miami-Dade County.

Section 3. The City Manager or his/her designee are hereby authorized to take such action as may be necessary to implement the purpose and provisions of this Resolution.

Section 4. The Resolution shall take effect immediately upon adoption.

The foregoing Resolution was offered by Vice Mayor Cabrera who moved its adoption. The motion was seconded by Councilmember Cabral and upon being put to a vote, the vote was as follows:

Mayor Juan Carlos Bermudez	Yes
Vice Mayor Pete Cabrera	Yes
Councilwoman Digna Cabral	Yes
Councilwoman Claudia Mariaca	Yes
Councilman Oscar Puig-Corve	Yes

PASSED AND ADOPTED this 27 day of January, 2021.

JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:

CONNIE DIAZ, MMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

LUIS FIGUEREDO, ESQ.
CITY ATTORNEY

EXHIBIT “A”

EXHIBIT "A"

LEGAL DESCRIPTION

Lots 1 and 2, in Block 1 of “SWISS CHALET SUBDIVISION”, according to the Plat thereof, as recorded in Plat Book 140, Page 79, of the Public Records of Miami-Dade County, Florida.

EXHIBIT “B”

EXHIBIT B

SHELTON ACADEMY

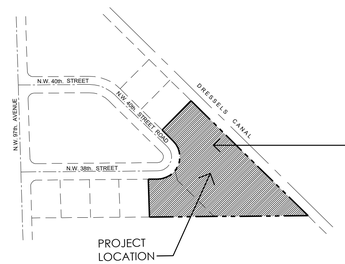
PROJECT ADDRESS:
9455 NW 40TH STREET RD,
DORAL, FL 33178-2377

APPLICANT:
ORBIS FORTNUM, LLC
355 ALHAMBRA CIRCLE
STE 1205
CORAL GABLES, FL 33134

DATE: NOVEMEBR 2020
SUBMITTAL: SITE PLAN APPROVAL
CIVICA PROJECT #: 200202

CIVICA
ARCHITECTURE AND URBAN DESIGN
8323 NW 12TH ST
SUITE 106
DORAL, FL 33126
PH. 305.593.9959
FX. 305.593.9855

GARDNER + SEMLER LANDSCAPE ARCHITECTURE
17670 NW 78th Avenue, Suite 214
Miami, FL 33015
office: 305-392-1016 cell: 305-342-7146
email: kiehl@gsladesign.com
website: www.gsladesign.com



LOCATION MAP 1 CVR
SCALE: N.T.S.

LEGAL DESCRIPTION:

LOTS 1 AND 2, IN BLOCK 1 OF "SWISS CHALET SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 140, PAGE 79, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA.

NOTE:

PROJECT SHALL MEET THE REQUIREMENTS OF THE CITY'S FLOODPLAIN MANAGEMENT ORDINANCE

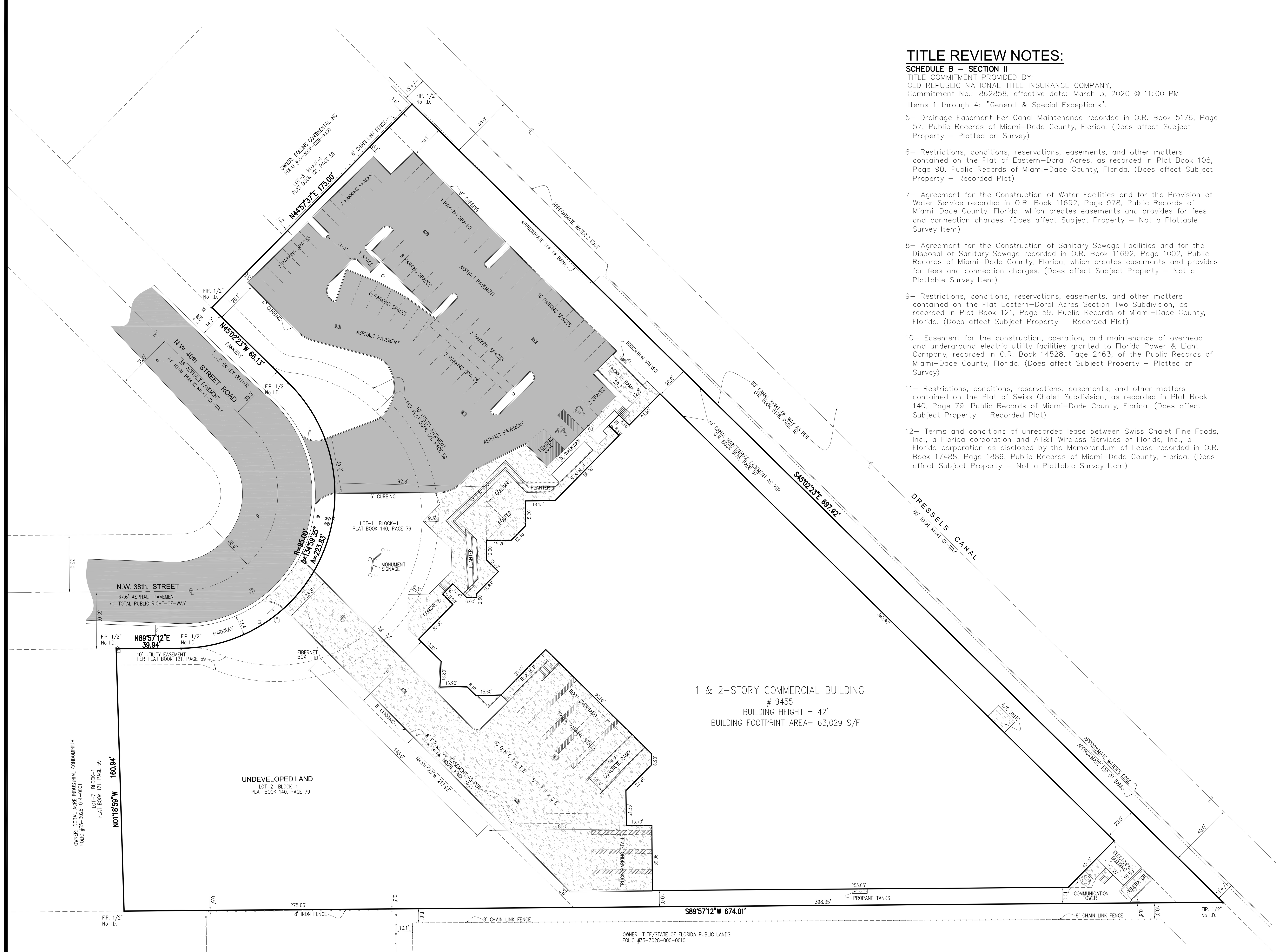
	INDEX	
		COVERSHEET
	SU-1	SURVEY
	SP-1a	DIAGRAMS
2	SP-1	SITE PLAN PHASE 1: 600 STUDENTS
2	SP-2	600 STUDENT PARKING LAYOUT
2	ST-0	CONCEPTUAL SCHOOL ZONE SIGNALIZATION
2	ST-1	CONCEPTUAL SIGNING & PAVEMENT MARKINGS
	PH-1	PHOTOMETRIC PLAN
	FP-1	GROUND FLOOR PLAN
	FP-2	SECOND FLOOR PLAN
	FP-3	GARAGE GROUND AND SECOND FLOOR PLANS
	FP-4	EXISTING GROUND FLOOR
	FP-5	EXISTING SECOND FLOOR
	EL-1	ELEVATIONS
	EL-2	RENDERED ELEVATIONS
2	DT-1	SITE DETAILS
2	LA 101	EXISTING TREE DISPOSITION PLAN
2	LA 102	PLANTING PLAN WITH SURFACE PARKING LOT
2	LA 103	PLANTING PLAN WITH SURFACE PARKING LOT
2	LA 104	PLANTING PLAN WITH SURFACE PARKING LOT
2	LA 105	PLANTING PLAN WITH PARKING GARAGE
2	LA 106	PLANTING PLAN WITH PARKING GARAGE
2	LA 107	PLANTING PLAN WITH PARKING GARAGE
2	LA 108	PLANTING PLAN WITH PARKING GARAGE
2	LA 201	PLANTING NOTES SPECIFICATIONS AND DETAILS
2	LA 301	IRRIGATION PLAN WITH SURFACE PARKING LOT
2	LA 302	IRRIGATION PLAN WITH SURFACE PARKING LOT
2	LA 303	IRRIGATION PLAN WITH SURFACE PARKING LOT
2	LA 304	IRRIGATION PLAN WITH PARKING GARAGE
2	LA 305	IRRIGATION PLAN WITH PARKING GARAGE
2	LA 306	IRRIGATION PLAN WITH PARKING GARAGE
2	LA 401	IRRIGATION DETAILS AND SPECIFICATIONS

ALTA/NSPS LAND TITLE SURVEY

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.



TITLE REVIEW NOTES:

SCHEDULE B – SECTION II

TITLE COMMITMENT PROVIDED BY:
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY,
Commitment No.: 862858, effective date: March 3, 2020 @ 11:00 PM

Items 1 through 4: "General & Special Exceptions".

5– Drainage Easement For Canal Maintenance recorded in O.R. Book 5176, Page 57, Public Records of Miami–Dade County, Florida. (Does affect Subject Property – Plotted on Survey)

6– Restrictions, conditions, reservations, easements, and other matters contained on the Plat of Eastern–Doral Acres, as recorded in Plat Book 108, Page 90, Public Records of Miami–Dade County, Florida. (Does affect Subject Property – Recorded Plat)

7– Agreement for the Construction of Water Facilities and for the Provision of Water Service recorded in O.R. Book 11692, Page 978, Public Records of Miami–Dade County, Florida, which creates easements and provides for fees and connection charges. (Does affect Subject Property – Not a Plottable Survey Item)

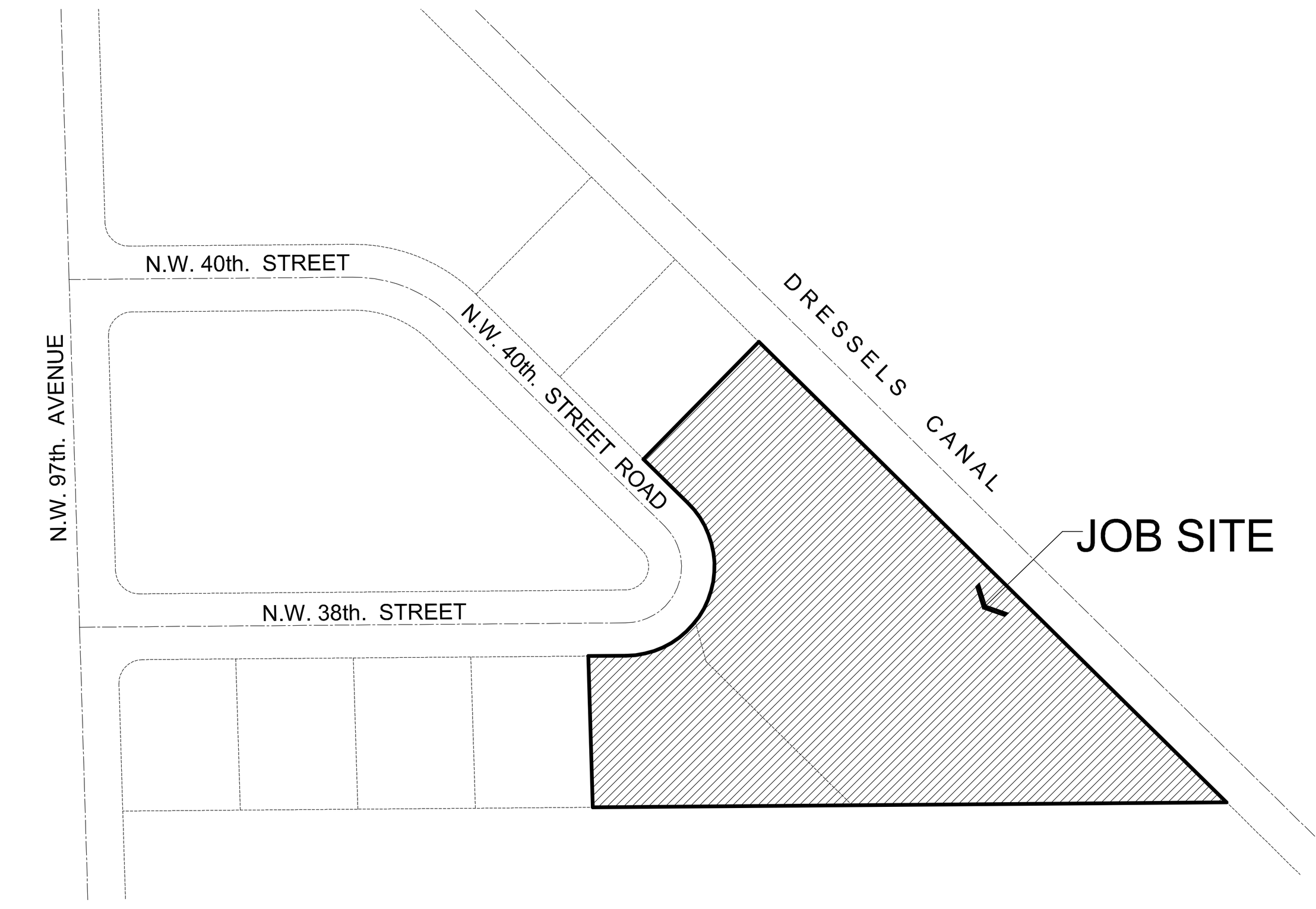
8– Agreement for the Construction of Sanitary Sewage Facilities and for the Disposal of Sanitary Sewage recorded in O.R. Book 11692, Page 1002, Public Records of Miami–Dade County, Florida, which creates easements and provides for fees and connection charges. (Does affect Subject Property – Not a Plottable Survey Item)

9– Restrictions, conditions, reservations, easements, and other matters contained on the Plat Eastern–Doral Acres Section Two Subdivision, as recorded in Plat Book 121, Page 59, Public Records of Miami–Dade County, Florida. (Does affect Subject Property – Recorded Plat)

10– Easement for the construction, operation, and maintenance of overhead and underground electric utility facilities granted to Florida Power & Light Company, recorded in O.R. Book 14528, Page 2463, of the Public Records of Miami–Dade County, Florida. (Does affect Subject Property – Plotted on Survey)

11– Restrictions, conditions, reservations, easements, and other matters contained on the Plat of Swiss Chalet Subdivision, as recorded in Plat Book 140, Page 79, Public Records of Miami–Dade County, Florida. (Does affect Subject Property – Recorded Plat)

12– Terms and conditions of unrecorded lease between Swiss Chalet Fine Foods, Inc., a Florida corporation and AT&T Wireless Services of Florida, Inc., a Florida corporation as disclosed by the Memorandum of Lease recorded in O.R. Book 17488, Page 1886, Public Records of Miami–Dade County, Florida. (Does affect Subject Property – Not a Plottable Survey Item)



LOCATION MAP
NOT TO SCALE

PROPERTY ADDRESS:

9455 NW 40 STREET ROAD, DORAL, FLORIDA 33178
Folio: 35–3028–015–0010 / 35–3028–015–0020

LEGAL DESCRIPTION:

Lots 1 and 2, in Block 1 of "SWISS CHALET SUBDIVISION", according to the Plat thereof, as recorded in Plat Book 140, Page 79, of the Public Records of Miami–Dade County, Florida.

SURVEYOR'S NOTES:

1) The Legal Description to the Property was obtained from OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, Commitment for Title Insurance.
2) This Certification is only for the lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances. OPINION OF TITLE.
3) An examination of Commitment issued by OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, Commitment No.: 862858, effective date: March 3, 2020 @ 11:00 PM, was made to determine recorded instruments, if any affecting this property. However, there may be additional restrictions not shown on this survey that may be found in the Public Records of this County.
4) Accuracy:
The expected use of the land, as classified in the Standards of Practice (5J–17FAC), is "Residential High Risk". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
5) All measurements shown hereon are made in accordance with the United States Standard Feet.
6) Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
7) Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties are prohibited without written consent of the signing party or parties.
8) Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
9) The surveyor does not determine fence and/or wall ownership.
10) Ownership subjects to: OPINION OF TITLE.
11) Type of Survey: ALTA/ NSPS LAND TITLE SURVEY.
12) The North arrow and bearing shown as per recorded plat of "SWISS CHALET SUBDIVISION", according to the Plat thereof, as recorded in Plat Book 140, Page 79, of the Public Records of Miami–Dade County, Florida.
13) Flood Zone Data: Community/ Panel #120041/0286/L Dated: 9/11/2009
Flood Zone: "AH" Base Flood Elevation = +6'
14) Legal Description shown hereon as per above noted title commitment.
15) Present Zoning: IC (INDUSTRIAL – LIGHT MANUFACTURING DISTRICT)
16) Building Setbacks: Source: City of Doral Zoning Department
Setbacks: Front = 20' / Rear & Interior Side = 5' (with openings in Building) 0' (without openings)
Building Height (maximum): 70 feet
17) Subject property has access to a public right–of–ways: NW 38st. Street and NW 40st. street Road
18) All visible above ground utilities noted on survey sketch.
19) Area of Site = 173,958 square feet (3.99+/– acres)
20) Total Number of Parking Spaces = 62 standard spaces and 2 Handicap spaces
21) Elevations shown hereon are relative to National Geodetic Vertical Datum (1929 Mean Sea Level)
22) Benchmark Used: N/A
23) There were no evidence of changes in street right of way lines nor evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
24) This PLAN OF SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.

LEGEND

Symbol	Meaning
—OH—OH—	Overhead Wire Line
—//—//—	Wood Fence
—x—x—	Chain Link Fence
—□—□—	Iron Fence
— M —	Monument Line
— ℄ —	Centerline
— ℙ —	Property Line

× 0.00' =Existing Elevations
=Catch Basin
=Water Meter
=Electric Box
=Sanitary Manhole
=Sprinkler Pump
=Wood Pole
=Conc. Pole
=Light Pole
=Fire Hydrant
=Water Valve
=Inlet
=Cable Tv Box
=Electric Meter Box
=Traffic Signal Box
=Gas Valve
=Monitoring Valve
=Manhole

A/C=Air Conditioner
Conc. =Concrete
C.B.S. =Concrete Block & Stucco
D.E. =Drainage Easement
D.M.E.=Drainage Maintenance Easement
F.D.H. =Found Drill Hole
F.F.E. =Finish Floor Elevation
F.I.P. =Found Iron Pipe/Pin
F.I.R. =Found Iron Rebar
F.N. =Found Nail
F.N&D =Found Nail & Disc
F.P.L. =Florida Power Light Transformer
H =Hieght
L.M.E. =Lake Maintenance Easement
(M) =Measured
(P) =Platted
P.O.B. =Point of Beginning
P.O.C. =Point of Commencement
(R) =Record
Res. =Residence
SIP/R =Set Iron Pin/Rebar
S =Spread
U.E. =Utility Easement

SURVEYOR'S CERTIFICATE:

THIS SURVEY CERTIFIED TO:

– ORBIS FORTIUM LLC, a Florida limited liability company
– OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
– JAVA SECURITIES, INC, a British Virgin Islands company
– JONES WALKER, L.L.P.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA / NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11 (aboveground utilities only) 16 and 20 of Table A thereof. The fieldwork was completed on March 18, 2020.

I DO FURTHER CERTIFY that the survey represented hereon was prepared in accordance with applicable requirements of the Florida Statutes and the Florida Administrative Code, Chapter 5J–17 and the standards of practice adopted by the Florida Board of Professional Surveyors and Mappers.

ROYAL POINT LAND SURVEYORS, INC.
LB No. 7282

BY: ____
JACOB GOMIS, Professional Surveyor & Mapper No. 6231
State of Florida
Date of Last Revision:

Survey Performed By:
ROYAL POINT LAND SURVEYORS, INC.
6175 N.W. 153rd. Street, Suite 321, Miami Lakes, Florida 33014
Phone: 305–821–1281/ 305–821–1220/ Fax: 305–827–9669

NO.	DATE	DESCRIPTION	BY	APP.

RECORD OF REVISION

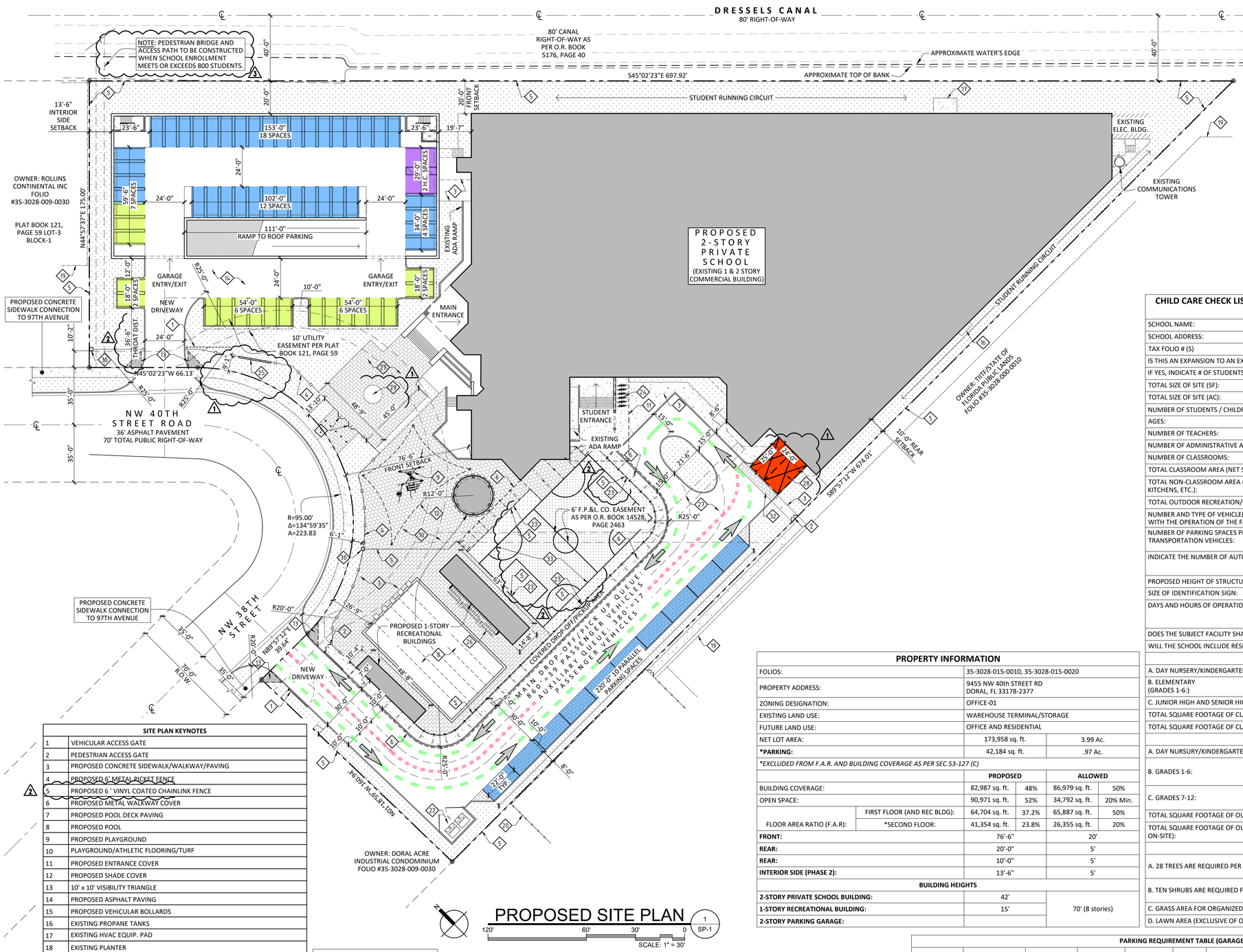
ROYAL POINT LAND SURVEYORS, INC. L.B.# 7282
info@RoyalPointLS.com
6175 NW 153rd STREET, SUITE 321, MIAMI LAKES, FL. 33014 *** TEL: 305-822-6062 *** FAX.305-827-9669

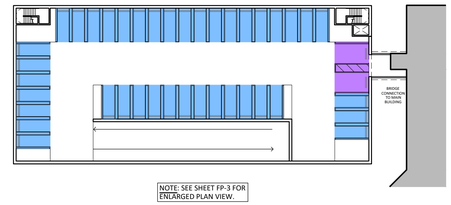
PREPARED FOR: ORBIS FORTIUM LLC
9455 NW 40 STREET ROAD, DORAL, FLORIDA 33178

TYPE OF SURVEY: ALTA / NSPS LAND TITLE SURVEY

DRAWN: J.G.
CHECKED: P.J.A.
SCALE: 1" = 30'
FIELD DATE: 03/18/2020
JOB No.: RP20–0339
SHEET: 1 OF 1 SHEET

F:\DRAWING\ALTA SURVEY\ALTA SURVEY_RP20-0339\9455 NW 40 STREET ROAD_ALTA sURVEY_RP20-0339.dwg 3/27/2020





GARAGE 2ND FLOOR PARKING ALLOCATION

1 SP-3

120' 60' 30' 0

SCALE: 1" = 30'

PROPOSED SITE PLAN

1 SP-1

120' 60' 30' 0

SCALE: 1" = 30'

SITE PLAN KEYNOTES	
1	VEHICULAR ACCESS GATE
2	PEDESTRIAN ACCESS GATE
3	PROPOSED CONCRETE SIDEWALK/WALKWAY/PAVING
4	PROPOSED 6' METAL PICKET FENCE
5	PROPOSED 6 ' VINYL COATED CHAINLINK FENCE
6	PROPOSED METAL WALKWAY COVER
7	PROPOSED POOL DECK PAVING
8	PROPOSED POOL
9	PROPOSED PLAYGROUND
10	PLAYGROUND/ATHLETIC FLOORING/TURF
11	PROPOSED ENTRANCE COVER
12	PROPOSED SHADE COVER
13	10' x 10' VISIBILITY TRIANGLE
14	PROPOSED ASPHALT PAVING
15	PROPOSED VEHICULAR BOLLARDS
16	EXISTING PROPANE TANKS
17	EXISTING HVAC EQUIP. PAD
18	EXISTING PLANTER
19	EXISTING 8' CHAIN LINK FENCE
20	EXISTING 8' IRON FENCE
21	EXISTING 6' CHAIN LINK FENCE
22	PROPOSED TRASH ENCLOSURE
23	PROPOSED 15' HIGH BALLSTOP NET (MOUNTED ABOVE 6' FENCE)
24	PROPOSED BICYCLE RACKS
25	PROPOSED MONUMENT SIGN - SEE SHEET DT-1
26	BLEACHER SEATING
27	PERVIOUS PAVERS
28	LOADING SPACES
29	SCULPTURE/ ART LOCATION (TOWARDS PUBLIC ARTS PROGRAM)
30	6'-0" HIGH, 24" X 24" CONC FENCE COLUMN
31	6'-0" HIGH 8" CONCRETE WALL
32	STAMPED CONCRETE/ PAVER WALKWAY
33	ARTIFICIAL PLAYFIELD/ HARDCOURTS

PARKING DESIGNATION LEGEND

- STAFF PARKING
- STUDENT/ VISITOR PARKING
- ADA PARKING
- LOADING AREA
- MAIN DROP-OFF/ PICK-UP QUEUE
- AUX. DROP-OFF/ PICK-UP QUEUE

CHILD CARE CHECK LIST FOR DAY NURSERY, DAY CARE CENTER, KINDERGARTEN AND PRIVATE SCHOOL (600 STUDENTS)

SCHOOL NAME:	SHELTON ACADEMY	
SCHOOL ADDRESS:	9455 NW 40th STREET RD, DORAL, FL 33178-2377	
TAX FOLIO # (S)	35-3028-015-0010, 35-3028-015-0020	
IS THIS AN EXPANSION TO AN EXISTING SCHOOL?	NO	
IF YES, INDICATE # OF STUDENTS, AGE AND GRADE RANGES APPROVED:	N/A	N/A
TOTAL SIZE OF SITE (SF):	173,958 sq. ft.	
TOTAL SIZE OF SITE (AC):	3.99	
NUMBER OF STUDENTS / CHILDREN REQUESTED:	600	
AGES:	4-18	
NUMBER OF TEACHERS:	65	
NUMBER OF ADMINISTRATIVE AND CLERICAL PERSONNEL:	24	
NUMBER OF CLASSROOMS:	40	
TOTAL CLASSROOM AREA (NET SF):	25,777 sq. ft.	
TOTAL NON-CLASSROOM AREA (GROSS SF), (OFFICES, BATHROOMS, KITCHENS, ETC.):	78,523 sq. ft.	
TOTAL OUTDOOR RECREATION/PLAY AREA (SF):	45,725 sq. ft.	
NUMBER AND TYPE OF VEHICLE(S) THAT WILL BE USED IN CONJUNCTION WITH THE OPERATION OF THE FACILITY	0	
NUMBER OF PARKING SPACES PROVIDED FOR STAFF, VISITORS AND TRANSPORTATION VEHICLES:	REQUIRED	111
	PROVIDED	111
INDICATE THE NUMBER OF AUTO STACKING SPACES:	REQUIRED	35
	PROVIDED	56
PROPOSED HEIGHT OF STRUCTURE(S):	42'	
SIZE OF IDENTIFICATION SIGN:	20 sq. ft.	
DAYS AND HOURS OF OPERATION:	GENERALLY, MONDAY - FRIDAY 6:00 AM - 8:00 PM (EVENING AND WEEKEND HOURS/USES SUBJECT TO ZONING CONDITIONS).	
DOES THE SUBJECT FACILITY SHARE THE SITE WITH OTHER FACILITIES?	NO	
WILL THE SCHOOL INCLUDE RESIDENTIAL USES?	NO	
CLASSROOM SPACE: CALCULATED BY GRADE LEVEL (600 STUDENTS)		
A. DAY NURSERY/KINDERGARTEN, PRESCHOOL AND AFTER-SCHOOL CARE:	35 sq. ft. x 120 (No. OF CHILDREN) =	4,200 sq. ft.
B. ELEMENTARY (GRADES 1-6:)	30 sq. ft. x 240 (No. OF CHILDREN) =	7,200 sq. ft.
C. JUNIOR HIGH AND SENIOR HIGH SCHOOLS (GRADES 7-12)	25 sq. ft. x 240 (No. OF CHILDREN) =	6,000 sq. ft.
TOTAL SQUARE FOOTAGE OF CLASSROOM AREA REQUIRED:	17,400 sq. ft.	
TOTAL SQUARE FOOTAGE OF CLASSROOM AREA PROVIDED:	25,777 sq. ft.	
OUTDOOR RECREATION SPACE (600 STUDENTS)		
A. DAY NURSURY/KINDERGARTEN, PRESCHOOL AND AFTER SCHOOL CARE:	45 sq. ft. x 60 (1/2 of children) = 1,035	2,700 sq. ft.
B. GRADES 1-6:	250 sq. ft. x 30 (first 30 children) = 7,500 50 sq. ft. x 210(remaining children) = 10,500	18,000 sq. ft.
C. GRADES 7-12:	400 sq. ft. x 30 (first 30 children) = 12,000 50 sq. ft. x 210= 10,500	22,500 sq. ft.
TOTAL SQUARE FOOTAGE OF OUTDOOR RECREATION SPACE:	REQUIRED	43,200 sq. ft.
TOTAL SQUARE FOOTAGE OF OUTDOOR RECREATION SPACE (100% PROVIDED ON-SITE):	PROVIDED	45,725 sq. ft.
TREES		
A. 28 TREES ARE REQUIRED PER NET ACRE	REQUIRED	114
	PROVIDED	114
B. TEN SHRUBS ARE REQUIRED FOR EACH TREE REQUIRED	REQUIRED	1,220
	PROVIDED	1,316
C. GRASS AREA FOR ORGANIZED SPORTS/PLAY AREA (SF):	0	
D. LAWN AREA (EXCLUSIVE OF ORGANIZED SPORTS/PLAY AREA)(SF):	12,804 sq. ft.	

PROPERTY INFORMATION

FOLIOS:		35-3028-015-0010, 35-3028-015-0020			
PROPERTY ADDRESS:		9455 NW 40th STREET RD DORAL, FL 33178-2377			
ZONING DESIGNATION:		OFFICE-01			
EXISTING LAND USE:		WAREHOUSE TERMINAL/STORAGE			
FUTURE LAND USE:		OFFICE AND RESIDENTIAL			
NET LOT AREA:		173,958 sq. ft.		3.99 Ac.	
***PARKING:**		42,184 sq. ft.		.97 Ac.	
EXCLUDED FROM F.A.R. AND BUILDING COVERAGE AS PER SEC.53-127 (C)					
		PROPOSED		**ALLOWED**	
BUILDING COVERAGE:		82,987 sq. ft.	48%	86,979 sq. ft.	50%
OPEN SPACE:		90,971 sq. ft.	52%	34,792 sq. ft.	20% Min.
FLOOR AREA RATIO (F.A.R):	FIRST FLOOR (AND REC BLDG):	64,704 sq. ft.	37.2%	65,887 sq. ft.	50%
	*SECOND FLOOR:	41,354 sq. ft.	23.8%	26,355 sq. ft.	20%
FRONT:		76'-6"		20'	
REAR:		20'-0"		5'	
REAR:		10'-0"		5'	
INTERIOR SIDE (PHASE 2):		13'-6"		5'	
BUILDING HEIGHTS					
2-STORY PRIVATE SCHOOL BUILDING:		42'		70' (8 stories)	
1-STORY RECREATIONAL BUILDING:		15'			
2-STORY PARKING GARAGE:					

PARKING REQUIREMENT TABLE (GARAGE PARKING) - 600 STUDENTS GRADES K-12

Proposed Use	No. of Classrooms	Classroom Area	No. of students	Teachers	Staff	Transport Vehicles	Laboratory	Admin. Area	Code Requirements Doral, FL Code of Ordinances - Ver. Feb. 11, 2020 - Sec.77-139 (e)	Total Parking Spaces	Total Bicycle Spaces Required
Grades preK-5:	19	10,472 sq. ft.	320	30	10	0	1,200 sq. ft.	2,600 sq. ft.	Total parking shall equal the combined total of personel and transportation vehicles.	40	4
Grades 6-8:	9	7,466 sq. ft.	120	15	6	0	600 sq. ft.	1,300 sq. ft.	Total parking spaces shall equal 1.25 times the combined total of personnel and transportation vehicles.	26	3
Grades 9-12:	12	7,839 sq. ft.	160	20	2	0	800 sq. ft.	300 sq. ft.	One parking spaces per 200 square feet of classroom area, including laboratories, libraries and administrative areas. Housing facilities on campus must provide two spaces per three sleeping rooms. One space per four employees, excluding teachers.	45	3
Totals:	40	25,777 sq. ft.	600	65	24	0	2,600 sq. ft.	4,800 sq. ft.	**Required Parking Spaces**	111	6
									Provided Parking Spaces	111	12
									Surplus Parking Spaces	0	6

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PROJECT:

SHELTON ACADEMY
9455 NW 40TH ST ROAD,
DORAL, FL 33178

APPLICANT:

ORBIS FORTIUM, LLC
355 ALHAMBRA CIRCLE
STE 1205
CORAL GABLES, FL 33134

ISSUED FOR:

SITE PLAN APPROVAL

CIVICA PROJECT No : 200202

No.	DATE	REVISION	BY
1	11/2020	ZONING	AD
2	12/2020	ZONING	AD
3	1/2021	CORRECTION	AD

DRAWN BY: AD
APPROVED BY: RL
DATE: 11/2020
SCALE: AS SHOWN

KEY PLAN

SEAL/SIGNATURE

ROLANDO LLANES
AR - 0013160

SHEET TITLE

PROPOSED SITE PLAN 600 STUDENTS

SHEET NUMBER

SP-1

NOTE: PARKING CAPACITY AND CLASSROOM AREA SHALL EXPAND ALONG WITH STUDENT ENROLLMENT.

600 STUDENT PARKING CONFIGURATION

1 SP-2

120' 60' 30' 0

SCALE: 1" = 30'

SITE PLAN KEYNOTES	
1	VEHICULAR ACCESS GATE
2	PEDESTRIAN ACCESS GATE
3	PROPOSED CONCRETE SIDEWALK/WALKWAY/PAVING
4	PROPOSED 6' METAL PICKET FENCE
5	PROPOSED 6 ' VINYL COATED CHAINLINK FENCE
6	PROPOSED METAL WALKWAY COVER
7	PROPOSED POOL DECK PAVING
8	PROPOSED POOL
9	PROPOSED PLAYGROUND
10	PLAYGROUND/ATHLETIC FLOORING/TURF
11	PROPOSED ENTRANCE COVER
12	PROPOSED SHADE COVER
13	10' x 10' VISIBILITY TRIANGLE
14	PROPOSED ASPHALT PAVING
15	PROPOSED VEHICULAR BOLLARDS
16	EXISTING PROPANE TANKS
17	EXISTING HVAC EQUIP. PAD
18	EXISTING PLANTER
19	EXISTING 8' CHAIN LINK FENCE
20	EXISTING 8' IRON FENCE
21	EXISTING 6' CHAIN LINK FENCE
22	PROPOSED TRASH ENCLOSURE
23	PROPOSED 15' HIGH BALLSTOP NET (MOUNTED ABOVE 6' FENCE)
24	PROPOSED BICYCLE RACKS
25	PROPOSED MONUMENT SIGN - SEE SHEET DT-1
26	BLEACHER SEATING
27	PERVIOUS PAVERS
28	LOADING SPACES
29	SCULPTURE/ ART LOCATION (TOWARDS PUBLIC ARTS PROGRAM)
30	6'-0" HIGH, 24" x 24" CONC FENCE COLUMN
31	6'-0" HIGH 8" CONCRETE WALL
32	STAMPED CONCRETE/ PAVER WALKWAY
33	ARTIFICIAL PLAYFIELD/ HARDCOURTS

PARKING DESIGNATION LEGEND

- STAFF PARKING
- STUDENT/ VISITOR PARKING
- ADA PARKING
- LOADING AREA
- MAIN DROP-OFF/ PICK-UP QUEUE
- AUX. DROP-OFF/ PICK-UP QUEUE

PARKING REQUIREMENT TABLE (SURFACE PARKING) - 600 STUDENTS GRADES K-12

Proposed Use	No. of Classrooms	Classroom Area	No. of students	Teachers	Staff	Transport Vehicles	Laboratory	Admin. Area	Code Requirements Doral, FL Code of Ordinances - Ver. Feb. 11, 2020 - Sec.77-139 (e)	Total Parking Spaces	Total Bicycle Spaces Required
Grades preK-5:	16	7,530 sq. ft.	320	16	2	0	683 sq. ft.	2,700 sq. ft	Total parking shall equal the combined total of personel and transportation vehicles.	18	2
Grades 6-8:	6	4,135 sq. ft.	120	8	1	0	342 sq. ft.	1,750 sq. ft.	Total parking spaces shall equal 1.25 times the combined total of personnel and transportation vehicles.	11	1
Grades 9-12:	8	5,785 sq. ft.	160	11	2	0	455 sq. ft.	350 sq. ft.	One parking spaces per 200 square feet of classroom area, including laboratories, libraries and administrative areas. Housing facilities on campus must provide two spaces per three sleeping rooms. One space per four employees, excluding teachers.	33	3
Totals:	30	17,450 sq. ft.	600	35	5	0	1,480 sq. ft.	4,800 sq. ft.	**Required Parking Spaces**	63	6
									Provided Parking Spaces	63	12
									Surplus Parking Spaces	0	6

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PROJECT:

SHELTON ACADEMY
9455 NW 40TH ST ROAD,
DORAL, FL 33178

APPLICANT:

ORBIS FORTIUM, LLC
355 ALHAMBRA CIRCLE
STE 1205
CORAL GABLES, FL 33134

ISSUED FOR:
SITE PLAN APPROVAL

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3	1/2021	CORRECTION	AD

DRAWN BY: AD
APPROVED BY: RL
DATE: 11/2020
SCALE: AS SHOWN
KEY PLAN

SEAL/SIGNATURE

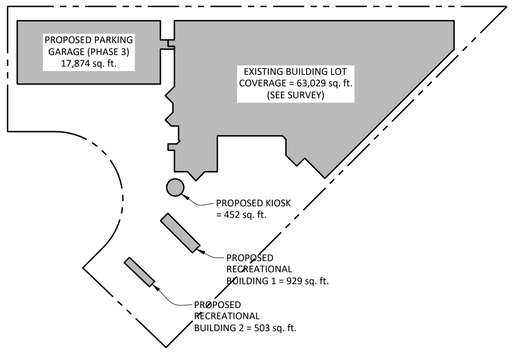
ROLANDO LLANES
AR - 0013160

SHEET TITLE

600 STUDENT PARKING LAYOUT

SHEET NUMBER

SP-2

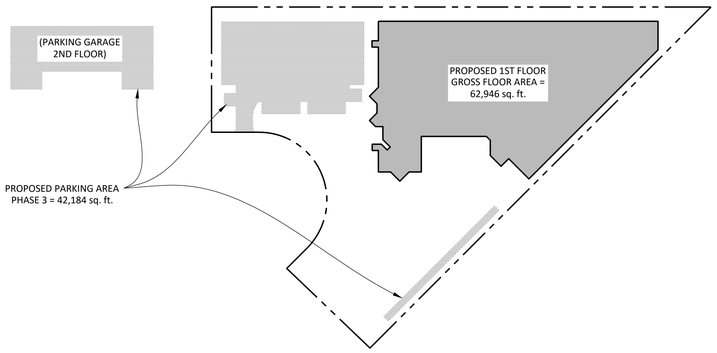


LOT COVERAGE DIAGRAM

5 SP-1a

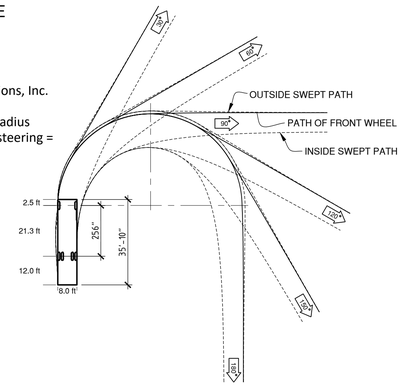
160' 80' 40' 0

SCALE: 1" = 40'



MIAMI-DADE FIRE RESCUE TRUCK
(S-BUS-36 AASHTO 2011 (US) [ft])

*Steady-state turning radius used to define vehicle steering = 34.9 ft. (centerline).



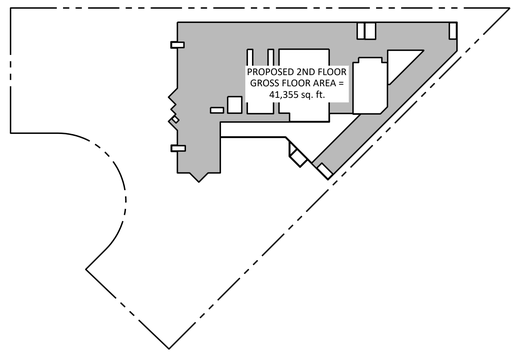
NOTE: COMPLIES WITH MIAMI-DADE FIRE RESCUE ACCESS ROAD REQUIREMENTS.

FIRE TRUCK TURN TEMPLATE

4 SP-1a

120' 60' 30' 0

SCALE: 1" = 30'

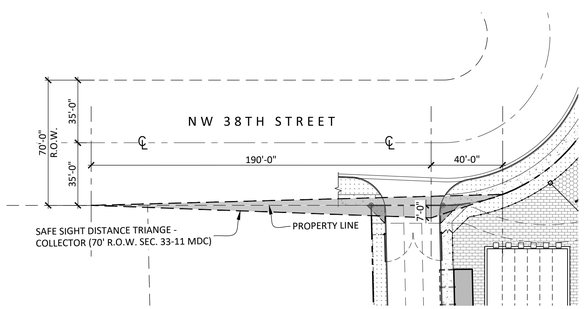


F.A.R. DIAGRAM

2 SP-1a

160' 80' 40' 0

SCALE: 1" = 40'

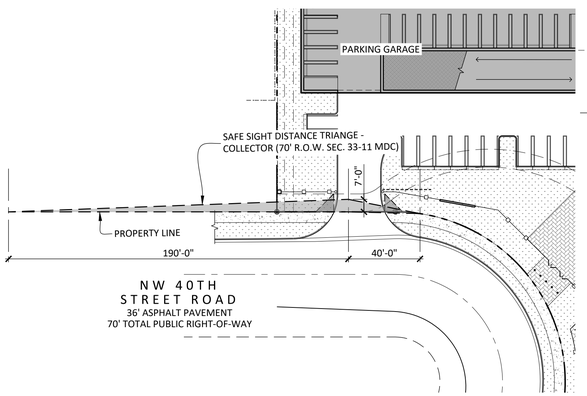


SAFE SIGHT TRIANGLE MAIN DRIVEWAY

6 SP-1a

160' 80' 40' 0

SCALE: 1" = 40'

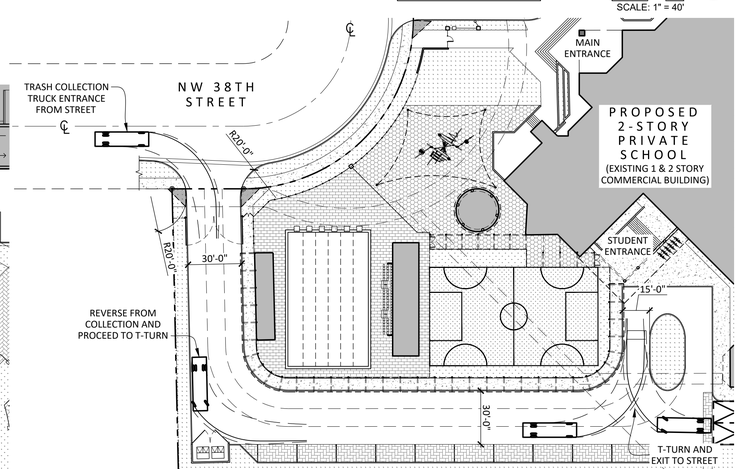


SAFE SIGHT TRIANGLE PARKING ENTRANCE

3 SP-1a

120' 60' 30' 0

SCALE: 1" = 30'



TRASH COLLECTION & LOADING AREA TURN DIAGRAM

1 SP-1a

160' 80' 40' 0

SCALE: 1" = 40'

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9455 NW 40TH ST ROAD,
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APPLICANT:

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ISSUED FOR:

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No.	DATE	REVISION	BY
1	11/2020	ZONING	AD

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SCALE: AS SHOWN

KEY PLAN

SEAL/SIGNATURE

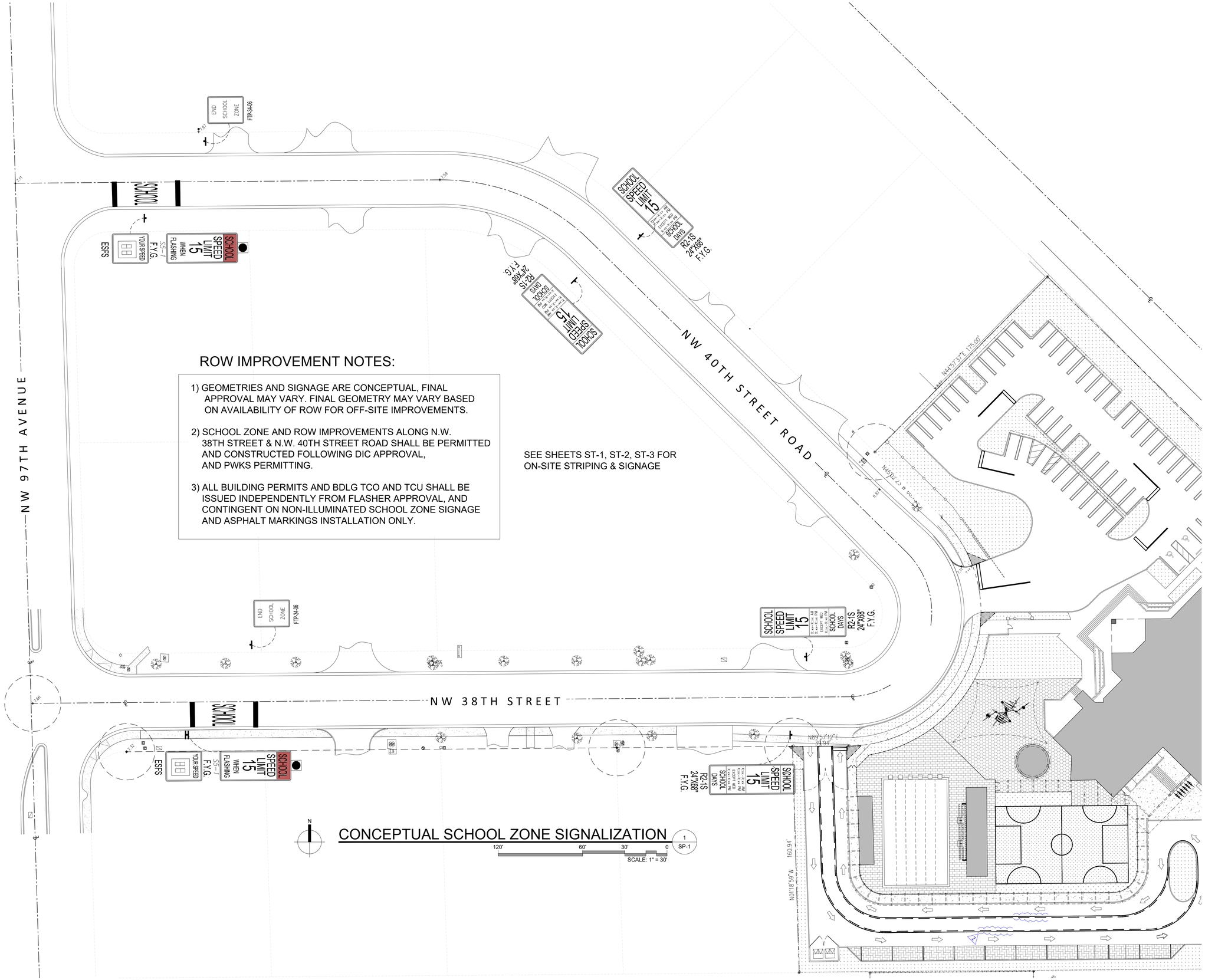
ROLANDO LLANES
AR - 0013160

SHEET TITLE

DIAGRAMS

SHEET NUMBER

SP-1a



ROW IMPROVEMENT NOTES:

1) GEOMETRIES AND SIGNAGE ARE CONCEPTUAL, FINAL APPROVAL MAY VARY. FINAL GEOMETRY MAY VARY BASED ON AVAILABILITY OF ROW FOR OFF-SITE IMPROVEMENTS.

2) SCHOOL ZONE AND ROW IMPROVEMENTS ALONG N.W. 38TH STREET & N.W. 40TH STREET ROAD SHALL BE PERMITTED AND CONSTRUCTED FOLLOWING DIC APPROVAL, AND PWKS PERMITTING.

3) ALL BUILDING PERMITS AND BDLG TCO AND TCU SHALL BE ISSUED INDEPENDENTLY FROM FLASHER APPROVAL, AND CONTINGENT ON NON-ILLUMINATED SCHOOL ZONE SIGNAGE AND ASPHALT MARKINGS INSTALLATION ONLY.

CONCEPTUAL SCHOOL ZONE SIGNALIZATION

1 SP-1

120' 60' 30' 0

SCALE: 1" = 30'

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STE 1205
CORAL GABLES, FL 33134

ISSUED FOR:

SITE PLAN APPROVAL

CIVICA PROJECT No :
200202

No.	DATE	REVISION	BY
1	11/2020	ZONING	AD
2	12/2020	PWKS COMMENT (REMOVE CHEVRON PATTERN)	IAF

DRAWN BY: AD
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DATE: 11/2020
SCALE: AS SHOWN

KEY PLAN

SEAL/SIGNATURE

ROLANDO LLANES
AR - 0013160

SHEET TITLE

CONCEPTUAL SCHOOL ZONE SIGNALIZATION

SHEET NUMBER

ST-0

ROW IMPROVEMENT NOTES:

1) GEOMETRIES AND SIGNAGE ARE CONCEPTUAL, FINAL APPROVAL MAY VARY. FINAL GEOMETRY MAY VARY BASED ON AVAILABILITY OF ROW FOR OFF-SITE IMPROVEMENTS.

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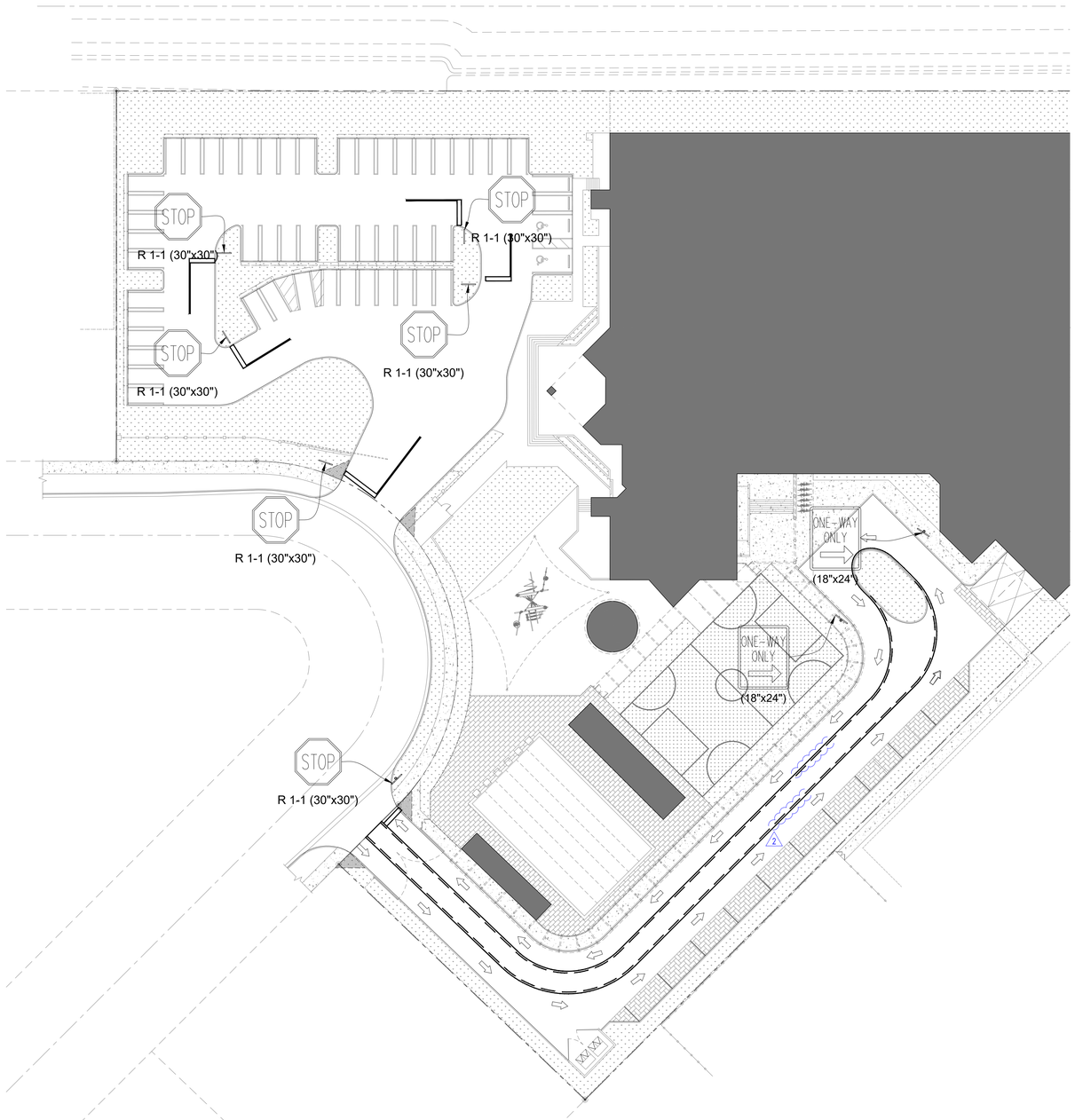

N

CONCEPTUAL SIGNING AND PAVEMENT MARKINGS - PHASE 1

120' 60' 30' 0

SCALE: 1" = 30'

1 ST-1

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PROJECT:

SHELTON ACADEMY
9455 NW 40TH ST ROAD,
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OMNIA IN SCHOLIS Shelton ACADEMY

APPLICANT:

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355 ALHAMBRA CIRCLE
STE 1205
CORAL GABLES, FL 33134

ISSUED FOR:
SITE PLAN APPROVAL

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200202

No.	DATE	REVISION	BY
1	11/2020	DIC TED COMMENTS	IAF
2	12/2020	PWKS COMMENT (REMOVE CHEVRON PATTERN)	IAF

DRAWN BY: AD
APPROVED BY: RL
DATE: 11/2020
SCALE: AS SHOWN

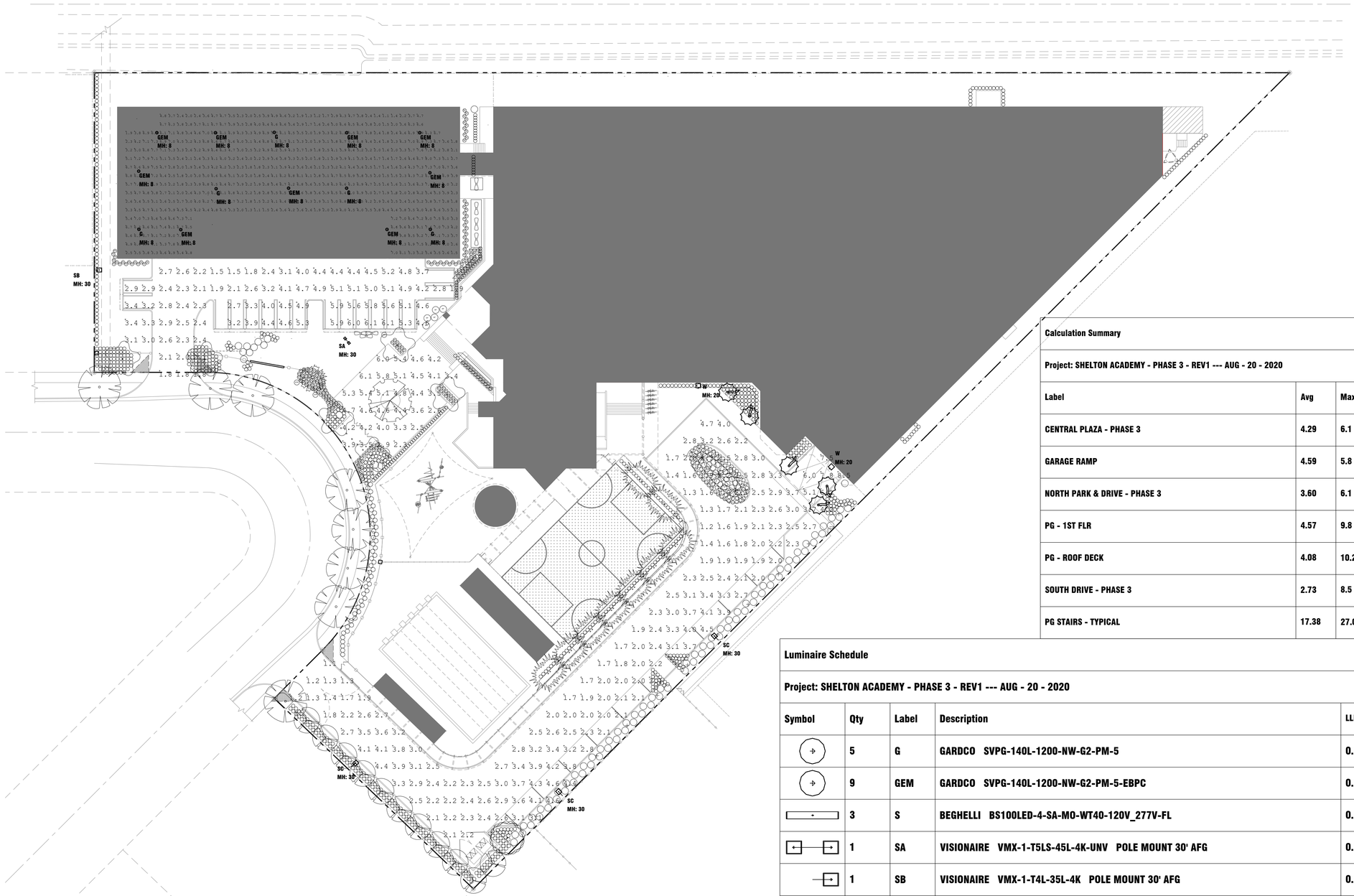
KEY PLAN

SEAL/SIGNATURE

ROLANDO LLANES
AR - 0013160

SHEET TITLE
CONCEPTUAL SIGNING & PAVEMENT MARKINGS PHASE 1

SHEET NUMBER
ST-1



PHOTOMETRIC PLAN

1 PH-1

Calculation Summary					
Project: SHELTON ACADEMY - PHASE 3 - REV1 --- AUG - 20 - 2020					
Label	**Avg**	**Max**	**Min**	**Avg/Min**	**Max/Min**
CENTRAL PLAZA - PHASE 3	4.29	6.1	2.3	1.87	2.65
GARAGE RAMP	4.59	5.8	2.8	1.64	2.07
NORTH PARK & DRIVE - PHASE 3	3.60	6.1	1.5	2.40	4.07
PG - 1ST FLR	4.57	9.8	1.1	4.15	8.91
PG - ROOF DECK	4.08	10.2	1.2	3.40	8.50
SOUTH DRIVE - PHASE 3	2.73	8.5	1.1	2.48	7.73
PG STAIRS - TYPICAL	17.38	27.0	12.0	1.45	2.25

Luminaire Schedule						
Project: SHELTON ACADEMY - PHASE 3 - REV1 --- AUG - 20 - 2020						
Symbol	**Qty**	**Label**	**Description**	**LLF**	**Lum. Watts**	**Total Watts**
	5	G	GARDCO SVPG-140L-1200-NW-G2-PM-5	0.900	53.9	269.5
	9	GEM	GARDCO SVPG-140L-1200-NW-G2-PM-5-EBPC	0.900	53.9	485.1
	3	S	BEGHELLI BS100LED-4-SA-MO-WT40-120V_277V-FL	0.900	60	180
	1	SA	VISIONAIRE VMX-1-T5LS-45L-4K-UNV POLE MOUNT 30' AFG	0.900	339	678
	1	SB	VISIONAIRE VMX-1-T4L-35L-4K POLE MOUNT 30' AFG	0.900	272	272
	3	SC	VISIONAIRE VMX-1-T3L-35L-4K POLE MOUNT 30' AFG	0.900	272	816
	2	SD	VISIONAIRE VMX-1-T5LS-30L-4K-UNV-AM-INVERTER POLE MOUNT 25' AFF	0.900	208	832
	2	W	GARDCO PWS-64L-900-NW-G2-4 WALL MOUNT 20' AFG	0.900	179.1	358.2
	4	W1	STONCO LPW-16-20-NW-G3-4 WALL MOUNT 7' AFF	0.900	22.3	89.2

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KEY PLAN

SEAL/SIGNATURE

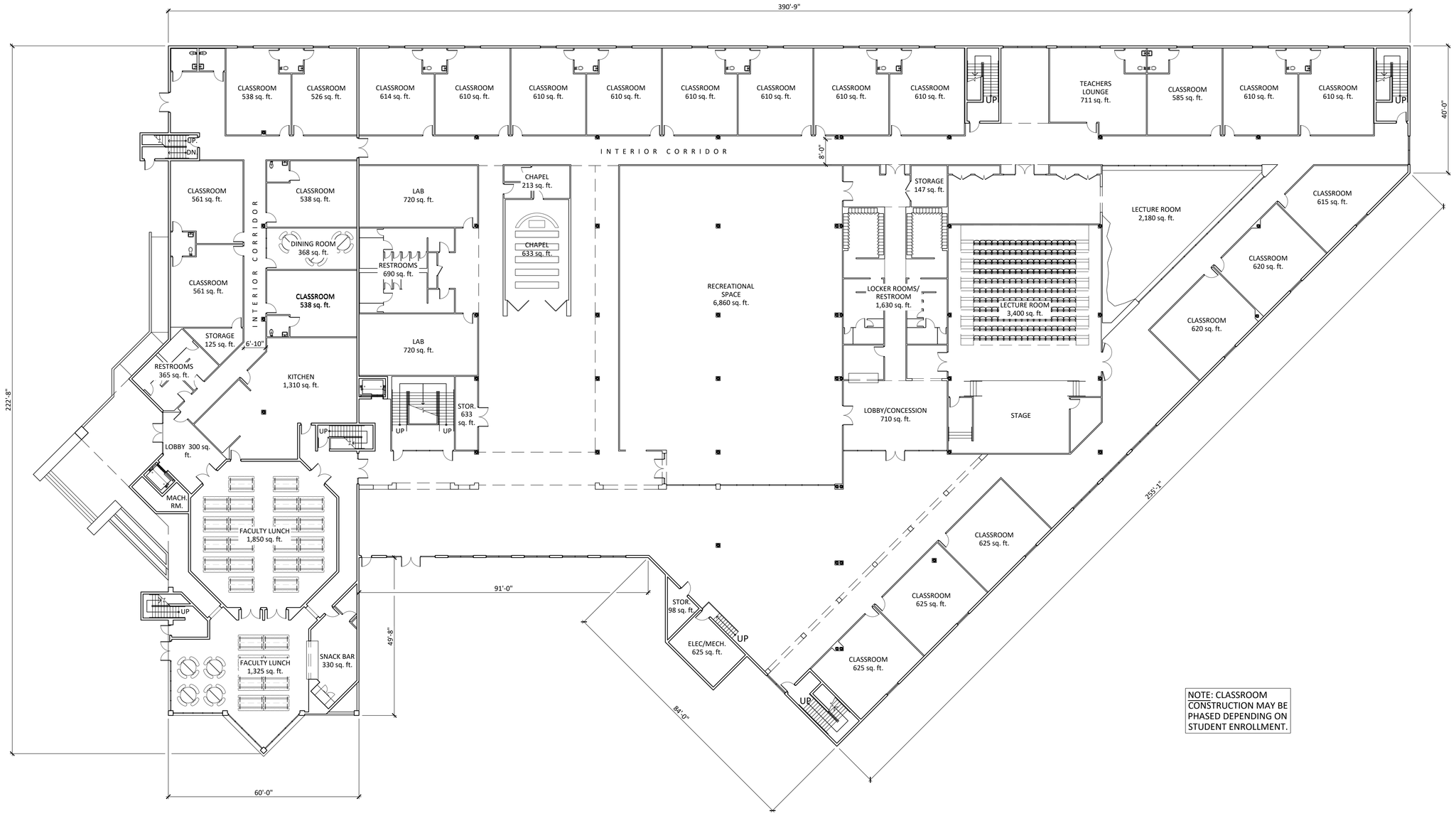
ROLANDO LLANES
AR - 0013160

SHEET TITLE

PHOTOMETRIC PLAN

SHEET NUMBER

PH-1



NOTE: CLASSROOM CONSTRUCTION MAY BE PHASED DEPENDING ON STUDENT ENROLLMENT.

N

64' 32' 16' 0

FLOOR PLAN

1 SP-1

SCALE: 1/16" = 1'-0"

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OMNIA IN BONUM Shelton ACADEMY

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ISSUED FOR:

SITE PLAN APPROVAL

CIVICA PROJECT No :
200202

No.	DATE	REVISION	BY

DRAWN BY: AD
APPROVED BY: RL
DATE: 2/26/2020
SCALE: AS SHOWN

KEY PLAN

SEAL/SIGNATURE

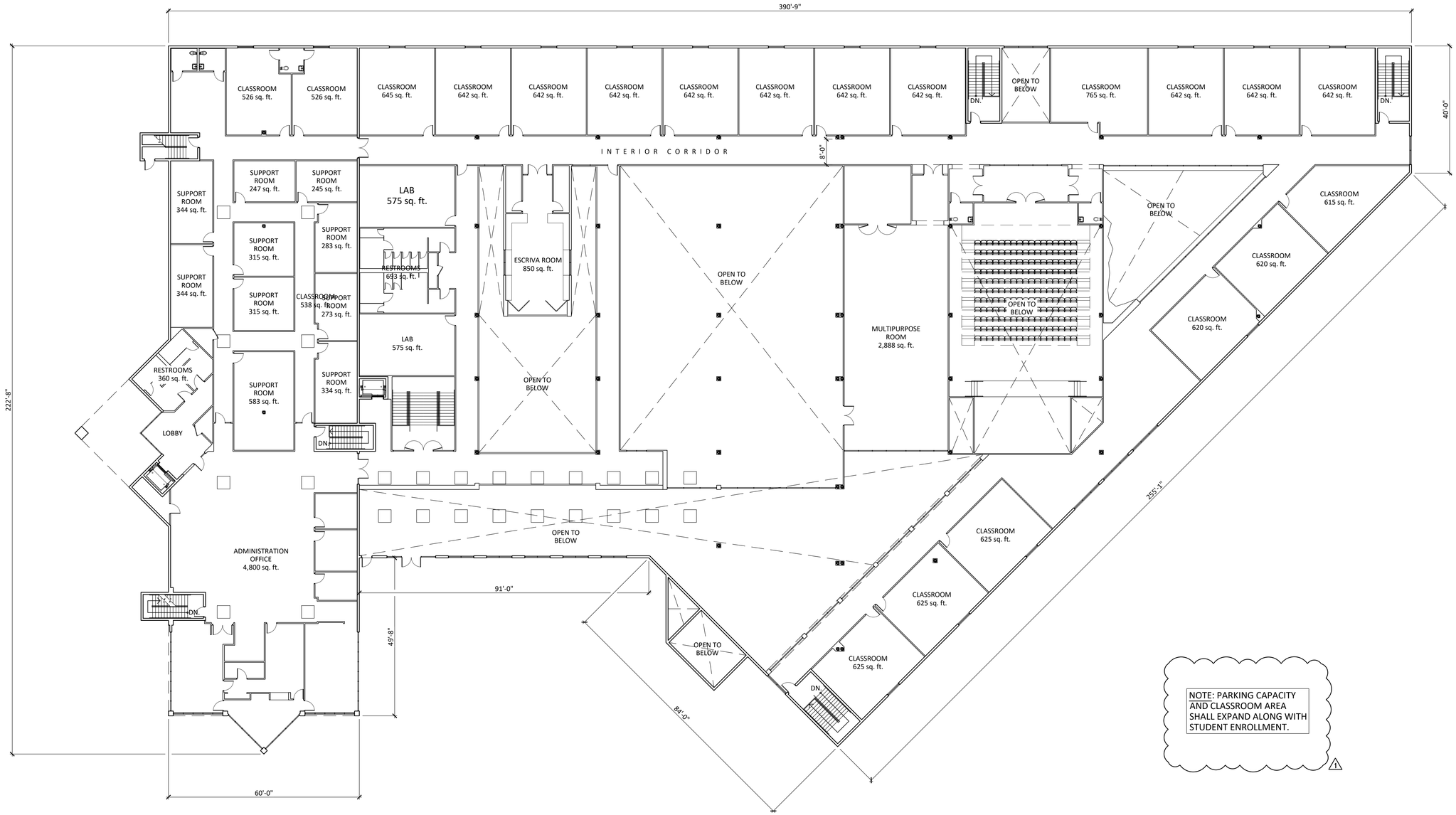
ROLANDO LLANES
AR - 0013160

SHEET TITLE

GROUND FLOOR PLAN

SHEET NUMBER

FP-1



NOTE: PARKING CAPACITY AND CLASSROOM AREA SHALL EXPAND ALONG WITH STUDENT ENROLLMENT.

1

N

SECOND FLOOR PLAN

1 / SP-1

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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Shelton ACADEMY

APPLICANT:

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STE 1205
CORAL GABLES, FL 33134

ISSUED FOR:

SITE PLAN APPROVAL

CIVICA PROJECT No :
200202

No.	DATE	REVISION	BY
1	11/2020	ZONING	AD

DRAWN BY: AD
APPROVED BY: RL
DATE: 2/26/2020
SCALE: AS SHOWN

KEY PLAN

SEAL/SIGNATURE

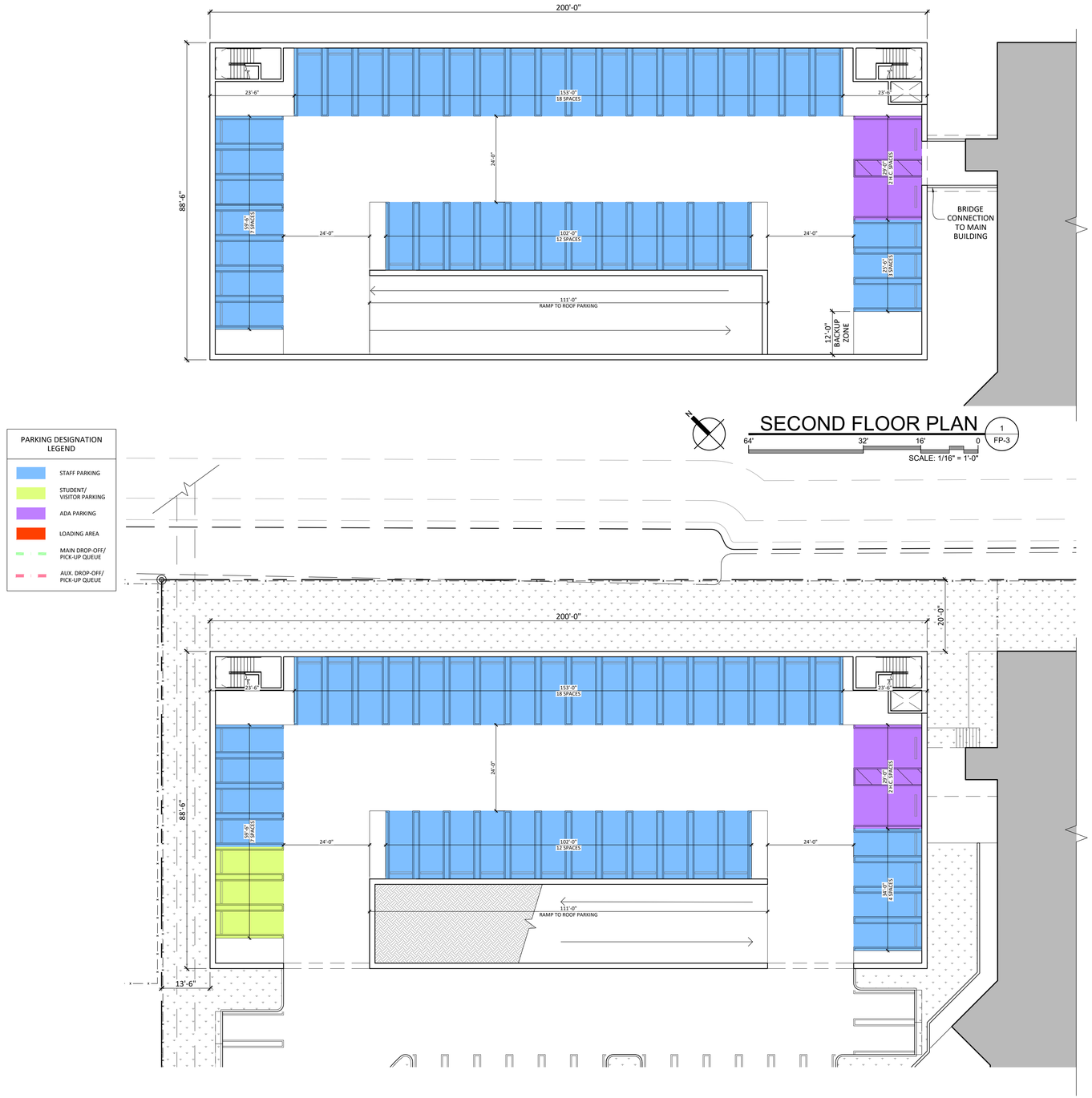
ROLANDO LLANES
AR - 0013160

SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

FP-2



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Shelton ACADEMY

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ISSUED FOR:
SITE PLAN
APPROVAL

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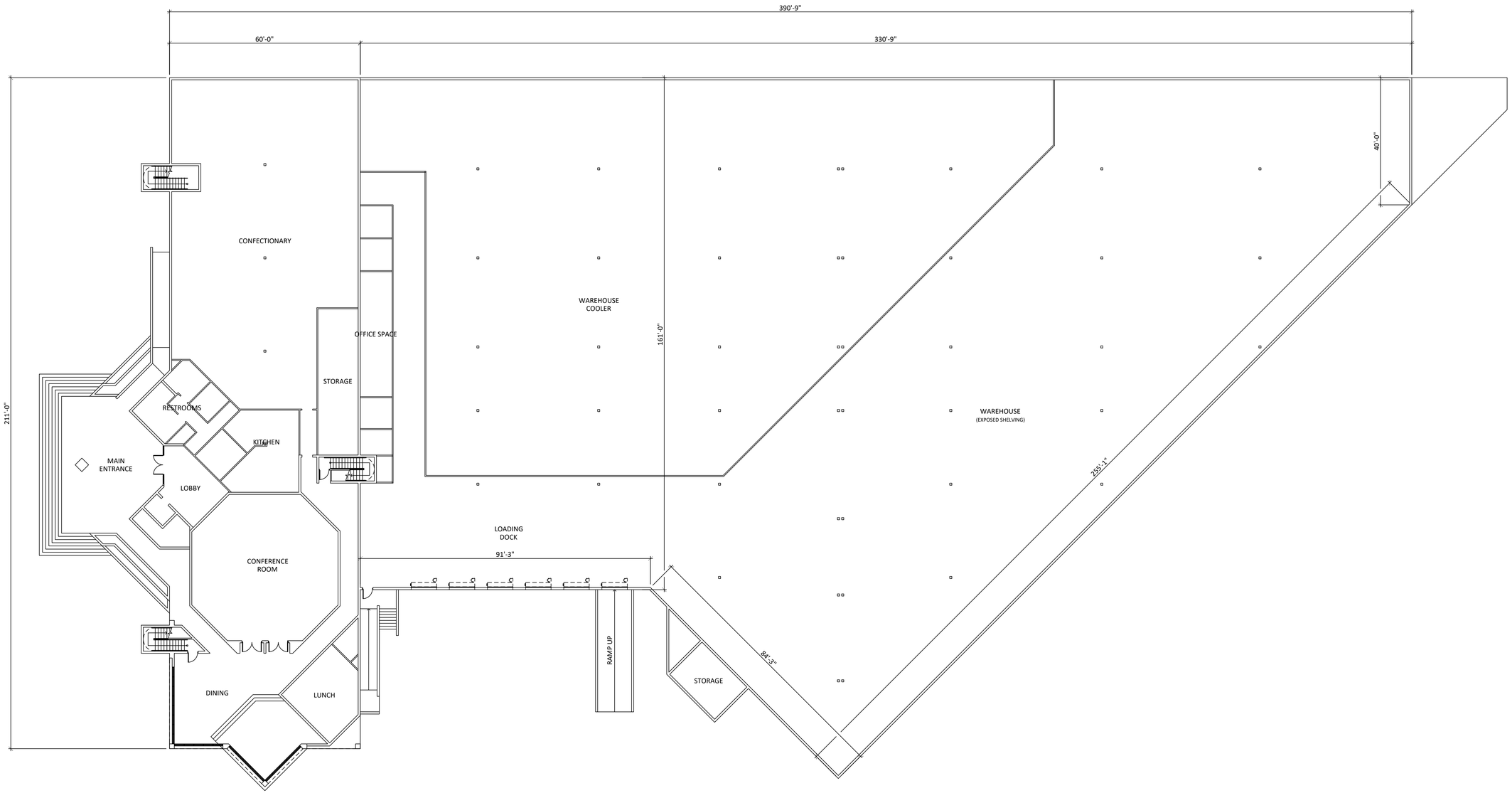
AR - 0013160

SHEET TITLE
GARAGE
GROUND &
SECOND FLOOR

SHEET NUMBER
FP-3



N

EXISTING GROUND FLOOR PLAN

1
FP-4

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

CIVICA
ARCHITECTURE & URBAN DESIGN

8323 NW 12th St. Suite 106
Doral, FL 33126
tel: 305.593.9959

AA #26001093
www.civicagroup.com

PROJECT:

SHELTON ACADEMY
9455 NW 40TH ST ROAD,
DORAL, FL 33178

Shelton ACADEMY

APPLICANT:

ORBIS FORTIUM, LLC
355 ALHAMBRA CIRCLE
STE 1205
CORAL GABLES, FL 33134

ISSUED FOR:

SITE PLAN
APPROVAL

CIVICA PROJECT No :
200202

No.	DATE	REVISION	BY

DRAWN BY: AD
APPROVED BY: RL
DATE: 11/2020
SCALE: AS SHOWN

KEY PLAN

SEAL/SIGNATURE

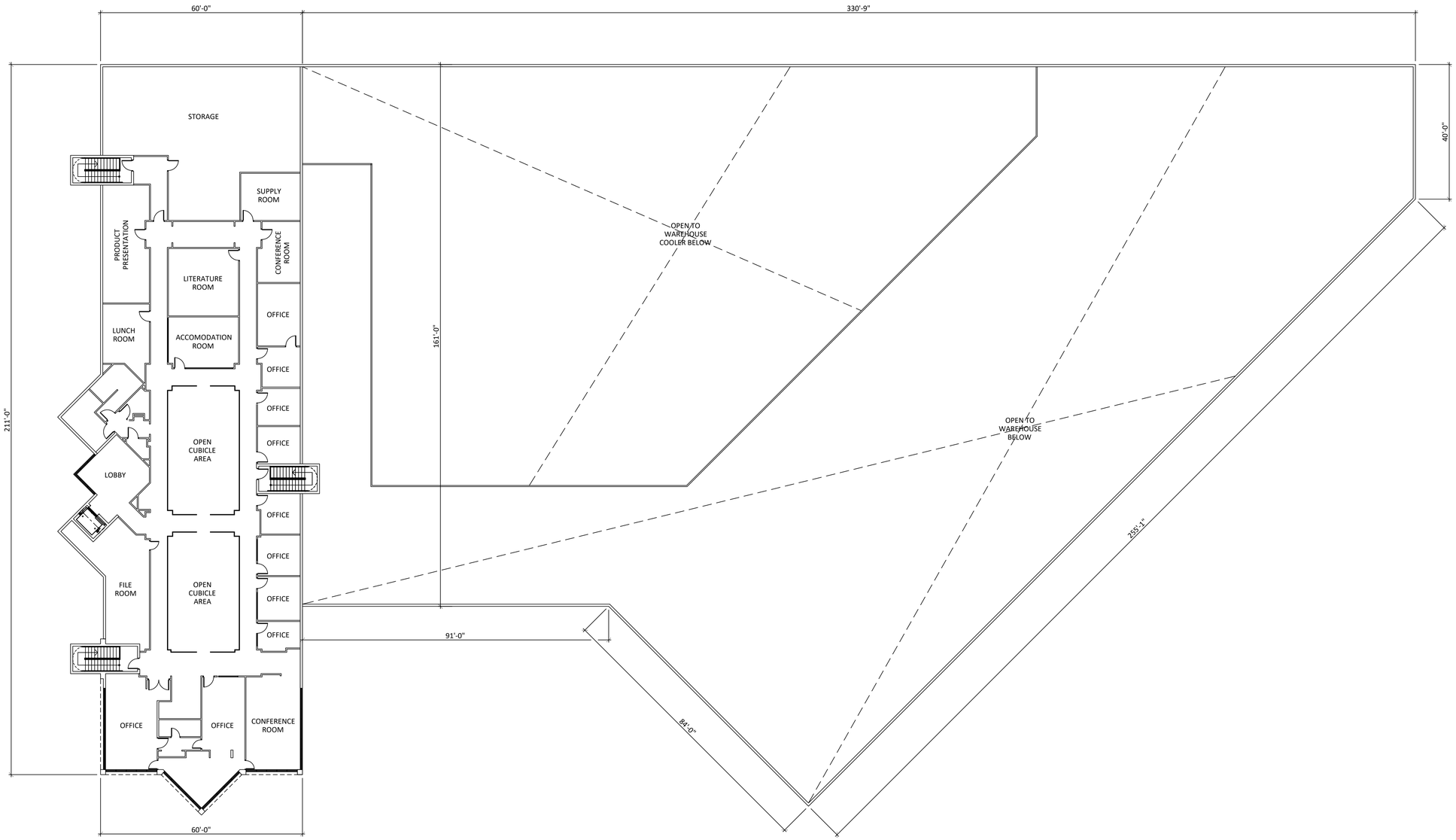
ROLANDO LLANES
AR - 0013160

SHEET TITLE

EXISTING
GROUND
FLOOR PLAN

SHEET NUMBER

FP-4



N

EXISTING SECOND FLOOR PLAN

1 FP-5

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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ARCHITECTURE & URBAN DESIGN

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DATE: 2/26/2020
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KEY PLAN

SEAL/SIGNATURE

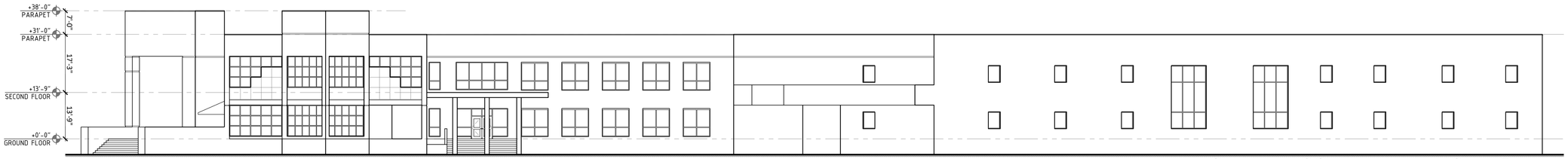
ROLANDO LLANES
AR - 0013160

SHEET TITLE

EXISTING SECOND FLOOR PLAN

SHEET NUMBER

FP-5

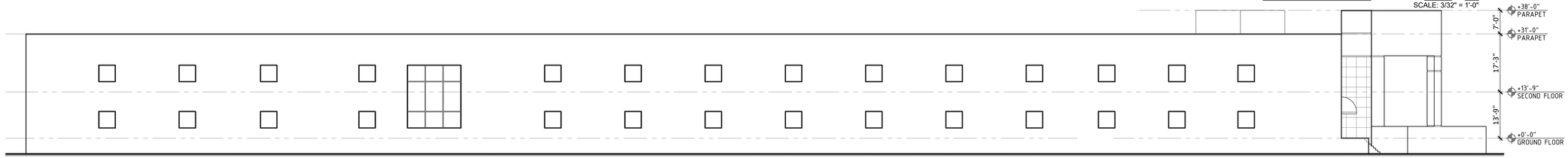


OVERALL SOUTH ELEVATION

7 EL-1

42'-8" 21'-4" 10'-8" 0

SCALE: 3/32" = 1'-0"

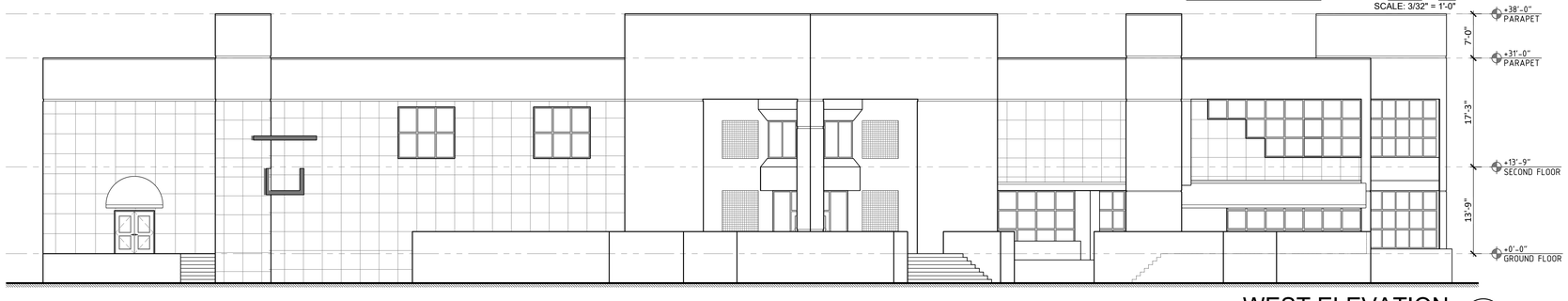


OVERALL NORTH ELEVATION

6 EL-1

42'-8" 21'-4" 10'-8" 0

SCALE: 3/32" = 1'-0"

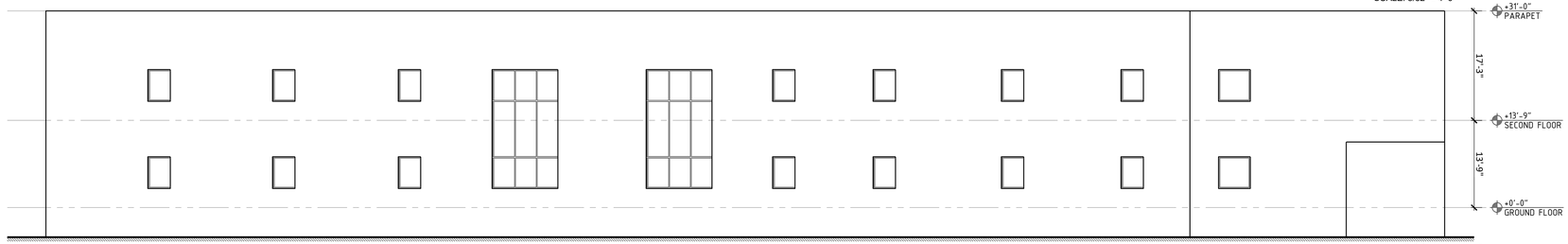


WEST ELEVATION

5 EL-1

42'-8" 21'-4" 10'-8" 0

SCALE: 3/32" = 1'-0"

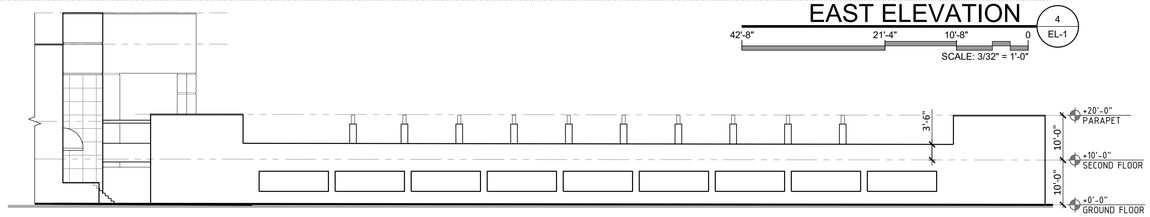


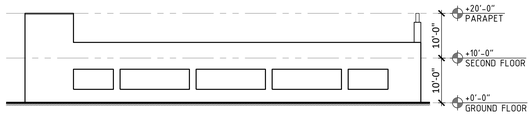
EAST ELEVATION

4 EL-1

42'-8" 21'-4" 10'-8" 0

SCALE: 3/32" = 1'-0"





GARAGE WEST ELEVATION

3 EL-1

64' 32' 16' 0

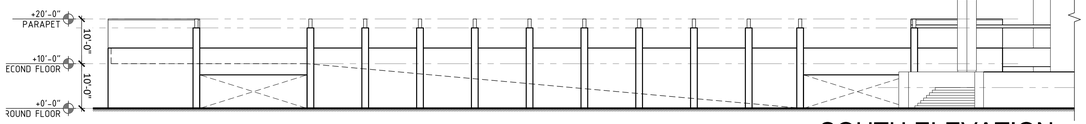
SCALE: 1/16" = 1'-0"

GARAGE NORTH ELEVATION

2 EL-1

64' 32' 16' 0

SCALE: 1/16" = 1'-0"



SOUTH ELEVATION GARAGE

1 EL-1

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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OMNIA IN BONUM
Shelton ACADEMY

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ISSUED FOR:

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AD	RL
DATE:	SCALE:
11/2020	AS SHOWN

KEY PLAN

SEAL/SIGNATURE

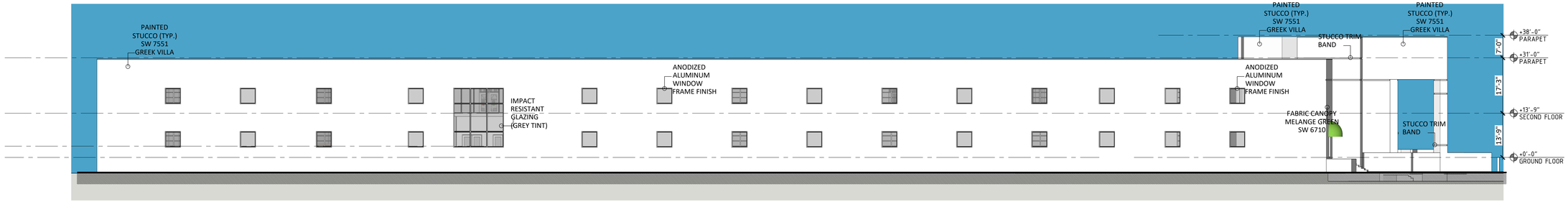
ROLANDO LLANES
AR - 0013160

SHEET TITLE

ELEVATIONS

SHEET NUMBER

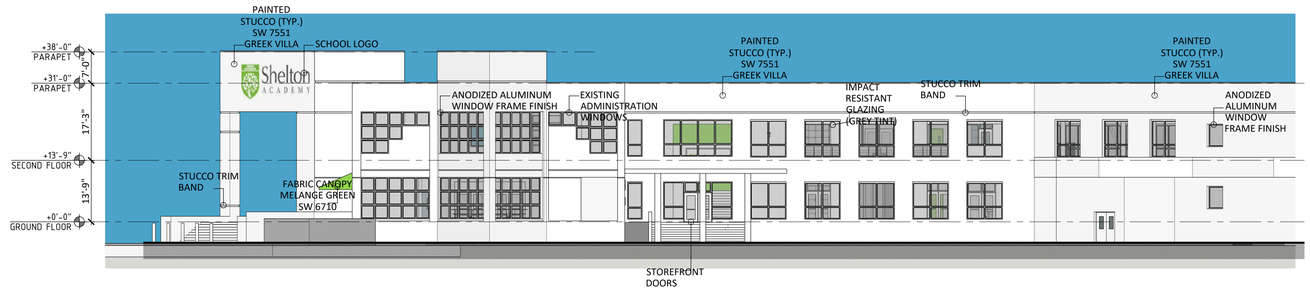
EL-1



SOUTH ELEVATION (4 / EL-1.1)

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

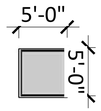


WEST ELEVATION (3 / EL-1.1)

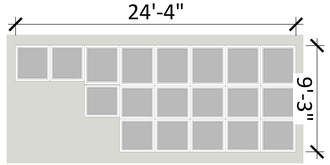
64' 32' 16' 0

SCALE: 1/16" = 1'-0"

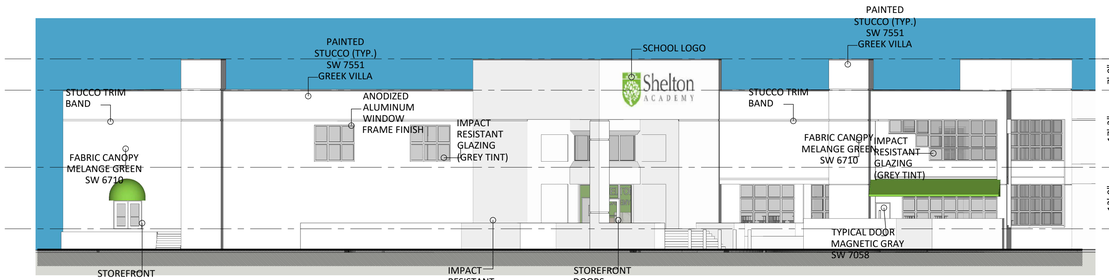
TYPICAL CLASSROOM WINDOW



TYPICAL ADMINISTRATION WINDOW (EXISTING TO REMAIN)



ANODIZED ALUMINUM WINDOW FRAME FINISH

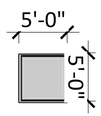


NORTH ELEVATION (2 / EL-1.1)

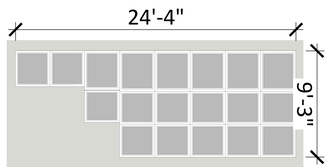
64' 32' 16' 0

SCALE: 1/16" = 1'-0"

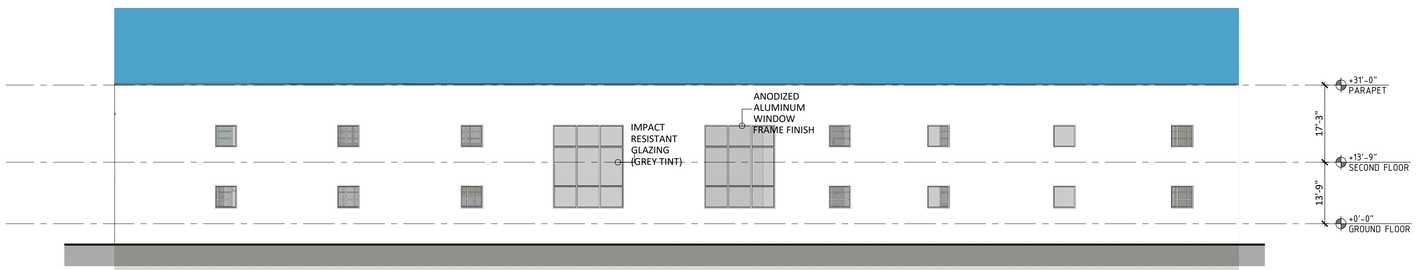
TYPICAL CLASSROOM WINDOW



TYPICAL ADMINISTRATION WINDOW (EXISTING TO REMAIN)



ANODIZED ALUMINUM WINDOW FRAME FINISH



EAST ELEVATION (1 / EL-1.1)

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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APPLICANT:

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STE 1205
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ISSUED FOR:

SITE PLAN APPROVAL

CIVICA PROJECT No :
200202

No.	DATE	REVISION	BY

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APPROVED BY: RL
DATE: 2/26/2020
SCALE: AS SHOWN

KEY PLAN

SEAL/SIGNATURE

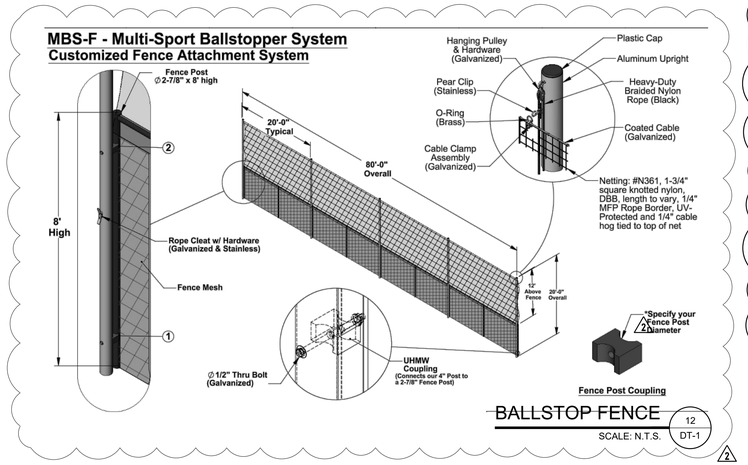
ROLANDO LLANES
AR - 0013160

SHEET TITLE

RENDERED ELEVATIONS

SHEET NUMBER

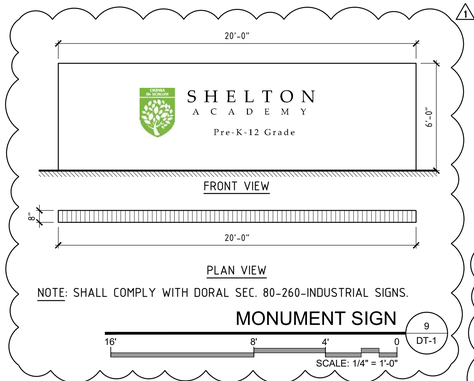
EL-2



BALLSTOP FENCE

SCALE: N.T.S.

12 DT-1



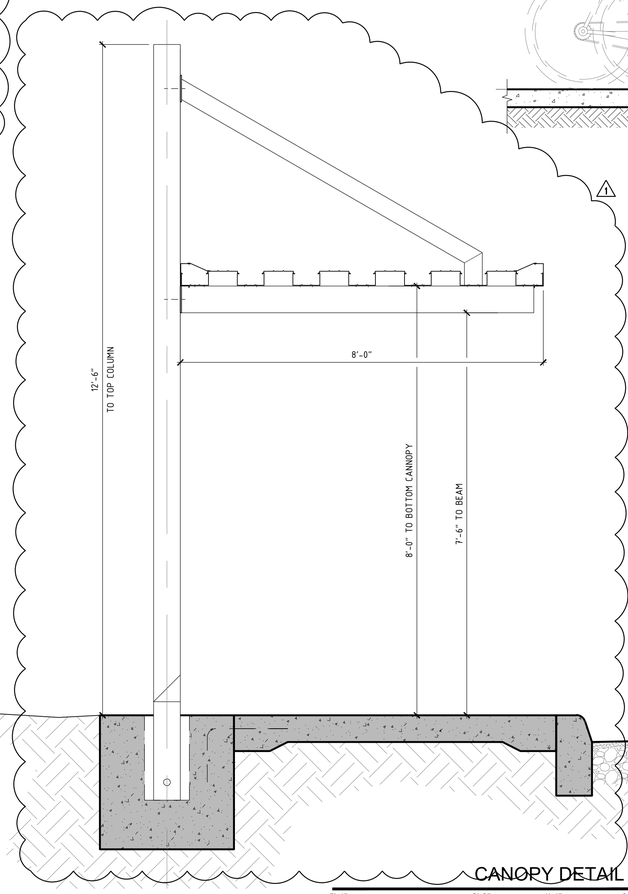
NOTE: SHALL COMPLY WITH DORAL SEC. 80-260-INDUSTRIAL SIGNS.

MONUMENT SIGN

16' 8' 4' 0

SCALE: 1/4" = 1'-0"

9 DT-1

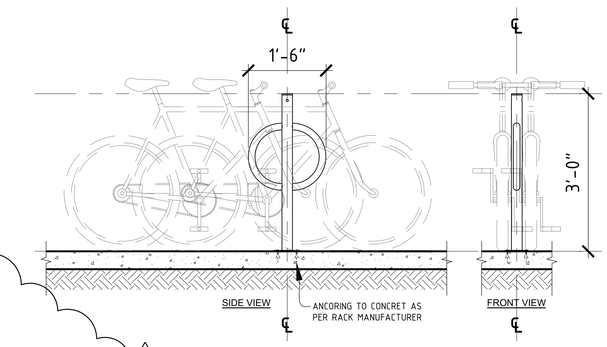


CANOPY DETAIL

5'-4" 2'-8" 1'-4" 0

SCALE: 3/4" = 1'-0"

6 DT-1

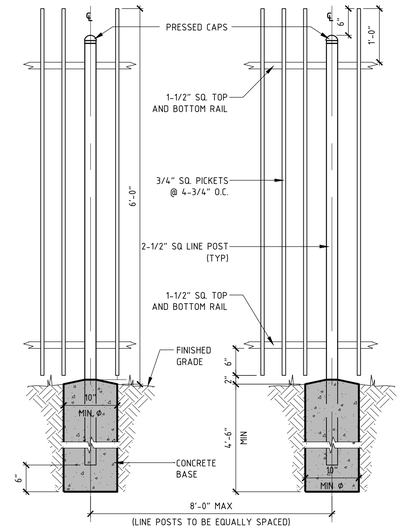


BIKE RACK DETAIL

5'-4" 2'-8" 1'-4" 0

SCALE: 3/4" = 1'-0"

7 DT-1

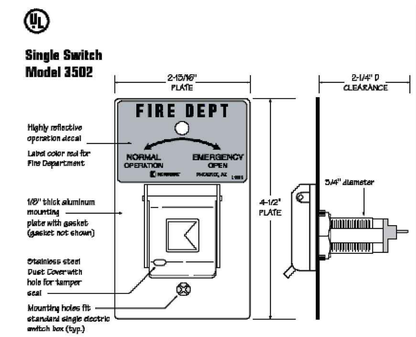


METAL PICKET FENCE DETAIL

16' 8' 4' 0

SCALE: 1/4" = 1'-0"

5 DT-1



KNOX PADLOCK MODEL 3753

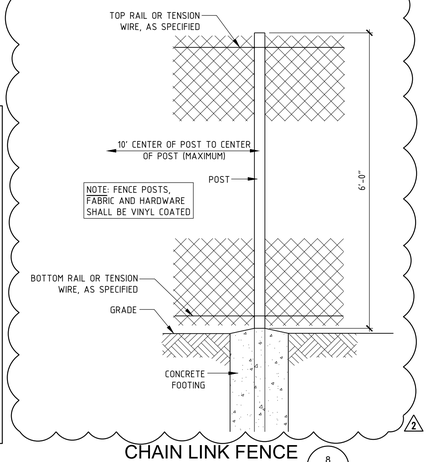
EXTERIOR ALL CONDITIONS 3/8 IN. DIAMETER STAINLESS STEEL SHACKLE WITH 2-1/8 IN. CLEARANCE. PADLOCK DESIGNED TO SECURE EXTERIOR PERIMETER AND FIRE ACCESS GATES. HEAVY-DUTY BRASS BODY PROTECTED BY EPDM BOOT WITH SHACKLE SEAL. MEDECO LOCK CYLINDER HAS UL 437 RATING.

NOTE: SHALL BE LOCATED AT ALL LOCKABLE GATED BUILDING ENTRANCES.

FIRE DEPARTMENT KEY ACCESS BOX

SCALE: N.T.S.

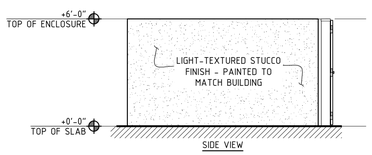
11 DT-1

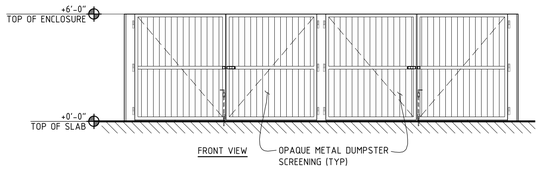


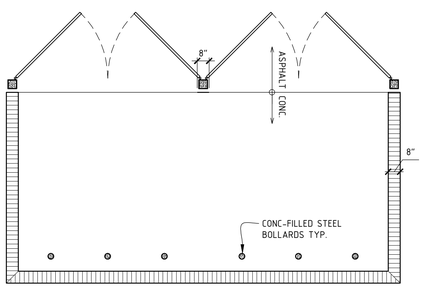
CHAIN LINK FENCE

SCALE: N.T.S.

8 DT-1





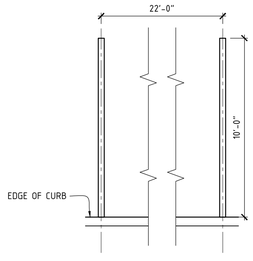


SCHOOL DUMPSTER ENCLOSURE

16' 8' 4' 0

SCALE: 1/4" = 1'-0"

10 DT-1

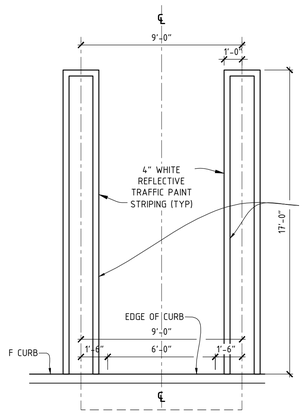


TYP. PARALLEL STALL

16' 8' 4' 0

SCALE: 1/4" = 1'-0"

4 DT-1

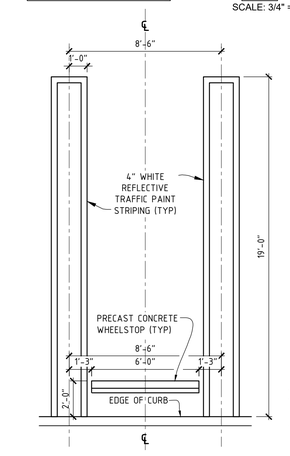


TYP. SURFACE STALL

16' 8' 4' 0

SCALE: 1/4" = 1'-0"

3 DT-1

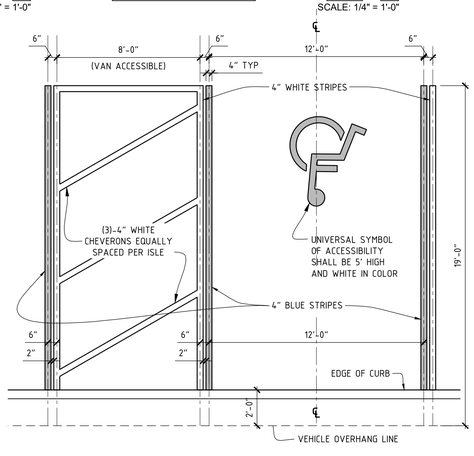


TYP. GARAGE STALL

16' 8' 4' 0

SCALE: 1/4" = 1'-0"

2 DT-1



TYP. ADA STALL

16' 8' 4' 0

SCALE: 1/4" = 1'-0"

1 DT-1

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No.	DATE	REVISION	BY
1	11/2020	ZONING	AD
2	12/2020	ZONING	AD

ISSUED FOR:
SITE PLAN APPROVAL

CIVICA PROJECT No : 200202

DRAWN BY: APPROVED BY:

DATE: SCALE:

KEY PLAN

SEAL/SIGNATURE

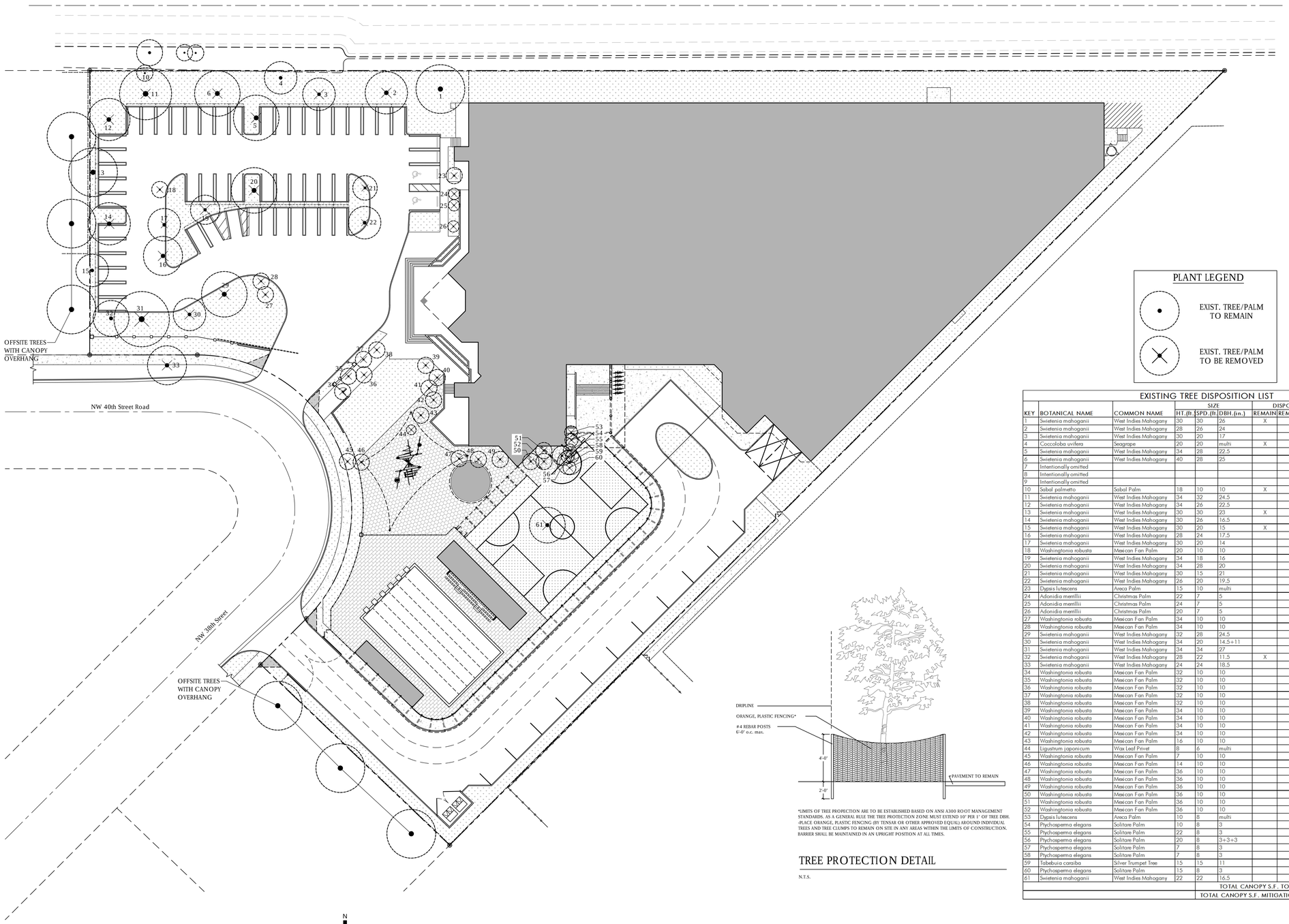
ROLANDO LLANES
AR - 0013160

SHEET TITLE

SITE DETAILS

SHEET NUMBER

DT-1



PLANT LEGEND

EXIST. TREE/PALM TO REMAIN

EXIST. TREE/PALM TO BE REMOVED

EXISTING TREE DISPOSITION LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE HT.(ft.)	SIZE SPD.(ft.)	SIZE DBH.(in.)	DISPOSITION REMAIN	DISPOSITION REMOVE	DISPOSITION TRANSPL.	MITIGATION S.F. CANOPY
1	Swietenia mahoganii	West Indies Mahogany	30	30	26	X			
2	Swietenia mahoganii	West Indies Mahogany	28	26	24		X		1062
3	Swietenia mahoganii	West Indies Mahogany	30	20	17		X		628
4	Coccoloba uvifera	Seagrape	20	20	multi	X			
5	Swietenia mahoganii	West Indies Mahogany	34	28	22.5		X		1231
6	Swietenia mahoganii	West Indies Mahogany	40	28	25		X		1231
7	Intentionally omitted								
8	Intentionally omitted								
9	Intentionally omitted								
10	Sabal palmetto	Sabal Palm	18	10	10	X			
11	Swietenia mahoganii	West Indies Mahogany	34	32	24.5		X		1608
12	Swietenia mahoganii	West Indies Mahogany	34	26	22.5		X		1062
13	Swietenia mahoganii	West Indies Mahogany	30	30	23	X			
14	Swietenia mahoganii	West Indies Mahogany	30	26	16.5		X		531
15	Swietenia mahoganii	West Indies Mahogany	30	20	15	X			
16	Swietenia mahoganii	West Indies Mahogany	28	24	17.5		X		452
17	Swietenia mahoganii	West Indies Mahogany	30	20	14		X		314
18	Washingtonia robusta	Mexican Fan Palm	20	10	10		X		n/a (invasive)
19	Swietenia mahoganii	West Indies Mahogany	34	18	16		X		254
20	Swietenia mahoganii	West Indies Mahogany	34	28	20		X		1231
21	Swietenia mahoganii	West Indies Mahogany	30	15	21		X		353
22	Swietenia mahoganii	West Indies Mahogany	26	20	19.5		X		628
23	Dypsis lutescens	Areca Palm	15	10	multi		X		79
24	Adonidia merrillii	Christmas Palm	22	7	5		X		38
25	Adonidia merrillii	Christmas Palm	24	7	5		X		38
26	Adonidia merrillii	Christmas Palm	20	7	5		X		38
27	Washingtonia robusta	Mexican Fan Palm	34	10	10		X		n/a (invasive)
28	Washingtonia robusta	Mexican Fan Palm	34	10	10		X		n/a (invasive)
29	Swietenia mahoganii	West Indies Mahogany	32	28	24.5		X		1231
30	Swietenia mahoganii	West Indies Mahogany	34	20	14.5+11		X		628
31	Swietenia mahoganii	West Indies Mahogany	34	34	27		X		1816
32	Swietenia mahoganii	West Indies Mahogany	28	22	11.5	X			
33	Swietenia mahoganii	West Indies Mahogany	24	24	18.5		X		905
34	Washingtonia robusta	Mexican Fan Palm	32	10	10		X		n/a (invasive)
35	Washingtonia robusta	Mexican Fan Palm	32	10	10		X		n/a (invasive)
36	Washingtonia robusta	Mexican Fan Palm	32	10	10		X		n/a (invasive)
37	Washingtonia robusta	Mexican Fan Palm	32	10	10		X		n/a (invasive)
38	Washingtonia robusta	Mexican Fan Palm	32	10	10		X		n/a (invasive)
39	Washingtonia robusta	Mexican Fan Palm	34	10	10		X		n/a (invasive)
40	Washingtonia robusta	Mexican Fan Palm	34	10	10		X		n/a (invasive)
41	Washingtonia robusta	Mexican Fan Palm	34	10	10		X		n/a (invasive)
42	Washingtonia robusta	Mexican Fan Palm	34	10	10		X		n/a (invasive)
43	Washingtonia robusta	Mexican Fan Palm	16	10	10		X		n/a (invasive)
44	Ligustrum japonicum	Wax Leaf Privet	8	6	multi		X		57
45	Washingtonia robusta	Mexican Fan Palm	17	10	10		X		n/a (invasive)
46	Washingtonia robusta	Mexican Fan Palm	14	10	10		X		n/a (invasive)
47	Washingtonia robusta	Mexican Fan Palm	36	10	10		X		n/a (invasive)
48	Washingtonia robusta	Mexican Fan Palm	36	10	10		X		n/a (invasive)
49	Washingtonia robusta	Mexican Fan Palm	36	10	10		X		n/a (invasive)
50	Washingtonia robusta	Mexican Fan Palm	36	10	10		X		n/a (invasive)
51	Washingtonia robusta	Mexican Fan Palm	36	10	10		X		n/a (invasive)
52	Washingtonia robusta	Mexican Fan Palm	36	10	10		X		n/a (invasive)
53	Dypsis lutescens	Areca Palm	10	8	multi		X		101
54	Ptychosperma elegans	Solitare Palm	10	8	3		X		101
55	Ptychosperma elegans	Solitare Palm	22	8	3		X		101
56	Ptychosperma elegans	Solitare Palm	20	8	3+3+3		X		101
57	Ptychosperma elegans	Solitare Palm	7	8	3		X		101
58	Ptychosperma elegans	Solitare Palm	7	8	3		X		101
59	Tabebuia caraiba	Silver Trumpet Tree	15	15	11		X		353
60	Ptychosperma elegans	Solitare Palm	15	8	3		X		101
61	Swietenia mahoganii	West Indies Mahogany	22	22	16.5		X		760
						TOTAL CANOPY S.F. TO BE REPLACED			17,237
						TOTAL CANOPY S.F. MITIGATION PROVIDED			24,750

*LIMITS OF TREE PROPECTION ARE TO BE ESTABLISHED BASED ON ANSI A300 ROOT MANAGEMENT STANDARDS. AS A GENERAL RULE THE TREE PROTECTION ZONE MUST EXTEND 10' PER 1" OF TREE DBH. -PLACE ORANGE, PLASTIC FENCING (BY TENSAR OR OTHER APPROVED EQUAL) AROUND INDIVIDUAL TREES AND TREE CLUMPS TO REMAIN ON SITE IN ANY AREAS WITHIN THE LIMITS OF CONSTRUCTION. BARRIER SHALL BE MAINTAINED IN AN UPRIGHT POSITION AT ALL TIMES.

TREE PROTECTION DETAIL

N.T.S.

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PROJECT:

SHELTON ACADEMY
9455 NW 40ST ROAD
DORAL, FL 33178

APPLICANT:

SHELTON ACADEMY
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ISSUED FOR:

SITE PLAN APPROVAL

CIVICA PROJECT No :

200202

GARDNER + SEMLER LANDSCAPE ARCHITECTURE
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CORP. ID #800026

No.	DATE	REVISION	BY

DRAWN BY: CG
APPROVED BY: KS
DATE: 4/1/2020
SCALE: AS SHOWN

KEY PLAN

SEAL/SIGNATURE

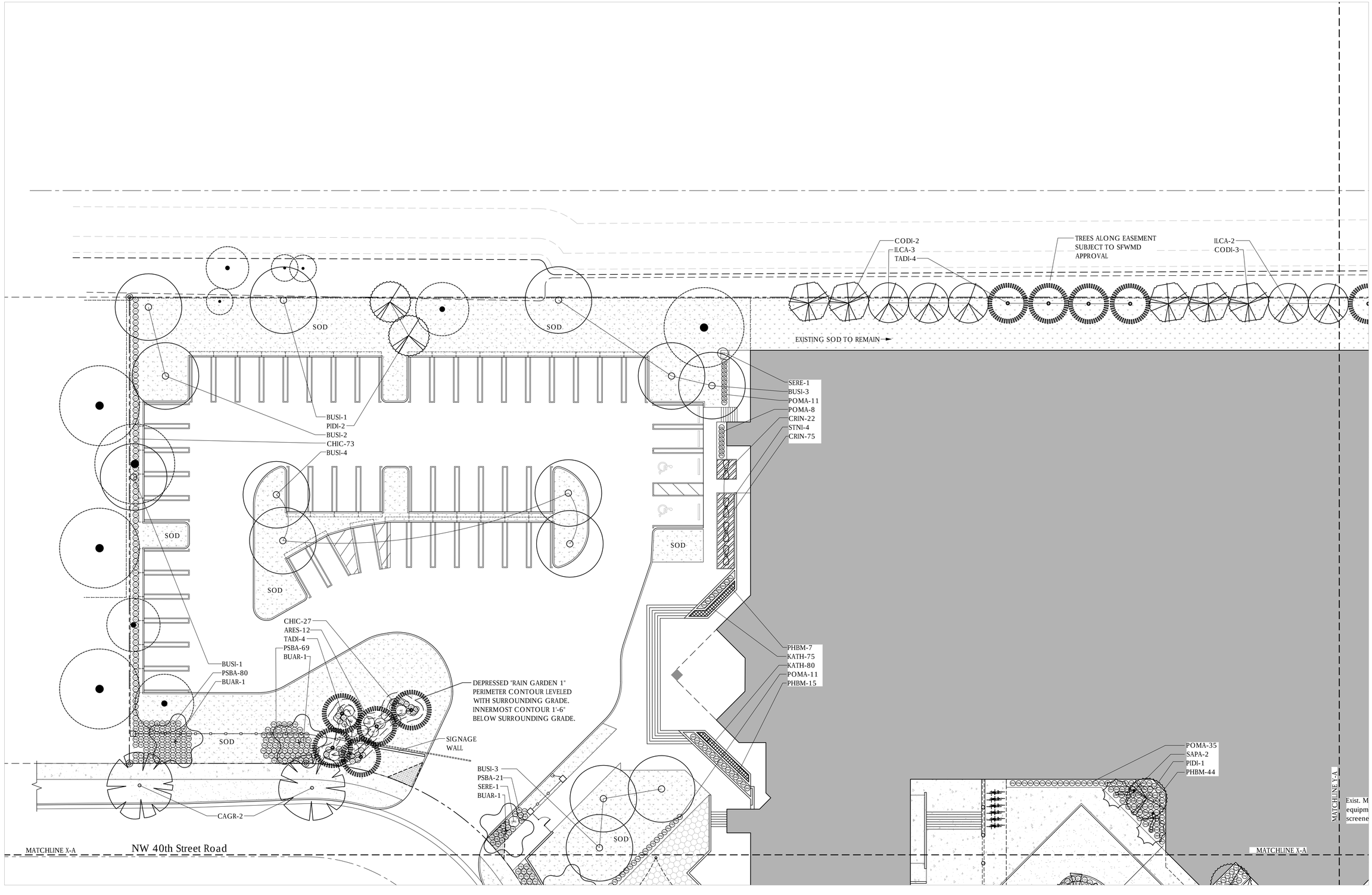
TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE

EXISTING TREE DISPOSITION PLAN

SHEET NUMBER

LA 101



APPLICABLE LID PROPOSALS:
-PROVIDING 8,400 S.F. OF PERMEABLE PAVING/PARKING ON SITE
-GRADING SITE TO RETAIN ALL STORMWATER ON SITE

PLANTING PLAN WITH SURFACE PARKING LOT

1 LA 102

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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CORP. ID #800026

No.	DATE	REVISION	BY

DRAWN BY	APPROVED BY
CG	KS
DATE	SCALE:
4/1/2020	AS SHOWN

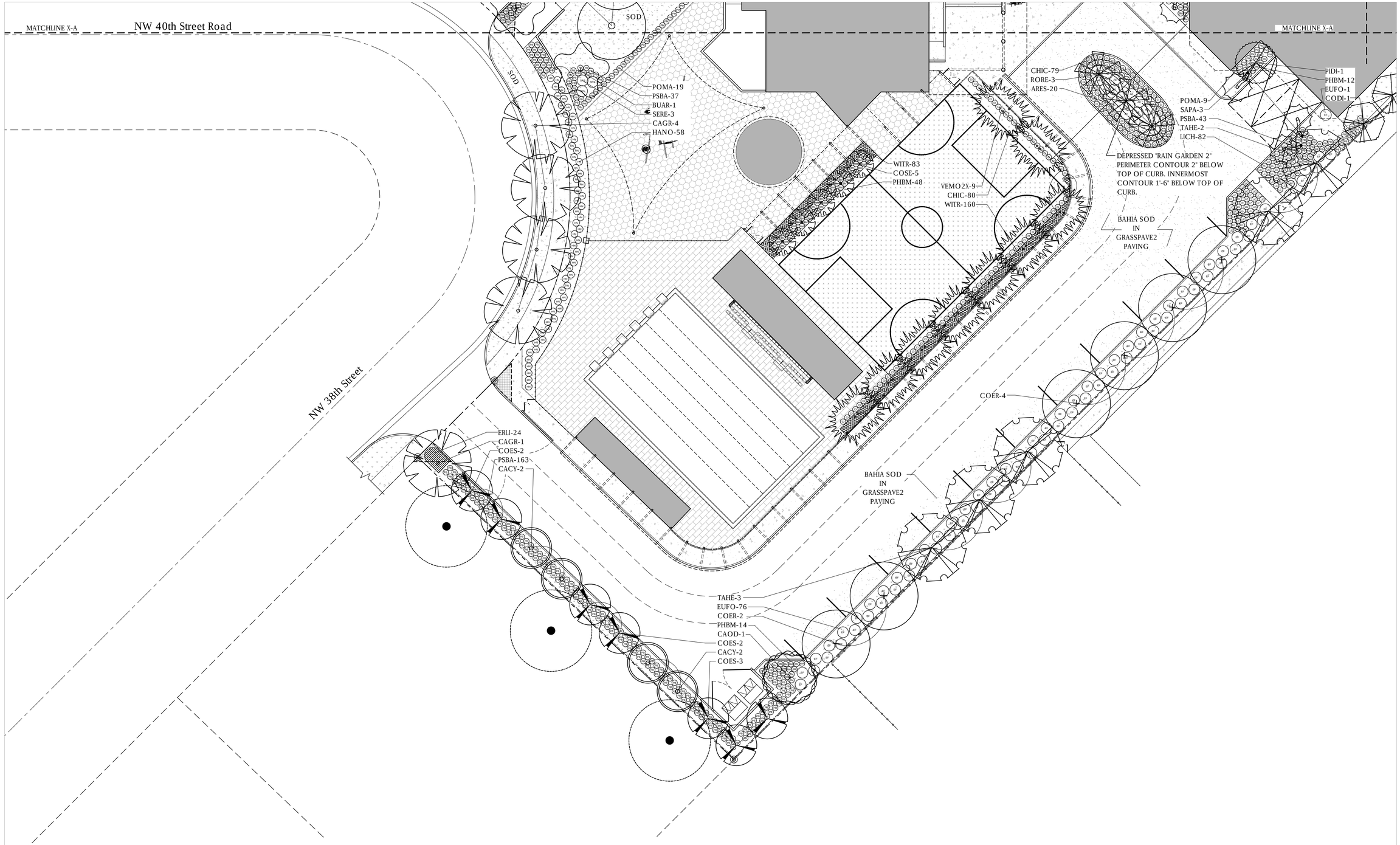
KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE
PLANTING PLAN WITH SURFACE PARKING LOT

SHEET NUMBER
LA 102



APPLICABLE LID PROPOSALS:
-PROVIDING 8,400 S.F. OF PERMEABLE PAVING/PARKING ON SITE
-GRADING SITE TO RETAIN ALL STORMWATER ON SITE

PLANTING PLAN WITH SURFACE PARKING LOT

2 LA 103

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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ISSUED FOR:
SITE PLAN APPROVAL

CIVICA PROJECT No :
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CORP. ID#8000236

No.	DATE	REVISION	BY

DRAWN BY: CG
APPROVED BY: KS
DATE: 4/1/2020
SCALE: AS SHOWN

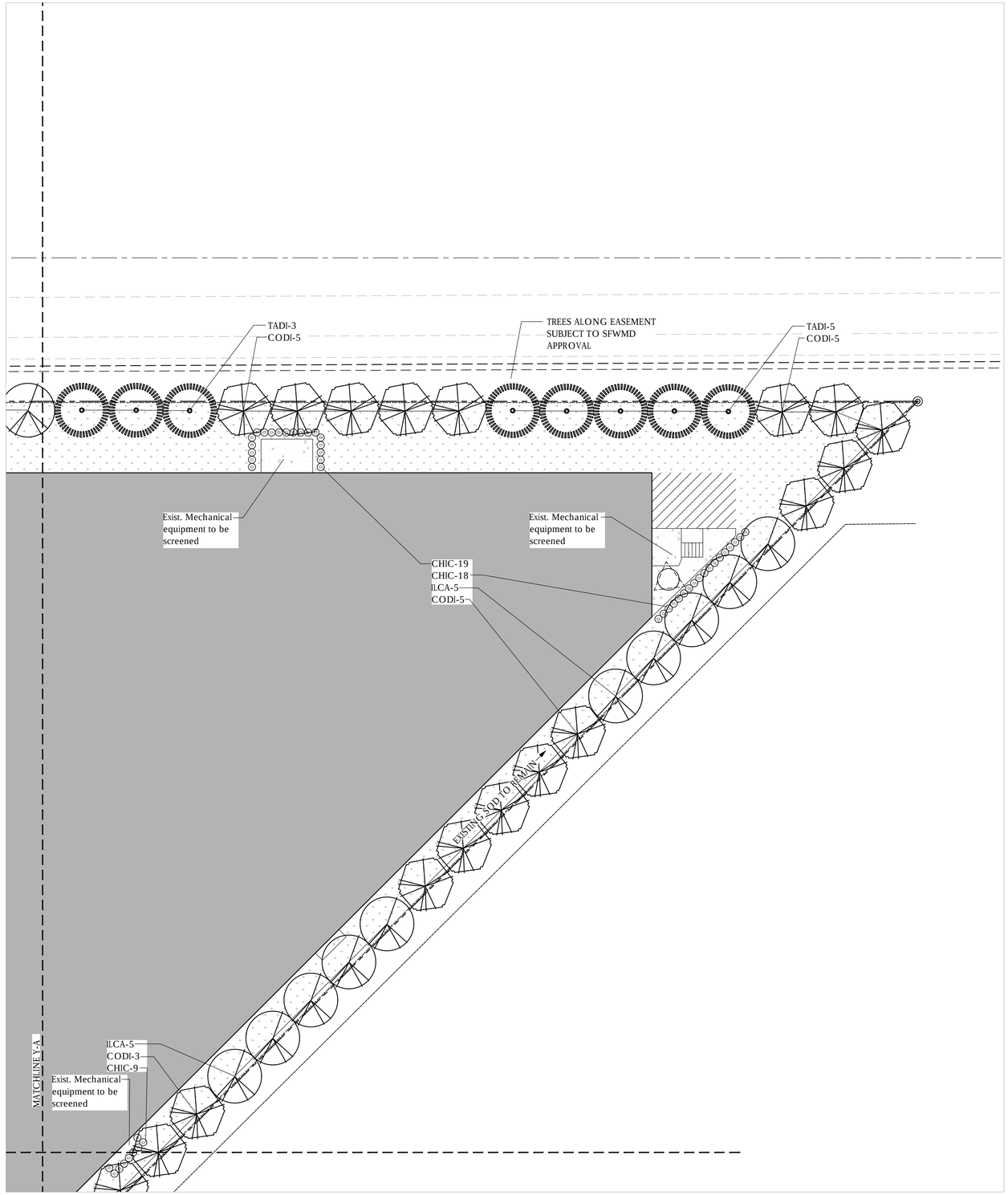
KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE
PLANTING PLAN WITH SURFACE PARKING LOT

SHEET NUMBER
LA 103



APPLICABLE LID PROPOSALS:
-PROVIDING 8,400 S.F. OF PERMEABLE PAVING/PARKING ON SITE
-GRADING SITE TO RETAIN ALL STORMWATER ON SITE

PLANT LIST WITH SURFACE PARKING LOT

KEY	PLANT NAME	QTY.	UT.	SIZE
TREES				
BUAR	Bulnesia arborea ...Verawood	4	ea.	14' Tall; 4" Cal
BUSI	Bursera simaruba ...Gumbo Limbo	14	ea.	14' Ht. x 6' sp; 4" Cal
CACY	Capparis cynophallophora ...Jamaican Caper	4	ea.	12' Ht. x 5' sp; 2.5" Cal
CAGR	Caesalpinia granadillo ...Bridalveil Tree	7	ea.	12' Ht. x 5' sp; 2.5" Cal
CAOD	Cananga odorata ...Ylang Ylang	1	ea.	12' Ht. x 5' sp; 2.5" Cal
CODI	Coccoloba diversifolia ...Pigeon Plum	25	ea.	10' Ht. x 5' Sp; 2.5" Cal. Min.
COER	Conocarpus erectus ...Green Buttonwood	6	ea.	12' Ht. x 5' sp; 2.5" Cal
COES	Conocarpus erectus "Sericeus" ...Silver Buttonwood	7	ea.	10' Ht. x 5' Sp; Multi-trunk adding up to 2.5" Cal. Min.
COSE	Cordia sebestena ...Gieger Tree	5	ea.	12' Ht. x 5' Sp; 2.5" Cal
ILCA	Ilex cassine ...Dahoon Holly	15	ea.	10' Ht. x 5' Sp; 2.5" Cal. Min.
PIDI	Pimenta dioica ...Allspice Tree	4	ea.	10' Ht. x 5' Sp; 2.5" Cal. Min.
TADI	Taxodium distichum ...Bald Cypress	17	ea.	14' Ht. x 6' Sp; 4" Cal. Min.
TAHE	Tabebuia heterophylla ...Pink Trumpet Tree	5	ea.	12' ht. x 5' sp. 2.5" Cal
PALMS				
KEY	**PLANT NAME**	**QTY.**	**UT.**	**SIZE**
RORE	Roystonea regia ...Royal Palm	3	ea.	26' Tall OA
SAPA	Sabal palmetto ...Sabal Palm	5	ea.	3@28' Tall OA, 2@30' Tall OA, curved/character trunk, hurricane cut
VEMO2X	Veitchiia montgomeryana ...Montgomery Palm	9	ea.	22' Tall OA
SHRUBS AND GROUNDCOVERS				
KEY	**PLANT NAME**	**QTY.**	**UT.**	**SIZE**
ARES	Ardisia escllanoides ...Marlberry	11	ea.	30"x24"
CHIC	Chrysobalanus icaco ...Cocoplum	305	ea.	18" x 18"; 24" O.C.
CRIN	Crossandra infundibuliformis ...Firecracker Flower	97	ea.	3 Gal Cans;18"x18", install 18" O.C.
ERLI	Ernodea littoralis ...Golden Creeper	24	ea.	3 Gal Cans; 18" O.C.
EUFO	Eugenia foetida ...Spanish Stopper	77	ea.	24" x 24"
HANO	Hamelia nodosa ...Dwarf Firebush	58	ea.	18"x18"
KATH	Kalanchoe thyrsiflora ...Paddle Plant	155	ea.	6" pots, install 9" o.c.
LICH	Loropetalum chinense "Rubrum" ...Fringe-flower	82	ea.	18"x18"
PHBM	Philodendron "Blue Marx" ...Burle Marx Philodendron	140	ea.	3 Gal Cans; Full
POMA	Podocarpus macrophyllus ...Podocarpus	93	ea.	30" x 18"; 18" O.C.
PSBA	Psychotria bahamensis ...Bahamas Wild Coffee	417	ea.	24" x 24"
SERE(s)	Serenoa repens "Silver" ...Saw Palmetto	5	ea.	24" x 24"
STNI	Strelitzia nicolai ...White Bird of Paradise	4	ea.	6' Tall O.A.
WITR	Widelia trilobata ...Widelia	243	ea.	1 Gal, Cans; 18" O.C.
ZAPU	Zamia pumiila ...Coontie	27	ea.	24"x24"
MISCELLANEOUS				
sod	St. Augustine "Palmetto"	13095	s.f.	solid sod
sod	Bahia Sod	8209	s.f.	solid sod, install in Grasspave2
	Planting Soil 70% Silica Sand 20% Everglades Muck 10% Shredded Pinebark	390	c.y.	excavate and backfill 12" in all shrub/tree areas
	Shredded Melaleuca Mulch	95	c.y.	2" layer in all shrub beds

LANDSCAPE LEGEND (This information to be permanently affixed to the plan.)

Zoning District: O-1 | Net Lot Area: 3.99 (acres) | 173,958 (square feet)

		REQUIRED	PROVIDED
OPEN SPACE REQUIREMENTS			
A.	Square feet of open space required, as indicated on site plan:	52,187	108,332
	Net Lot area = 173,958 square feet x 30 % = 52,187 square feet		
B.	Square feet of parking lot open space required, as indicated on site plan:	630	630
	The number of parking spaces 63 x 10 square feet per parking space =		
C.	Total square feet of open space required by = A+B=	52,817	108,962
LAWN AREA CALCULATION		REQUIRED	PROVIDED
A.	Total square feet of open space required =	52,817	108,962
B.	Maximum lawn area (St. Augustine sod) permitted = 30 % = 32689 square feet =	32,689	12,804
TREES		REQUIRED	PROVIDED
A.	The number of trees required per net lot acre		
	= 28 trees x net lot acreage =		
	TOTAL SITE TREES REQUIRED	112	112
	less the existing number of trees that meet the minimum requirements (minus)	8	8
	TOTAL NEW SITE TREES REQUIRED	104	104
B.	Street trees (max. average spacing of 35' o.c.): 330 linear feet along street / 35 =	10	10
	Palms as street trees (max. average spacing of 25' o.c. 0 linear feet along street / 25 =	-	0
	Street trees located directly beneath power lines (Max. average spacing 25' o.c.):		
	0 linear feet along street / 25 =	-	
	TOTAL STREET TREES REQUIRED	10	10
	GRAND TOTAL TREES REQUIRED	122	122
	GRAND TOTAL NEW TREES REQUIRED	114	114
C.	30% palm species allowed (two palms = one tree) Palms provided =	73	17
D.	Percentage of native trees required = number of trees provided x 30% =	37	78
SHRUBS		REQUIRED	PROVIDED
A.	The total number of trees required x 10 = the number of shrubs required	1,220	1316
B.	The total number of trees required x 50% = the number of native shrubs required	610	727

IRRIGATION: Required Auto Irrigation | X | or hose bib | | provided.

N

PLANTING PLAN WITH SURFACE PARKING LOT

3 / LA 104

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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PROJECT:
SHELTON ACADEMY
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DORAL, FL 33178

APPLICANT:
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ISSUED FOR:
SITE PLAN APPROVAL

CIVICA PROJECT No :
200202

GARDNER + SEMLER LANDSCAPE ARCHITECTURE
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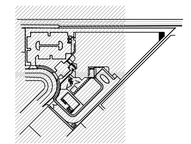
No.	DATE	REVISION	BY

DRAWN BY: CG
APPROVED BY: KS
DATE: 4/1/2020
SCALE: AS SHOWN



KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE
PLANTING PLAN WITH SURFACE PARKING LOT

SHEET NUMBER
LA 104

DEPRESSED RAIN GARDEN 1

SCALE: N.T.S.

1
LA 105

DEPRESSED RAIN GARDEN 1
PERIMETER CONTOUR LEVELED WITH SURROUNDING GRADE.
INNERMOST CONTOUR 1'-6" BELOW
SURROUNDING GRADE.

DEPRESSED RAIN GARDEN 2

SCALE: N.T.S.

2
LA 105

DEPRESSED RAIN GARDEN 2
PERIMETER CONTOUR LEVELED 2" BELOW TOP OF CURB.
INNERMOST CONTOUR 1'-6" BELOW
TOP OF CURB.

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DORAL, FL 33178

APPLICANT:

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FAX 305-599-8565
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ISSUED FOR:

SITE PLAN APPROVAL

CIVICA PROJECT No :

200202

GARDNER + SEMLER
LANDSCAPE ARCHITECTURE
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GSLA DESIGN
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P 305.392.1916 F 305.392.1919
C O R P . I D # 8 0 0 0 2 4 6

No.	DATE	REVISION	BY

DRAWN BY	APPROVED BY
CG	KS
DATE	SCALE:
4/1/2020	AS SHOWN

KEY PLAN

SEAL/SIGNATURE

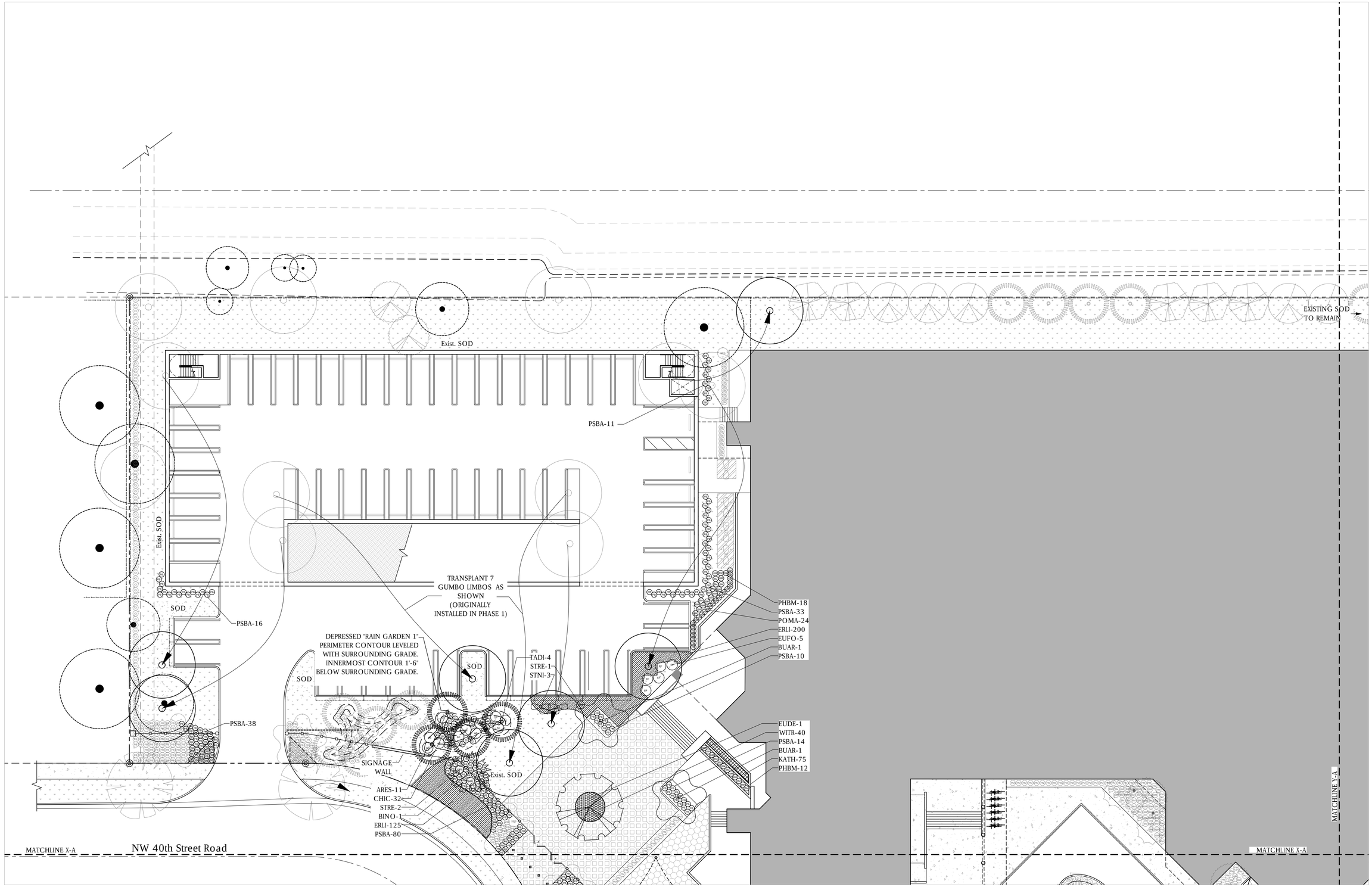
TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE

RAIN GARDEN
CROSS SECTIONS

SHEET NUMBER

LA 105



PLANTING PLAN WITH PARKING GARAGE

1 LA 106

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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CORP. ID #800026

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CG	KS
DATE	SCALE:
4/1/2020	AS SHOWN

KEY PLAN

SEAL/SIGNATURE

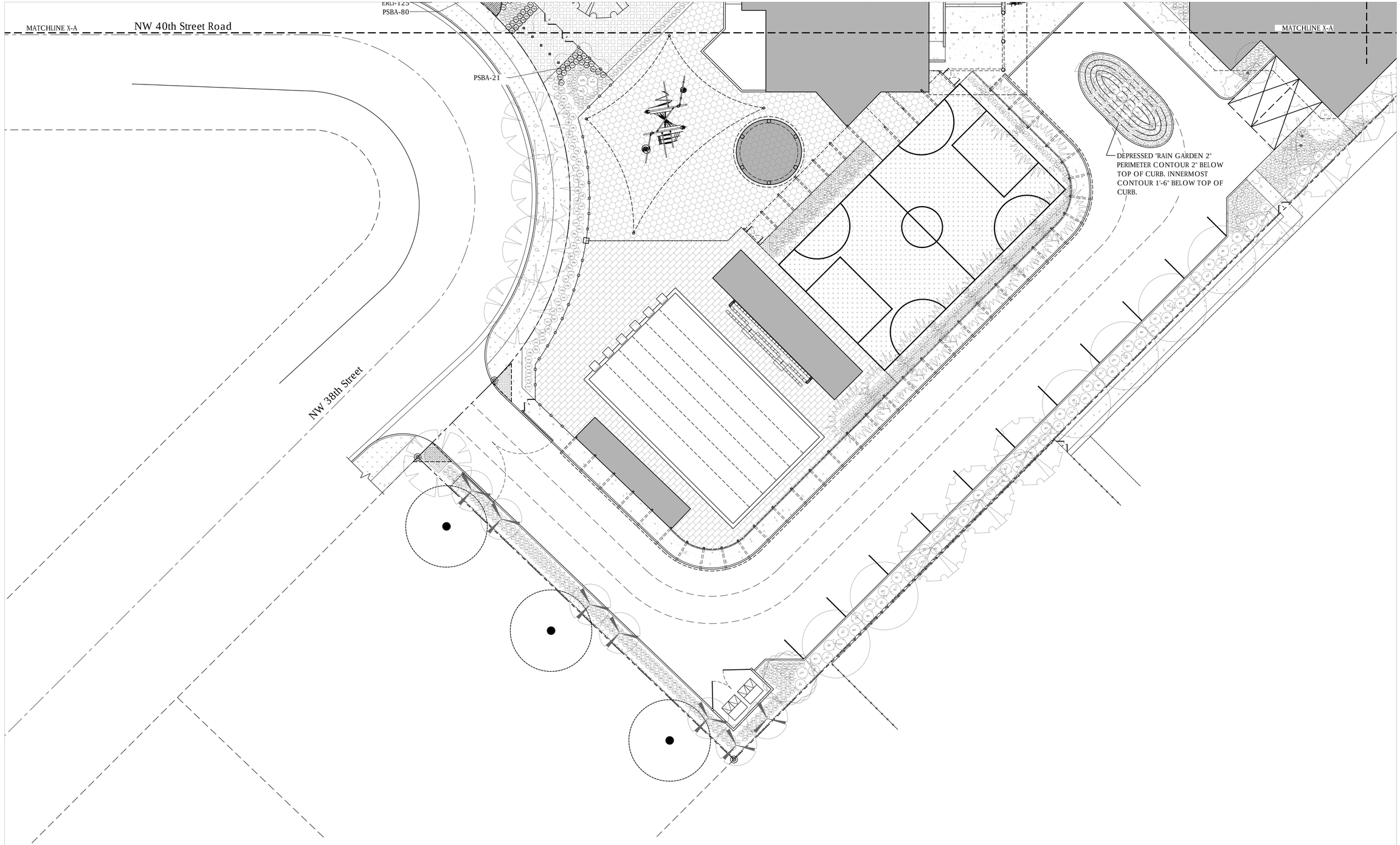
TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE

PLANTING PLAN
WITH
PARKING GARAGE

SHEET NUMBER

LA 106



NOTE: NO NEW PLANTING ON THIS SHEET

PLANTING PLAN WITH PARKING GARAGE

2 LA 107

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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CORP. ID #800026 6

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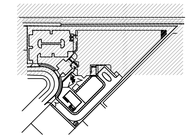
4/1/2020	AS SHOWN



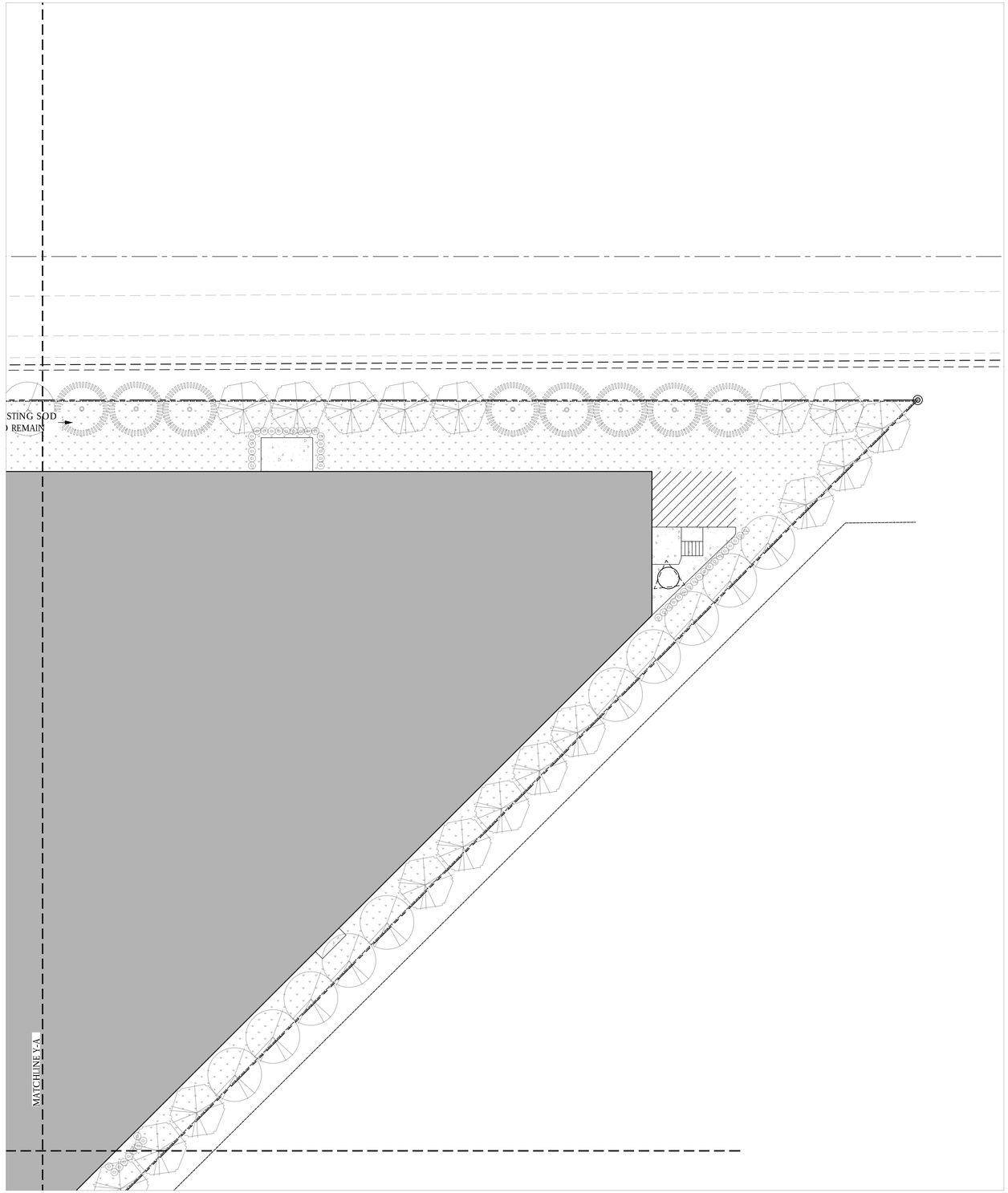
KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE
PLANTING PLAN WITH PARKING GARAGE

SHEET NUMBER
LA 107



NOTE: NO NEW PLANTING ON THIS SHEET

PLANT LIST WITH PARKING GARAGE				
TREES				
KEY	PLANT NAME	QTY.	UT.	SIZE
BUAR	Bulnesia arborea ...Verawood	2	ea.	14' Tall; 4" Cal
EUDE	Eucalytpus deglupta ...Rainbow Eucalyptus	1	ea.	12' Ht. x 5' sp; 2.5" Cal
TADI	Taxodium distichum ...Bald Cypress	4	ea.	14' Ht. x 6' Sp; 4" Cal. Min.
PALMS				
KEY	PLANT NAME	QTY.	UT.	SIZE
BINO	Bismarckia nobilis ...Bismarck Palm	1	ea.	5' CW
SHRUBS AND GROUNDCOVERS				
KEY	PLANT NAME	QTY.	UT.	SIZE
ARES	Ardisia escllanoides ...Marlberry	11	ea.	30"x24"
CHIC	Chrysobalanus icaco ...Cocoplum	32	ea.	18" x 18"; 24" O.C.
ERLI	Ernodea littoralis ...Golden Creeper	325	ea.	3 Gal Cans; 18" O.C.
EUFO	Eugenia foetida ...Spanish Stopper	5	ea.	24" x 24"
KATH	Kalanchoe thrysiflora ...Paddle Plant	75	ea.	6" pots, install 9" o.c.
PHBM	Philodendron "Blue Marx" ...Burle Marx Philodendron	30	ea.	3 Gal Cans; Full
POMA	Podocarpus macrophyllus ...Podocarpus	24	ea.	30" x 18"; 18" O.C.
PSBA	Psychotria bahamensis ...Bahamas Wild Coffee	223	ea.	24" x 24"
STNI	Strelitzia nicolai ...White Bird of Paradise	3	ea.	6' Tall O.A.
STRE	Strelitzia reginae ...Bird of Paradise	3	ea.	48"x48"
WITR	Widelia trilobata ...Widelia	40	ea.	1 Gal, Cans; 18" O.C.
MISCELLANEOUS				
sod	St. Augustine "Palmetto"	13095	s.f.	solid sod
sod	Bahia Sod	8209	s.f.	solid sod, install in Grasspave2
	Planting Soil 70% Silica Sand 20% Everglades Muck 10% Shredded Pinebark	390	c.y.	excavate and backfill 12" in all shrub/tree areas
	Shredded Melaleuca Mulch	95	c.y.	2" layer in all shrub beds

N

PLANTING PLAN WITH PARKING GARAGE

3
LA 108

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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No.	DATE	REVISION	BY

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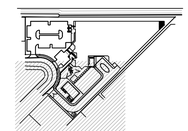
CG	KS
DATE	SCALE:
4/1/2020	AS SHOWN



KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE

PLANTING PLAN WITH PARKING GARAGE

SHEET NUMBER

LA 108

LANDSCAPE SPECIFICATIONS
PART 1 - GENERAL

1.1 SCOPE
A. Contractor shall provide all labor, materials, equipment, supervision, and related work necessary to complete the landscape work in accordance with the intent of the landscape plans, schedules and these specifications. The extent of work is shown on the drawings which are a part of this document.

1.2 CONTRACTOR QUALIFICATIONS
A. Landscape installation work to be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNGLA) as a Certified Landscape Contractor. Any pruning to be supervised by an Arborist, certified by the International Society of Arboriculture (ISA) and licensed in Miami-Dade County.

1.3 INVESTIGATION OF UTILITIES
A. Prior to beginning work, the Contractor shall be responsible to locate existing underground utilities. Check with all utility companies and Sunshine State, call (811).

1.4 SUBSTITUTIONS
A. Only materials specified will be accepted, unless approved in writing by the Landscape Architect in advance.

1.5 PLANT SIZES
A. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list. When plant sizes are specified as a range of size, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.

1.6 PLANT QUALITY
A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species; healthy, vigorous, free from insects, disease and injury.

B. The Owner or Landscape Architect reserves the right to refuse any plant material which does not conform to the intent of the written specifications or design.

C. CIRCLING ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT IS DONE BEFORE PLANTING.

1.7 PLANT QUANTITY
A. The plant quantities shown on the plant list are to be used only as an aid to bidders. In the case of discrepancy between the plant list and the plan, the quantity on the plan shall override the plant list.

1.8 UNIT PRICES
A. The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price breakdown for all materials. The Owner may, at his discretion, add to or delete from the materials utilizing the unit price breakdown submitted to and accepted by the Owner.

1.9 SUBMITTALS
A. Fertilizer: The Contractor shall submit to the Owner and Landscape Architect documentation that all the fertilizer used for the project is of the analysis specified and placed at the rates specified in section 2.2 FERTILIZER.

B. Planting soil: The Contractor shall submit a sample of the planting soil (approximately 1 cu. Ft.) for approval by the Landscape Architect prior to delivery to the site.

1.10 CLEAN-UP & MAINTENANCE OF TRAFFIC
A. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.

B. At the end of each work day, the Contractor shall remove debris and shall barricade the un-filled holes in a manner appropriate in the path of pedestrians and motorists.

C. Upon completion of the work or any major portion of the work or as directed by the Landscape Architect, all debris and surplus material from his work shall be removed from the job site.

1.11 MAINTENANCE PRIOR TO ACCEPTANCE
A. The Contractor is responsible to maintain the plantings until they are accepted under the provisions of 1.12 "ACCEPTANCE OF INSTALLATION".

1. Plants: Begin maintenance immediately following the final plant installation operation for each plant and continue until all plant installation is complete and accepted. Maintenance shall include watering all plants, weeding, mulching, pest and disease control, tightening and repairing of guys, repair of braces, removal of dead growth, resetting of plants to proper grade or up-right position, restoration of plant saucer, litter pick-up in plant beds and other necessary operations to assure specified minimum grade of Florida No. 1.

2. Turf Areas: Begin maintenance of turf immediately following the placement of sod and continue until sod installation is complete and accepted. Maintenance shall include but not be limited to, watering, leveling, mowing, weed and pest control, fungus and disease control and other necessary operations as determined by the Landscape Architect and good nursery practice.

3. Re-setting or straightening trees and palms:
The Contractor shall re-set and/or straighten trees and palms as required at no additional cost to the Owner unless caused by sustained winds of 75 mph or more. Then, the costs of the operations may be charged to the owner. Re-set trees within 48 hours.

1.12 ACCEPTANCE OF INSTALLATION
A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect at the conclusion of the maintenance period. Written notice requesting such an inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date.

1.13 GUARANTEE
A. Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance. Plant material which is on the site and scheduled to be relocated is not covered by the guarantee except in the case of Contractor's negligence or work that has been done in an unworkman-like manner. The Contractor is not responsible for loss due to acts of god, (i.e.) sustained winds of 75 mph or more, floods, frost, lightning, vandalism or theft.

1.14 REPLACEMENT
A. Replacement shall be made during the guarantee period as directed by the Landscape Architect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional forty-five (45) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to aid in their establishment. At the end of the guarantee period, inspection will be made by the Landscape Architect, upon written notice requesting such inspection and submitted by the Contractor at least five (5) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as determined by the Landscape Architect. Replace these and any plants missing due to the Contractor's negligence as soon as conditions permit.

1. Materials and Operations: All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.

2. Cost of Replacements: A sum sufficient to cover the estimated cost of possible replacements, including material and labor will be retained by the Owner and paid to the Contractor after all replacements have been satisfactorily made and approved by the Landscape Architect.

PART 2 - MATERIALS

2.1 PLANTING SOIL
A. Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plans, measured by volume.

B. Soil for Sodded Areas: shall be coarse lawn sand.

2.2 FERTILIZER
A. Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: LESCO Palm Special 13-3-13 or equal, Sulfur coated with iron and other minor elements and maximum of 2% chlorine, or brand with equal analysis. The fertilizer shall be uniform in composition, dry and free flowing and shall be delivered to the site in the original unopened containers, bearing the manufacturer's guaranteed analysis. Fertilizer for sod and seeded areas shall be 8-6-8, 50% organically derived nitrogen, or equal.

2.3 WATER
A. The Contractor shall provide potable water on site, available from the start of planting. The Contractor is responsible to ascertain the location and accessibility of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.

2.4 MULCH
A. Mulch shall be as specified on the Plant List.

2.5 ROOT BARRIER MATERIAL
A. Root barrier material shall be 24' deep polypropolylene panels by DeepRoot or approved equal.

B. Install per details in the plans.

PART 3 - INSTALLATION PROCEDURES

3.1 LAYOUT
A. Verify location of all underground utilities and obstructions prior to excavation.

3.2 HERBICIDE TREATMENT
A. In all areas infected with weed and/or grass growth, a systemic herbicide shall be applied per manufacturer's rates. When it has been established where work will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule his work to allow more than one application to obtain at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and applicator to be used on this project, prior to execution of the full application.

3.3 PLANT PIT EXCAVATION AND BACKFILLING
A. Trees: See the Planting and Bracing Details and notes.

B. All planting holes shall be hand dug where machine dug holes may adversely affect utilities or improvements.

C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Space shrubs and provide setback from curb and pavements as shown in the plans.

D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.

3.4 WATERING
A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, (if one is provided). Contractor can adjust watering schedule during heavy rain season upon approval of the Landscape Architect.

AMOUNT OF WATER PER APPLICATION
For trees up to 5 inch caliper - 5 gallons
From 5 to 8 inch caliper - 25 gallons
9 inch and up caliper - 50 gallons

FREQUENCY OF WATER
Daily for the first week
3 times per week for weeks 2 - 5
2 times per week for weeks 6 - 8
1 time per week for weeks 9 - 12

B. Water in plants by thoroughly soaking of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling hole to eliminate any air pockets in the soil around the root ball.

C. Water shrubs, sod and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrub, sod, and groundcover for the time specified above, after installation of each section of the planting installed.

3.5 FERTILIZING
A. Add fertilizer on top of the surface of shrubs beds and tree and palms root balls two (2) months after installation. Fertilize sod within two (2) days after installing after planting of each segment of the job. Fertilizer shall be applied after soil has been well moistened. Fertilizer shall be washed off of plant leaves and stems immediately after application. Apply at the following rates:

1. Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over the root ball area.

2. Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.

3. Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.

4. Sod: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.

3.6 MULCHING
A. Spread mulch two (2) inches thick uniformly over the entire surface of shrubs and groundcover beds, depth measured after settling, unless otherwise specified in the plans. Provide 36" diameter bed of mulch, measured from outer edge of the trunk, for all trees and palms planted in sod areas. Keep mulch away from contact with the trunk. Create a 6" high ring of mulch at the outer edge of tree and palm holes.

3.7 GUYING AND BRACING
A. See the details bound herewith or made part of the plans.

3.8 SODDING
A. Provide a blanket of lawn sand as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

B. Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes. The sod shall be rolled with a 500 pound hand roller immediately after placing.

C. Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" from trees, measured from the edge of plant or tree trunk.

D. Sod shall be watered immediately after installation to uniformly wet the soil to at least two inches below the bottom of sod strips.

E. Apply fertilizer to the sod as specified in Section 3.5.

F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent pavement, or adjacent existing sod.

PLANT BED PREPARATION NOTES

1. In all areas where new sod and shrub and groundcover masses are to be planted, kill all existing weeds by treating with systemic herbicide prior to beginning soil preparation.

2. In all shrub and groundcover beds, excavate and backfill soil as described in "Plant List(s)". If no specific preparation is noted, prepare soil as described below for either condition, over the entire area to be planted:

Condition A:
If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil per plant list unless otherwise stated. Backfill the entire area of the shrub and groundcover beds with 18" planting soil (as specified in Plans) to within 2 inches of the adjacent pavement or top of curb. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

Condition B:
Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil per plant list into the existing soil to a depth of 18 inches unless otherwise stated. If required, excavate and remove the existing soil to lower the grade, so that the prepared mix is finished to a minimum of 2 inches below top of curb or adjacent walkway. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

For all sod areas, spread a 2" deep layer of lawn sand prior to sodding. Remove all debris and rocks and pebbles larger than 2 inchs in size and level the grade before sodding. Remove, if required, existing soil so that top of sod is flush with and adjacent top of curb or pavement.

For Trees and shrubs larger than 7 gallon, Add Diehard" transplant innoculant supplied by Horticultural Alliance, Inc. (800-628-6373) or equal. Mix into top 8-10 inches of planting hole, making sure it is contact with the root ball. Add at a rate specified by manufacturer (typically 4oz. per 1 inches of trunk caliper or 7 gallon can).

SPACING OF PLANTS (SEE PLANT SPACING DETAIL)

1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth toward the edges of the bed.

PROTECTION OF PLANTS

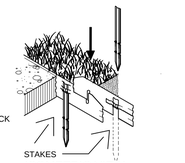
1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to keep equipment and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR DEPOSIT NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.

PERMALOC CLEAN LINE ALUMINUM LANDSCAPE EDGING
PERMALOC CORPORATION, 12505 BARRY STREET HOLLAND, MI. 49424
(800) 356-9660 PHONE: (616) 399-9600 fax: (616) 399-9775 WWW.PERMALOC.COM

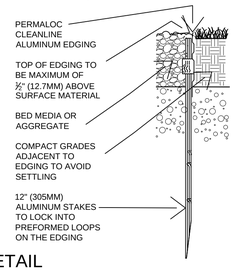
SIZE:
☐ ⅛" X 5½" (3.2MM X 140MM), 0.072" (1.82MM) THICK
w/ 0.135" (3.43MM) EXPOSED TOP LIP

FINISH LEGEND:
(MF) MILL FINISH-NATURAL ALUMINUM

NOTES:
1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES"
2. 8'-0" (2.44 M) SECTIONS TO INCLUDE (3) 12" (305 MM) ALUMINUM STAKES. 16'-0" (4.88 M) SECTIONS TO INCLUDE (5) 12" (305 MM) ALUMINUM STAKES.
3. CORNERS - CUT BASE EDGING UP HALFWAY AND
4. FORM A CONTINUOUS CORNER. PERMALOC CLEANLINE AS MANUFACTURED BY
5. PERMALOC CORPORATION, HOLLAND MI. (800) 356-9660, (616) 399-9600 CONTRACTOR'S NOTE: FOR PRODUCT AND
6. PURCHASING INFORMATION VISIT:WWW.PERMALOC.COM



ISOMETRIC VIEW
NTS



ALUMINUM EDGING DETAIL
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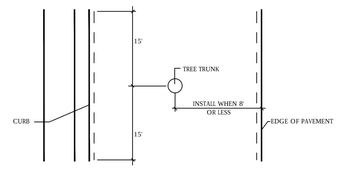
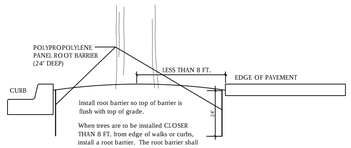


PLAN VIEW



ROOT BARRIER INSTALLATION DETAIL
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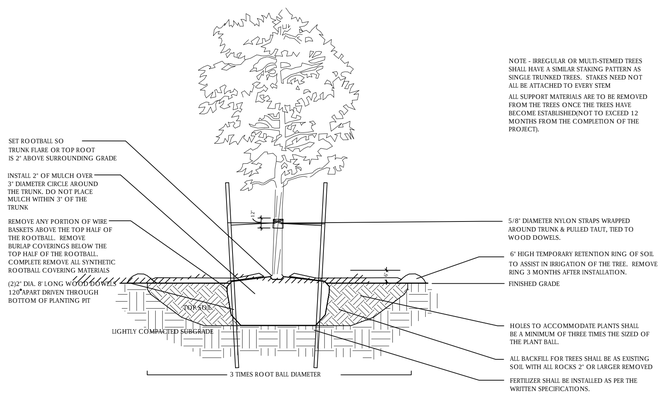
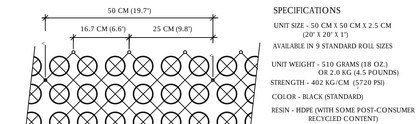
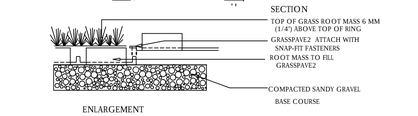


PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER
N.T.S.



SPECIFICATIONS
UNIT SIZE - 50 CM X 50 CM X 2.5 CM (20" X 20" X 1")
AVAILABLE IN 9 STANDARD ROLL SIZES
UNIT WEIGHT - 510 GRAMS (18 OZ.) OR 2.0 KG (4.5 POUNDS)
STRENGTH - 402 KG/CM (5720 PSI)
COLOR - BLACK (STANDARD)
RESIN - HDPE (WITH SOME POST-CONSUMER RECYCLED CONTENT)

PLAN
GRASSPAVE2 SQUARES
ADJACENT GRASSPAVE2 SQUARES
SEE ENLARGEMENT BELOW
HYDROGROW MIX BELOW RING SUPPLIED FREE BY MANUFACTURER
RINGS FILLED WITH CONCRETE SAND (CLEAN, SHARP SAND)
COMPACTED SANDY GRAVEL ROAD BASE 95% MODIFIED PROCTOR DENSITY + 6 INCHES TO 12 INCHES DEPTH OF BASE COURSE TO BE DETERMINED BY ON-SITE ENGINEER)
COMPACTED SUBGRADE.



ENLARGEMENT

NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.

TYPICAL GRASSPAVE2 DETAIL
1 OF 1

NOT TO SCALE
Invisible Structures, Inc.
GPDET.DWG

CHOOSE THIS PRODUCT FOR REINFORCING GRASS WEARING SURFACES

1600 Jackson St., Ste. 310
GOLDEN, COLORADO 80401
800-233-1510 OR 303-233-8383
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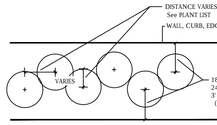
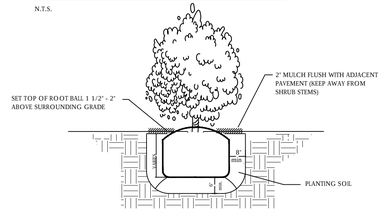
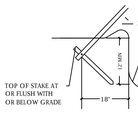
www.invisiblestructures.com
rev. 10/05



SHRUB SPACING DIAGRAM
N.T.S.



SHRUB INSTALLATION DETAIL
N.T.S.



DETAIL A
N.T.S.

CURVED TRUNK LEAN ANGLE AS NOTED ON PLAN/PLANT LIST

NOTE- USE 4' X 4' STAKES
PALMS OVER 12" CALIPER

PROVIDE FOUR 2'X4' PINE STAKES 90° APART (EXTRA STAKE IF NECESSARY TO SUPPORT LEAN) ATTACH W/NAILS TO BATTENS NO NAILS IN TREE

SET ROOTBALL SO TRUNK FLARE OR TOP ROOT IS 2" ABOVE SURROUNDING GRADE

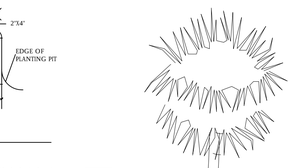
INSTALL 2" OF MULCH OVER 3" DIAMETER CIRCLE AROUND THE TRUNK. DO NOT PLACE MULCH WITHIN 3" OF THE TRUNK

REMOVE ANY PORTION OF WIRE BASKETS OR BURLAP ABOVE THE TOP HALF OF THE ROOTBALL. FOLD BACK BURLAP COVERINGS BELOW THE TOP HALF OF THE ROOTBALL. COMPLETELY REMOVE ALL SYNTHETIC ROOTBALL COVERING MATERIALS.

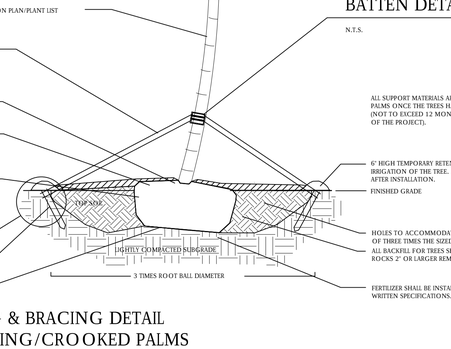
DETAIL A

WOOD STAKES TOP OF STAKES BELOW OR FLUSH WITH GRADE

ANGLE SUBGRADE BASE AND ROOTBALL IF NECESSARY TO ACHIEVE SPECIFIED LEAN ANGLE



BATTEN DETAIL B
N.T.S.



ALL SUPPORT MATERIALS ARE TO BE REMOVED FROM THE PALMS ONCE THE TREES HAVE BECOME ESTABLISHED (NOT TO EXCEED 12 MONTHS FROM THE COMPLETION OF THE PROJECT).

6" HIGH TEMPORARY RETENTION RING OF SOIL TO ASSIST IN IRRIGATION OF THE TREE. REMOVE RING 3 MONTHS AFTER INSTALLATION.

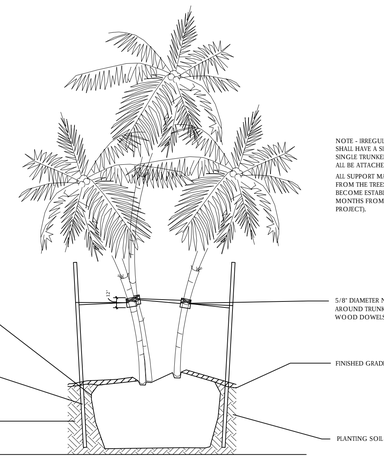
FINISHED GRADE

HOLES TO ACCOMMODATE PLANTS SHALL BE A MINIMUM OF THREE TIMES THE SIZED OF THE PLANT ROOTBALL.

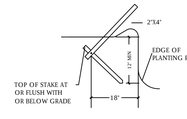
ALL BACKFIL FOR TREES SHALL BE EXISTING SOIL WITH ALL ROCKS 2" OR LARGER REMOVED

FERTILIZER SHALL BE INSTALLED AS PER THE WRITTEN SPECIFICATIONS.

PLANTING & BRACING DETAIL FOR LEANING/CROOKED PALMS
N.T.S.



MULTI-TRUNKED TREE/PALM BRACING DETAIL
N.T.S.



DETAIL A
N.T.S.

NOTE- USE 4' X 4' STAKES
TREES & PALMS OVER 12" CALIPER

PROVIDE THREE 2'X4' PINE STAKES 120° APART ATTACH W/NAILS TO BATTENS NO NAILS IN TREE

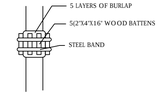
SET ROOTBALL SO TRUNK FLARE OR TOP ROOT IS 2" ABOVE SURROUNDING GRADE

INSTALL 2" OF MULCH OVER 3" DIAMETER CIRCLE AROUND THE TRUNK. DO NOT PLACE MULCH WITHIN 3" OF THE TRUNK

REMOVE ANY PORTION OF WIRE BASKETS OR BURLAP ABOVE THE TOP HALF OF THE ROOTBALL. FOLD BACK BURLAP COVERINGS BELOW THE TOP HALF OF THE ROOTBALL. COMPLETELY REMOVE ALL SYNTHETIC ROOTBALL COVERING MATERIALS.

DETAIL A

WOOD STAKES TOP OF STAKES BELOW OR FLUSH WITH GRADE



BATTEN DETAIL B
N.T.S.

NOTE - IRREGULAR OR MULTI-STEMED TREES SHALL HAVE A SIMILAR STAKING PATTERN AS SINGLE TRUNKED TREES. STAKES NEED NOT ALL BE ATTACHED TO EVERY STEM.

ALL SUPPORT MATERIALS ARE TO BE REMOVED FROM THE TREES ONCE THE TREES HAVE BECOME ESTABLISHED (NOT TO EXCEED 12 MONTHS FROM THE COMPLETION OF THE PROJECT).

6" HIGH TEMPORARY RETENTION RING OF SOIL TO ASSIST IN IRRIGATION OF THE TREE. REMOVE RING 3 MONTHS AFTER INSTALLATION.

FINISHED GRADE

HOLES TO ACCOMMODATE PLANTS SHALL BE A MINIMUM OF THREE TIMES THE SIZED OF THE PLANT ROOTBALL.

ALL BACKFIL FOR TREES SHALL BE EXISTING SOIL WITH ALL ROCKS 2" OR LARGER REMOVED

FERTILIZER SHALL BE INSTALLED AS PER THE WRITTEN SPECIFICATIONS.

PLANTING & BRACING DETAIL OVER 3 1/2" CALIPER
N.T.S.

CIVICA
ARCHITECTURE & URBAN DESIGN
8323 NW 12th St. Suite 106
Doral, FL 33126
tel: 305.593.9959
AA #26001093
www.civicagroup.com
info@civicagroup.com

PROJECT:
SHELTON ACADEMY
9455 NW 40ST ROAD
DORAL, FL 33178

APPLICANT:
SHELTON ACADEMY
1300NW 41ST ST
DORAL, FL 33178
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ISSUED FOR:
SITE PLAN APPROVAL

CIVICA PROJECT No :
200202

GARDNER + SEMLER LANDSCAPE ARCHITECTURE
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CORP. ID# 800026

No.	DATE	REVISION	BY

DRAWN BY: CG
APPROVED BY: KS
DATE: 4/1/2020
SCALE: AS SHOWN

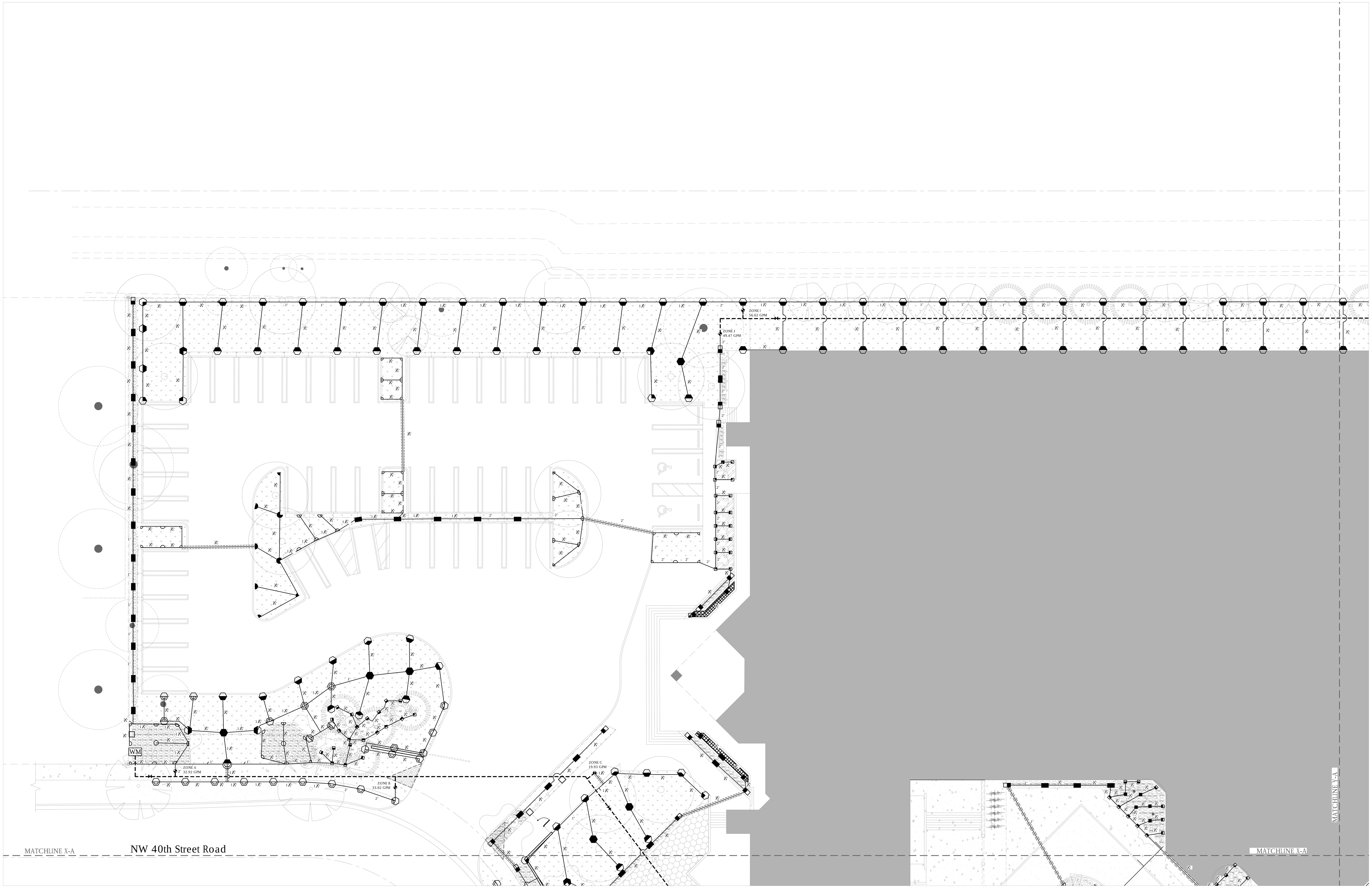
KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE
PLANTING NOTES SPECIFICATIONS AND DETAILS

SHEET NUMBER
LA 201



IRRIGATION PLAN WITH SURFACE PARKING LOT

1
LA 301

64' 32' 16' 0
SCALE: 1/16" = 1'-0"

C I V I C A
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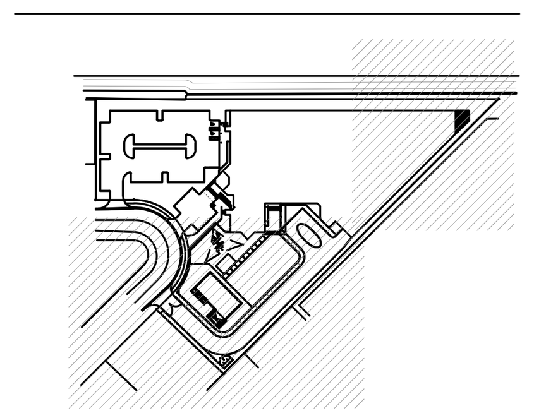

KEY PLAN

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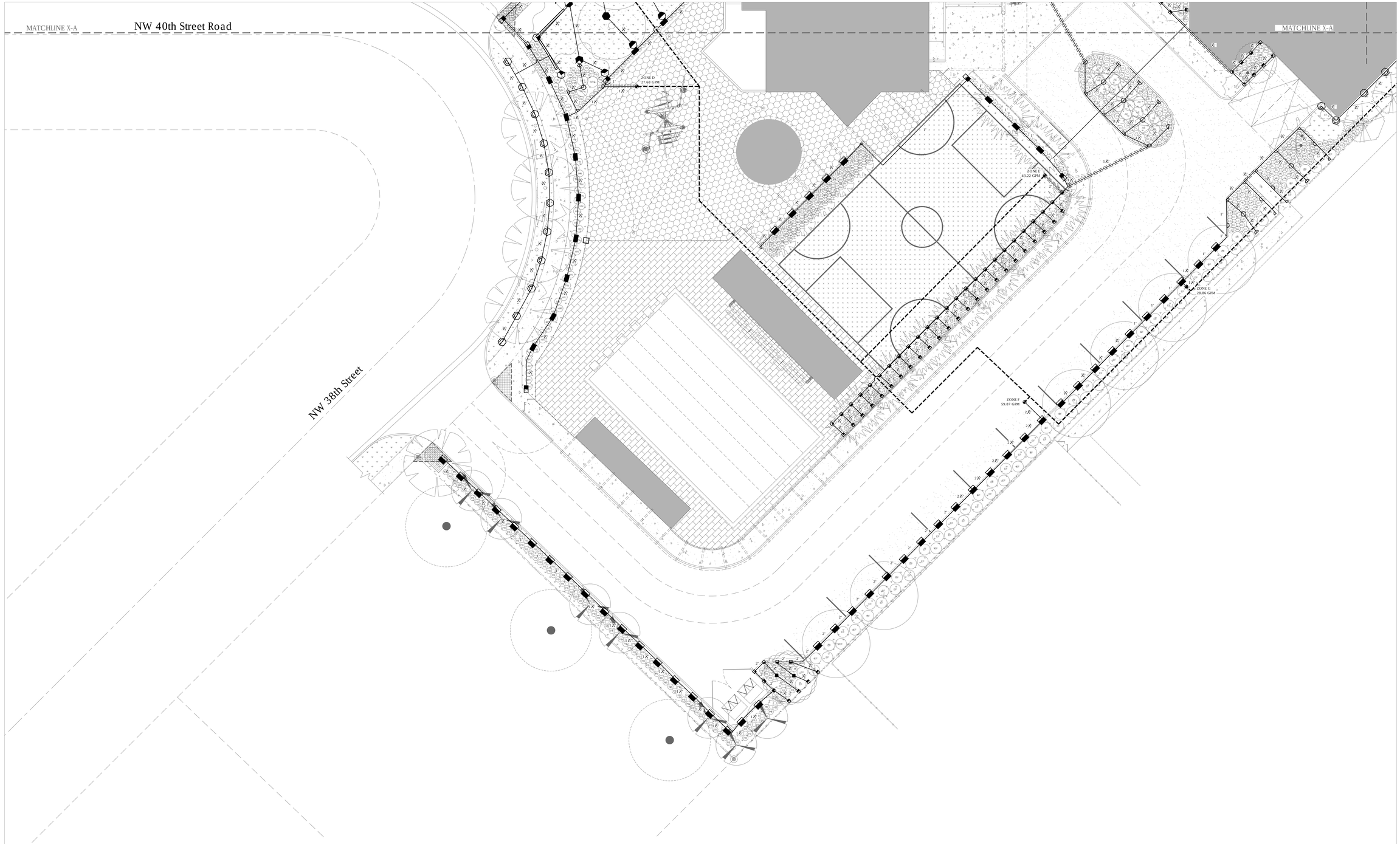
PLA - 6667205

SHEET TITLE
IRRIGATION PLAN WITH SURFACE PARKING LOT

SHEET NUMBER
LA 301



IRRIGATION PLAN WITH SURFACE PARKING LOT

2 LA 302

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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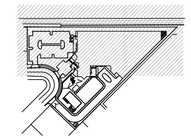
DATE	SCALE:
4/1/2020	AS SHOWN



KEY PLAN

SEAL/SIGNATURE

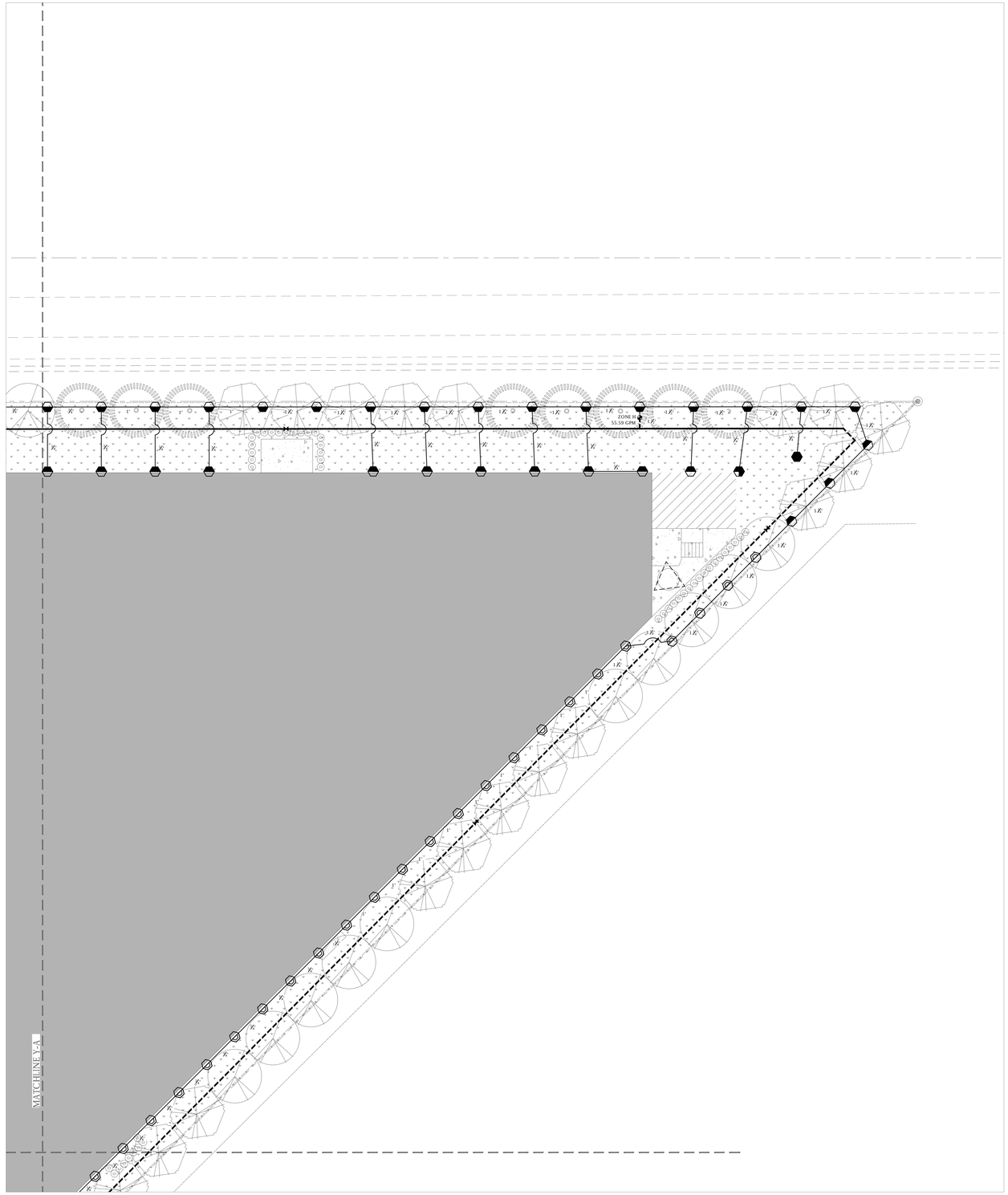
TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE

IRRIGATION LOT WITH SURFACE PARKING PLAN

SHEET NUMBER

LA 302



IRRIGATION MATERIALS LIST

KEY	ITEM	QTY.
———	PVC laterals shall be Class 200 PVC (sized as shown on plans)	as required
— — — — —	MAIN shall be Class 200 PVC	as required
═══	PVC sleeves shall be Class 200 PVC (sized double the width of the pipe running through it)	as required
	Flexible PVC or Polypipe (for swing joints)	as required
WM	WATER METER (See Civil Plans)	1
EC	Electric Controller RAINBIRD ____ Series Controller	1
△	Rainbird RSD Series Rain Sensor (locate in area of free rainfall)	1
	RAINBIRD 200-PESB 2" Electromechanical Solenoid Control Valve	10
	RAINBIRD 3-RC Quick Coupler Valve	5
	Irrigation Control Wire	as required
	RAINBIRD Spray Heads 1800 @ 30 PSI Series w/MPR nozzles 6" pop-up in grass areas 12" pop-up on risers in shrub beds	as required
	15-F (3.7 gpm)	
	15-TQ (2.78 gpm)	
	15-H (1.85 gpm)	
	15-T (1.23 gpm)	
	15-Q (.92 gpm)	
	15-sst (1.21 gpm)	
	15-cst (1.21 gpm)	
	15-est (.61 gpm)	
	9-sst (1.73 gpm)	
	10-F (1.58 gpm)	
	10-TQ (1.18 gpm)	
	10-H (.79 gpm)	
	10-T (.53 gpm)	
	10-Q (.39 gpm)	
	5-F (.41 gpm)	
	5-TQ (.33 gpm)	
	5-H (.20 gpm)	
	5-T (.13 gpm)	
	5-Q (.10 gpm)	
	RAINBIRD Rotary Spray Heads 13'-18' radius R-VAN 18 Series @ 40 PSI 6" pop-up in grass areas 12" pop-up on risers in shrub beds	as required
	18-360 (1.8 gpm)	
	18 (270°) (1.42 gpm)	
	18-(180°) (.98 gpm)	
	18-(120°) (.6 gpm)	
	18-(90°) (.5 gpm)	
	RAINBIRD Rotary Spray Heads 8'-14' radius R-VAN 14 Series @ 40 PSI 6" pop-up in grass areas 12" pop-up on risers in shrub beds	
	14-360 (1.22 gpm)	
	14 (270°) (.92 gpm)	
	14-(180°) (.61 gpm)	
	14-(120°) (.4 gpm)	
	14-(90°) (.31 gpm)	

IRRIGATION PLAN WITH SURFACE PARKING LOT

3
LA 303

64' 32' 16' 0
SCALE: 1/16" = 1'-0"

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PROJECT:
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APPLICANT:
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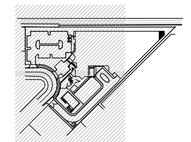
No.	DATE	REVISION	BY

DRAWN BY: CG
APPROVED BY: KS
DATE: 4/1/2020
SCALE: AS SHOWN



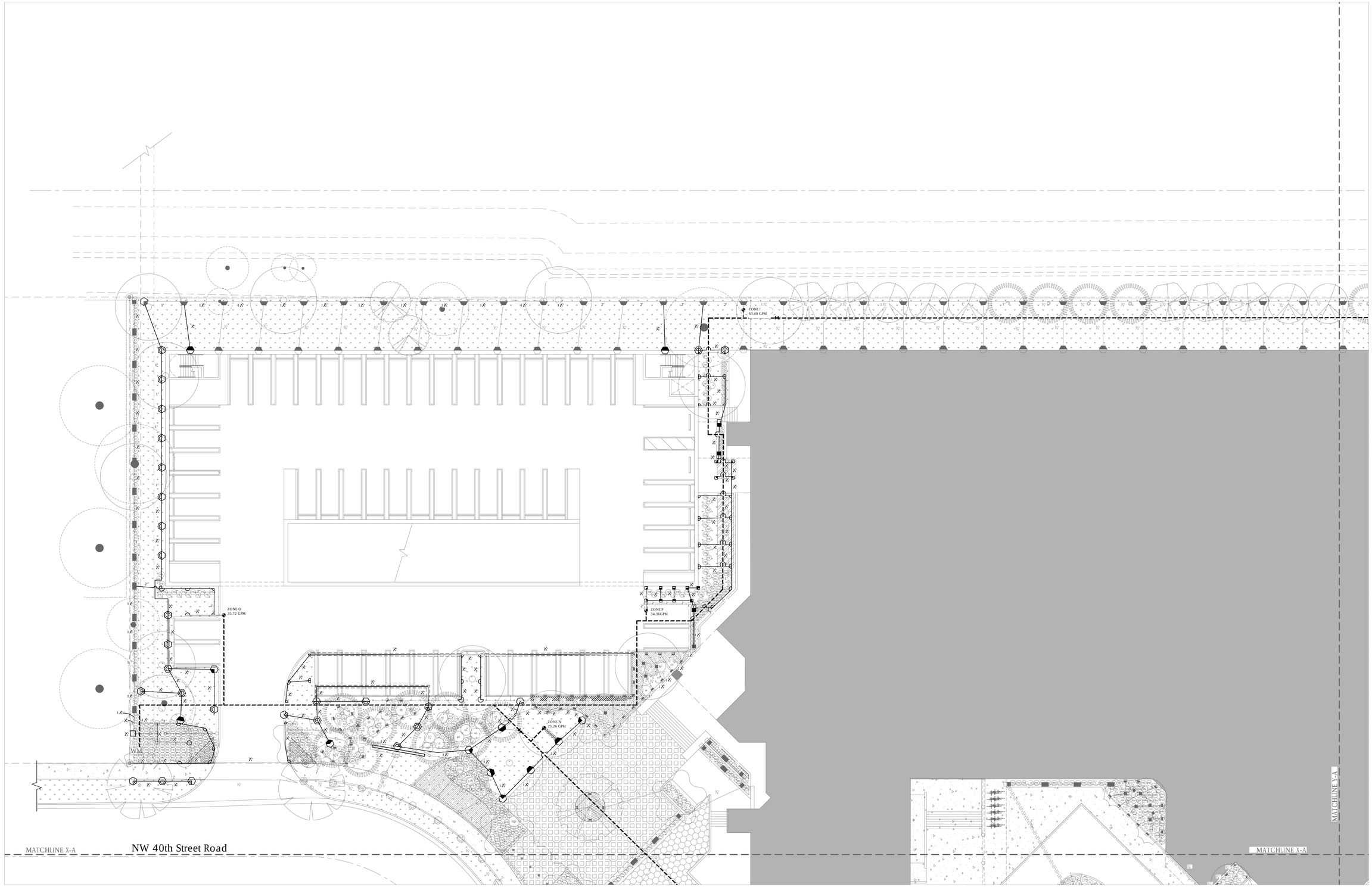
KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE
IRRIGATION PLAN WITH SURFACE PARKING LOT

SHEET NUMBER
LA 303



NOTE: CONNECT NEW IRRIGATION HEADS AND LATERALS TO EXISTING IRRIGATION MAINLINE (INSTALLED PRIOR TO PARKING GARAGE.) ABANDON/REMOVE EXISTING IRRIGATION EQUIPMENT WITHIN AREAS OF NEWLY PROPOSED IRRIGATION AFTER PARKING GARAGE.

IRRIGATION PLAN WITH PARKING GARAGE

1 LA 304

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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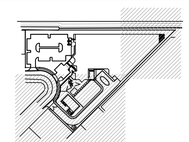
No.	DATE	REVISION	BY

DRAWN BY	APPROVED BY
CG	KS
DATE	SCALE:
4/1/2020	AS SHOWN



KEY PLAN

SEAL/SIGNATURE

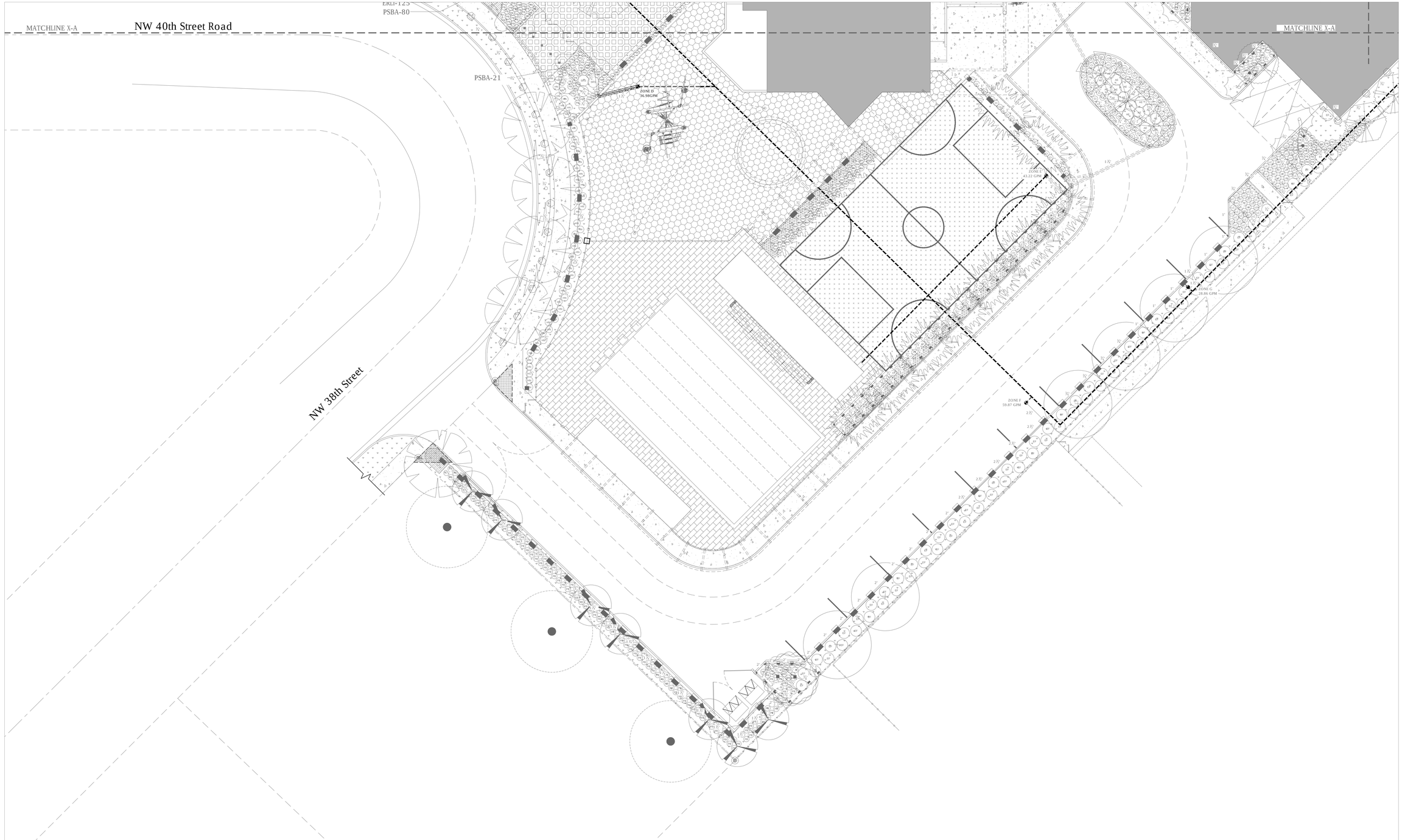
TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE

IRRIGATION PLAN WITH PARKING GARAGE

SHEET NUMBER

LA 304



NOTE: CONNECT NEW IRRIGATION HEADS AND LATERALS TO EXISTING IRRIGATION MAINLINE (INSTALLED PRIOR TO PARKING GARAGE.) ABANDON/REMOVE EXISTING IRRIGATION EQUIPMENT WITHIN AREAS OF NEWLY PROPOSED IRRIGATION AFTER PARKING GARAGE.

N

IRRIGATION PLAN WITH PARKING GARAGE

2
LA 305

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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DRAWN BY	APPROVED BY
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DATE	SCALE:
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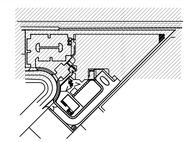


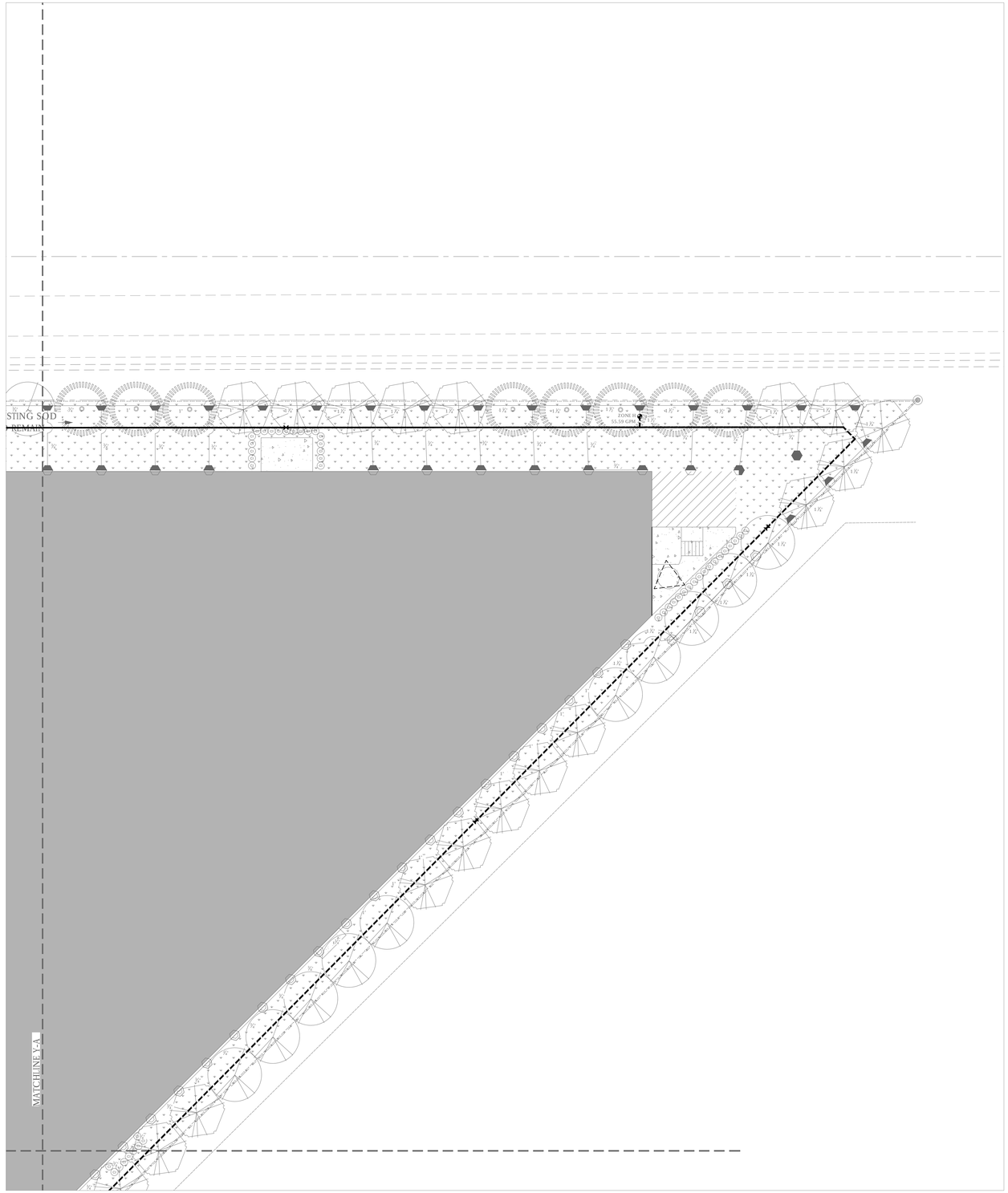
KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE
IRRIGATION PLAN WITH PARKING GARAGE

SHEET NUMBER
LA 305



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IRRIGATION MATERIALS LIST

KEY	ITEM		QTY.
———	PVC laterals shall be Class 200 PVC (sized as shown on plans)		as required
— — — —	MAIN shall be Class 200 PVC		as required
	PVC sleeves shall be Class 200 PVC (sized double the width of the pipe running through it)		as required
	Flexible PVC or Polypipe (for swing joints)		as required
	RAINBIRD 200-PESB 2" Electromechanical Solenoid Control Valve		1
	Irrigation Control Wire		as required
	RAINBIRD Spray Heads 1800 @ 30 PSI Series w/MPR nozzles 6" pop-up in grass areas 12" pop-up on risers in shrub beds		as required
●	15-F	(3.7 gpm)	
◕	15-TQ	(2.78 gpm)	
◓	15-H	(1.85 gpm)	
◔	15-T	(1.23 gpm)	
◤	15-Q	(.92 gpm)	
▬	15-sst	(1.21 gpm)	
■	15-cst	(1.21 gpm)	
◧	15-est	(.61 gpm)	
▬	9-sst	(1.73 gpm)	
○	10-F	(1.58 gpm)	
◷	10-TQ	(1.18 gpm)	
◓	10-H	(.79 gpm)	
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▪	5-F	(.41 gpm)	
▪	5-TQ	(.33 gpm)	
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▪	5-T	(.13 gpm)	
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	RAINBIRD Rotary Spray Heads 13'-18' radius R-VAN 18 Series @ 40 PSI 6" pop-up in grass areas 12" pop-up on risers in shrub beds		as required
⬢	18-360	(1.8 gpm)	
◕	18 (270°)	(1.42 gpm)	
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◕	14 (270°)	(.92 gpm)	
◓	14-(180°)	(.61 gpm)	
◔	14-(120°)	(.4 gpm)	
◔	14-(90°)	(.31 gpm)	

N

IRRIGATION PLAN WITH PARKING GARAGE

3 / LA 306

64' 32' 16' 0

SCALE: 1/16" = 1'-0"

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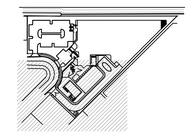


KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE
IRRIGATION PLAN WITH PARKING GARAGE

SHEET NUMBER
LA 306

GENERAL NOTES:

1. SCOPE OF WORK: The Contractor shall furnish all labor, machinery, tools, supplies, and equipment as necessary to construct and provide an operating system, as indicated in the Plans. The work shall include, but not be limited to, furnishing materials (pipe, valves, sprinkler heads, fittings, controllers, electrical, wire and fittings, primer, glue, etc.), layout, protection to the public, excavation, assembly, installation, backfilling, compaction, repair of road or pavement surfaces, controller and low voltage feed to the valves, clean-up, maintenance and guarantee, and as-built plans.

2. Contractor shall coordinate with General Contractor or other pertinent Contractors on the job to insure that sleeves are provided and installed under hard surfaces to allow access to all areas to be irrigated. All sleeves shall be constructed of Class 200 PVC. Bury all sleeves a minimum of 18' below the surface. Sleeve to be double the size if the pipe running through it. Sleeve shall extend 24' past the edge of pavement into the area to be irrigated.

3. GUARANTEE: The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

4. REPAIR UTILITIES: The Contractor shall be responsible to verify the location of all utilities by hand excavation or other appropriate measures before performing any work that may result in damage to utilities structures, or property. The Contractor shall take immediate steps to repair, replace, or restore all services to any utilities which are disrupted due to his operations. All costs involved in disruption of service and repairs due to negligence on part of the Contractor shall be his responsibility.

5. AS-BUILT DRAWINGS: Prints of the plans will be supplied to the Contractor for recording 'as-built' information. Immediately upon installation of any work which deviates from what is shown on the Plans, the Contractor shall clearly indicate such changes in red pencil on the prints. Such changes shall include, but not be limited to, changes in (1) materials; (2) sizes of material; (3) location; and (4) quantities.

6. The entire installation shall fully comply with all applicable local and state codes and ordinances. The Contractor shall take out all required plumbing and electrical applications and permits, arrange for all necessary inspections and shall pay all fees and expenses in connection with same as part of work under the contract.

7. UNIT PRICES: The successful bidder shall furnish, to the Owner, a unit price breakdown for all materials. The Owner may at his own discretion, add to or delete from the materials, using the unit price breakdown submitted to and accepted by the Owner.

8. MAINTENANCE PERIOD: The irrigation system shall be maintained for a period of 90 days after final acceptance of installation. Maintenance shall include checking of the system 2 times per week. Contractor shall be responsible to replace/repair any broken or malfunctioning parts of the system including those damaged by accidents or vandalism. Repairs shall be made immediately at the time of inspection or when notified by the Landscape Architect.

9. The irrigation system shall provide 100% coverage with a minimum of 90% overlap of water spray.

10. The system is design to provide sprinkler precipitation rates that are nearly equal in each zone. Mixing of sprinklers with widely varying precipitation rates in a zone will not be accepted.

11. Irrigation mainline shall be made of Class 200 PVC and all laterals shall be Class 200 PVC, except flexible PVC (or Toro funny pipe) for flexible swing joint and Schedule 40 PVC risers for spray heads in shrub areas. Schedule 80 galvanized steel pipe is to be used for all above ground fittings. Pipe locations shall be adjusted in the field. When laying out mains and laterals, locate pipe near edges of pavement or against buildings wherever possible, to allow space for plant rootballs. Coordinate pipe locations with plantings. Bury all mains and laterals 18' min. below surface. Depth shall be measured to top of pipe.

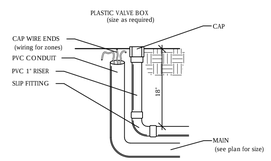
12. Keep pop-up sprinkler heads a minimum of 8' from edges of pavement and curbing, and heads on risers a minimum of 18', or as indicated in the pans.

13. All heads located in shrub or groundcover beds shall be installed on a riser as per details in the plans. All other heads shall be installed on a swing joint as per details in the plans.

14. Place irrigation control wire in conduit in the same trench as mains and under the main. ASI wire shall be #14 or larger solid copper U.L. approved underground direct burial cable and shall be continuous with no splices from controller to solenoid valve.

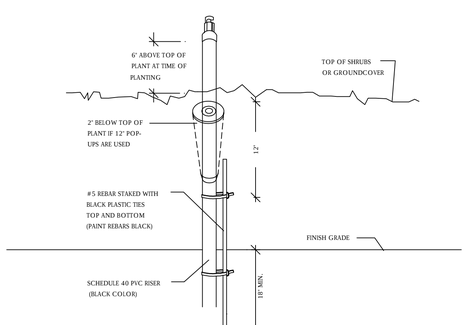
15. Valve locations are schematic and shall be adjusted in the field. Each valve shall be in a separate valve box (10' x 16') min.). When grouping valve boxes in grass or groundcover areas, set boxes a minimum of 12' apart to allow grass or groundcover to grow between them. When possible, hide valve boxes in shrub beds, a minimum of 12' from edge of beds. Set all valve boxes, concrete or plastic, in ground with cover flush with finish grade, and level, with a minimum of 6' of pea gravel at the bottom of the box, with at least 2' of clearance from the bottom of the valve to the top of the gravel.

16. TESTING: Notify the Landscape Architect in writing when testing will be conducted. Conduct test in the presence of the Landscape Architect. After all PVC assembly is completed the lines shall be flushed to insure that no rocks, sand, or other foreign debris remains in the lines. The mains shall be filled with water and all outlets shall be capped and plugged. The main shall be pressurized to 100 PSI for a minimum of one hour. No section of the main will be approved if the pressure drops more than 5 PSI at the end of the one hour period. Leaks shall be repaired immediately and the system shall be re-tested until found satisfactory by the Landscape Architect.



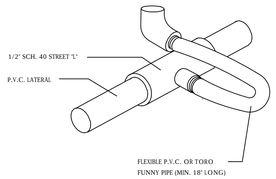
DETAIL OF STUB-OUT FOR FUTURE USE

N.T.S.



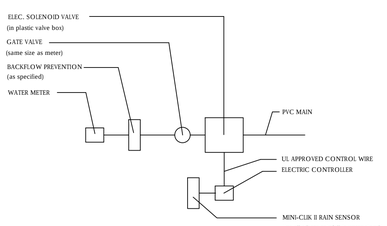
SPRINKLER ON RISER DETAIL FOR SHRUB AREAS

N.T.S.



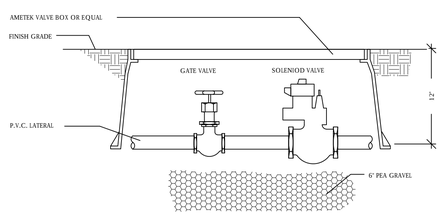
FLEXIBLE SWING JOINT DETAIL

N.T.S.



CONNECTION TO METER DETAIL

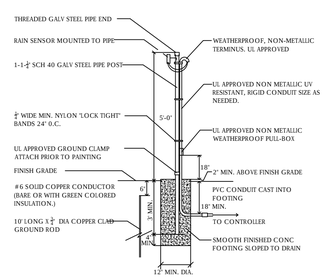
N.T.S.



TYPICAL SOLENOID VALVE ASSEMBLY

N.T.S.

NOTE:
ALL WIRE CONNECTIONS SHALL BE APPROVED WATERTIGHT CONNECTIONS.
FINISH ENTIRE ASSEMBLY, EXCEPT FOR EQUIPMENT, WITH FLAT BLACK ACRYLIC ENAMEL PAINT.
PRIME METALLIC SURFACES WITH ZINC CHROMATE PRIOR TO FINISHING.



RAIN SENSOR DETAIL

N.T.S.

IRRIGATION DETAILS AND SPECIFICATIONS

SCALE: N.T.S.

1
LA 401

CIVICA
ARCHITECTURE & URBAN DESIGN
8323 NW 12th St. Suite 106
Doral, FL 33126
tel: 305.593.9959
AA #26001093
www.civicagroup.com
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FAX 305-599-8565
INFO@SHELTONACADEMYSCHOOLS.COM

ISSUED FOR:
SITE PLAN APPROVAL

CIVICA PROJECT No :
200202

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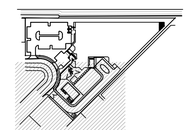
No.	DATE	REVISION	BY

DRAWN BY	APPROVED BY
CG	KS
DATE	SCALE:
4/1/2020	AS SHOWN



KEY PLAN

SEAL/SIGNATURE

TAYLOR KIEHL SEMLER
PLA - 6667205

SHEET TITLE
IRRIGATION DETAILS AND SPECIFICATIONS

SHEET NUMBER
LA 401