

RESOLUTION No. 24-224

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR 8800 DORAL LLC, FOR THE PROPERTY LOCATED AT 8800 NW 36 STREET, DORAL, FLORIDA, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Chapter 53 "Administration", Article III. Development Procedures, Sec. 53-184(f) of the City's Land Development Code, establishes the site plan review and approval procedures for the Mayor and City Council to review and approve the site plan; and

WHEREAS, TOOTHAKER.ORG (the "Applicant") representing 8800 Doral LLC (the "Owner"), is seeking site plan approval for the property located at 8800 NW 36 Street, further identified by the Miami-Dade County Property Appraiser by Folio No. 35-3028-026-0010 (the "Property"), as legally described in "Exhibit A" (the "Project"); and

WHEREAS, City staff finds that the proposed site plan, attached hereto as "Exhibit B," complies with the requirements and standards of the City's Land Development Code and Comprehensive Plan; and

WHEREAS, a zoning workshop was held on June 27, 2024, during which the public was afforded an opportunity to examine the Project and provide feedback; and

WHEREAS, the City Council reviewed the site plan application, the written and oral recommendations of the Planning and Zoning Department, including the recommended conditions, and hereby finds competent substantial evidence to find the site plan is in compliance with the City's Comprehensive Plan and Land Development Regulations, and that the site plan maintains the basic intent and purpose of the zoning, subdivision or other land use regulations, which is to protect the general welfare of the public, and further finds

that the site plan application should be granted.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

Section 1. Recitals. The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

Section 2. Findings and Conclusions. Based upon an analysis of the site plan application and standards for approval of a site plan under the City's Land Development Regulations, the City Council hereby finds and concludes that the Applicant's request for site plan, as more particularly set forth in "Exhibit B," is in compliance with the Comprehensive Plan and the Land Development Regulations of the City, and there is substantial competent evidence to support approval of the Application.

Section 3. Approval. The Mayor and City Council hereby approve the site plan for Doral Ocean Bank, for the property located at 8800 NW 36 Street, further identified by folio number 35-3028-026-0010, as legally described in "Exhibit A." The proposed site plan comprises a 1,956 square foot bank with drive-thru facilities, single-story bank/office building and a copy of the site plan is provided in "Exhibit B." The approval of the site plan is subject to the following conditions:

1. The Project shall be built in substantial compliance with the plans entitled "Doral Ocean Bank," prepared by Steve Edwards Architecture LLC, dated stamped received May 8, 2024.
2. The Project shall be landscaped in accordance with the landscape plan, signed by Gregory Alexander Gonzalez, LA, dated stamped received May 8, 2024, as amended, and included with the site plan submittal.
3. The Applicant shall comply with Ordinance No. 2015-09 "Public Arts Program," as amended, at the time of building permit (if applicable).

4. The Applicant shall comply with Chapter 63, "Green Building Incentives," of the City's Land Development Code at the time of building permit (if applicable).
5. The Applicant shall comply with the City's Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City's Code.
6. The Applicant shall provide the Building Department a certified drainage inspection report prior to the issuance of a certificate of occupancy.
7. The property owner shall maintain the landscaping within the public rights-of-way adjacent to the property. Maintenance includes trees, plants, sod, and other landscape material.
8. The Applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
9. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP), Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.
10. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."
11. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
12. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.

The foregoing Resolution was offered by Vice Mayor Puig-Corve who moved its adoption. The motion was seconded by Councilmember Cabral and upon being put to a vote, the vote was as follows:

Mayor Christi Fraga	Yes
Vice Mayor Oscar Puig-Corve	Yes
Councilwoman Digna Cabral	Yes
Councilman Rafael Pineyro	Yes
Councilwoman Maureen Porras	Yes

PASSED AND ADOPTED this 11 day of September, 2024.



CHRISTI FRAGA, MAYOR

ATTEST:



CONNIE DIAZ, MMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



LORENZO COBIELLA
GASTESI, LOPEZ & MESTRE, PLLC
CITY ATTORNEY

13. All applicable local, state and federal permits must be obtained before commencement of the development.
14. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

Section 4. **Effective Date.** This Resolution shall become effective immediately upon its adoption.

EXHIBIT “A”

LEGAL DESCRIPTION

Tract C of, IVAX TRACTS REPLAT, a subdivision according to the plat thereof as recorded in Plat Book 157, Page 44, of the Public Records of Miami-Dade County, Florida, formerly known as the following:

PARCEL A:

A portion of the Northeast 1/4 of Section 28, Township 53 South, Range 40 East, Miami-Dade County, Florida, being more particularly described as follows:

Commence at the Northeast corner of said Section 28, thence run North 88° 53' 45" West, along the North line of the Northeast 1/4 of said Section 28, for 34.93 feet; and thence run South 46° 01' 49" West along the Northerly Right-of-Way line of "DRESSEL'S DAIRY CANAL", as recorded in Official Records Book 5176, Page 40, of the Public Records of Miami - Dade County, Florida, for 812.84 feet to the Point of Beginning of the following described parcel of land: thence continue South 46° 01' 49" West, along the last described course for 910.61 feet; thence run North 10° 32' 01" East, at right angles to the next described course for 741.37 feet; and thence run South 79° 27' 59" East, along the Southerly Right-of-Way line of N.W. 36th Street as recorded in Official Records Book 7646, Page 122, of the Public Records of Miami - Dade County, Florida, for 528.75 feet to the Point of Beginning.

Now known as all of FIDELITY ELECTRONICS, a subdivision, according to the plat thereof as recorded In Plat Book 109, Page 83, of the Public Records of Miami-Dade County, Florida.

AND

PARCEL B:

A portion of the Northeast 1/4 of Section 28, Township 53 South, Range 40 East, Miami-Dade County, Florida, being more particularly described as follows:

Commence at the Northeast corner of said Section 28, thence North 88° 53' 45" West along the North line of the Northeast 1/4 of said Section 28 for 34.93 feet; thence South 46° 01' 49" West along the Northerly Right-of-Way Line of "DRESSEL'S DAIRY CANAL" as recorded In Official Records Book 5176, Page 40, of the Public Records of Miami-Dade County, Florida, for 812.84 feet; thence North 79° 27' 59" West along the Southerly Right-of-Way Line of Northwest 36th Street as recorded in Official Records Book 7646,

Page 122, of the Public Records of Miami - Dade County, Florida, for 887.84 feet; thence due South for 451.14 feet and thence due West for 221.63 feet, said last mentioned two courses being coincident with the boundary of "PALMTEL SUBDIVISION" according to the Plat thereof recorded In Plat Book 102, Page 11, of the Public Records of Miami - Dade County, Florida; and thence due South for 220.27 feet along the East line of "FEDERAL RESERVE MIAMI" according to the Plat thereof recorded In Plat Book 108, Page 50, of the Public Records of Miami - Dade County, Florida, to the Point of Beginning of the following described parcel of land: thence continue due South along the last described course, for 191.13 feet; thence South 88° 51' 08" East for 361.20 feet; thence North 46° 01' 49" East along the Northerly Right-of-Way Line of said "DRESSEL'S DAIRY CANAL" for 108.39 feet; thence North 10° 32' 01" East for 226.77 feet; thence South 46° 01' 49" West, for 154.46 feet; and thence North 88° 51' 08" West for 369.50 feet to the Point of Beginning.

EXHIBIT “B”

DORAL OCEAN BANK

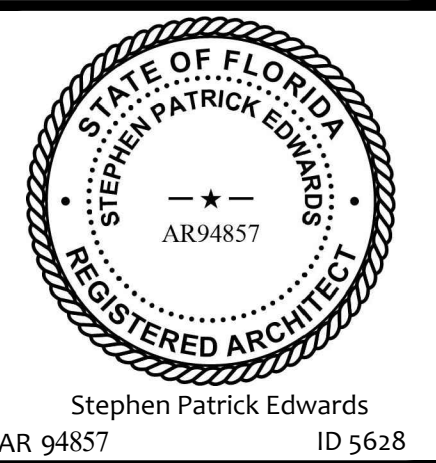
8800 NW 36th Street (Doral Blvd)

Doral, Florida 33178

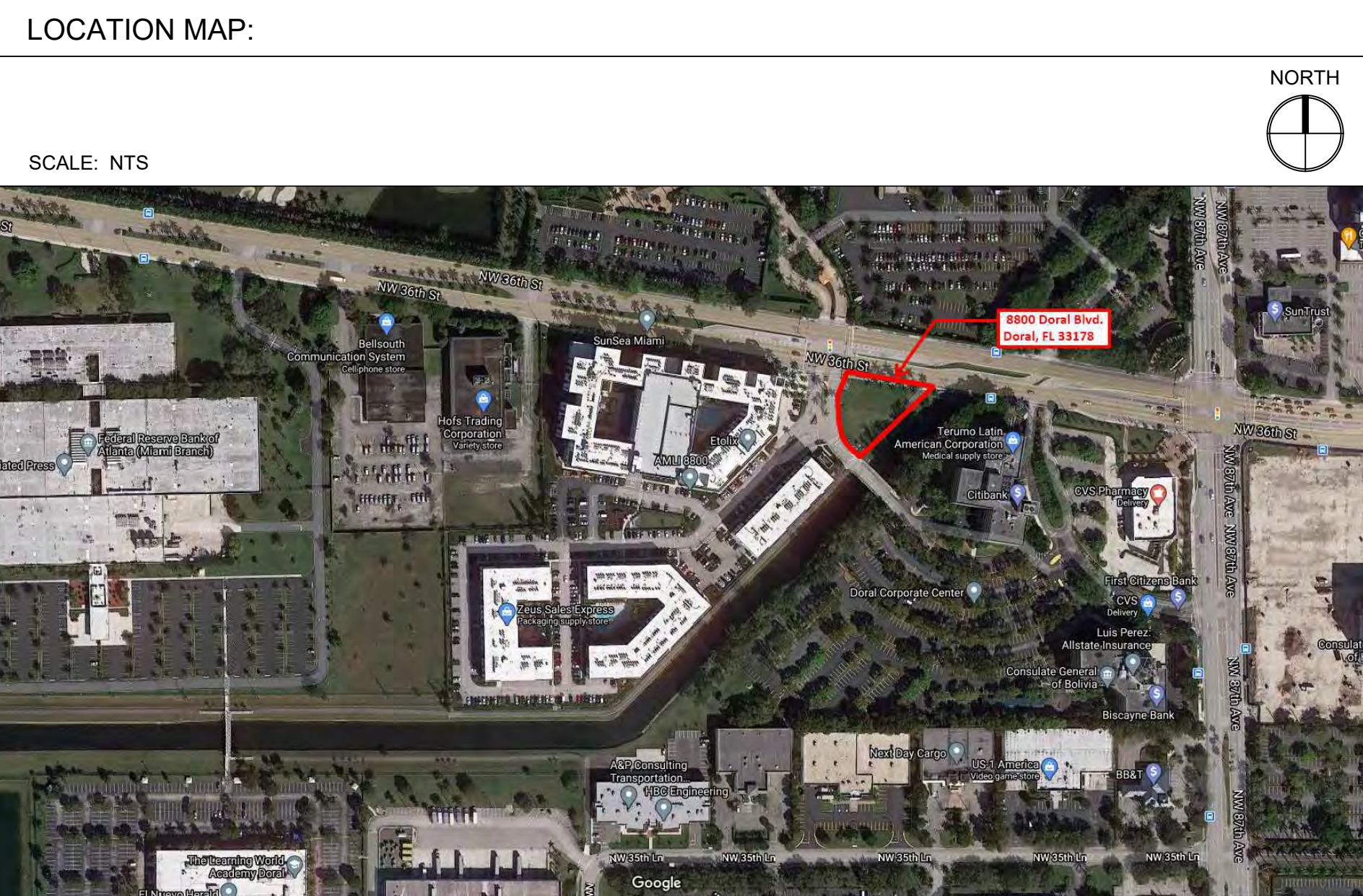
SITE PLAN SUBMISSION



Steve Edwards Architecture LLC
954.675.0950
941 S.E. 14 Terrace
Deerfield Beach Florida
33441



Stephen P Edwards
Digitally signed by
Stephen P Edwards
Date: 2024.03.07
16:40:54 -05'00'



DRAWING INDEX:

	SHEET #	TITLE	SCALE	TOTAL
GENERAL INFO				
CV		COVER PAGE, PROJECT TEAM, LOCATION MAP, DRAWING INDEX	NTS	1
CIVIL ENGINEERING				
C-100		COVER SHEET	AS NOTED	1
C-102		SITE PLAN	AS NOTED	1
C-300		PAVING AND GRADING PLAN	AS NOTED	1
C-400		DRAINAGE PLAN	AS NOTED	1
LANDSCAPE ARCHITECTURE				
L-000		LANDSCAPE SHEET INDEX	AS NOTED	1
L-100		TREE DISPOSITION PLAN	AS NOTED	1
L-150		TREE DISPOSITION NOTES AND DETAILS	AS NOTED	1
L-200		HARDSCAPE PLAN	AS NOTED	1
L-300		LANDSCAPE PLAN	AS NOTED	1
L-350		LANDSCAPE NOTES AND SPECIFICATIONS	AS NOTED	1
L-351		LANDSCAPE DETAILS	AS NOTED	1
IRR-400		IRRIGATION PLAN	AS NOTED	1
IRR-450		IRRIGATION NOTES	AS NOTED	1
IRR-451		IRRIGATION DETAILS	AS NOTED	1
ARCHITECTURAL				
A-1.1		FLOOR PLAN	1/4" = 1'-0"	1
A-2.0		EXTERIOR ELEVATIONS	1/4" = 1'-0"	1
A-8.0		RENDERINGS	NTS	1
ELECTRICAL ENGINEERING				
E-0.2		ELECTRICAL SITE LIGHTING PLAN	AS NOTED	1
E-0.3		ELECTRICAL SITE PHOTOMETRICS PLAN	AS NOTED	1
SURVEY				
7109-3 - SHT 1		ALTA NSPS LAND TITLE SURVEY	AS NOTED	1
7109-3 - SHT 2		ALTA NSPS LAND TITLE SURVEY	AS NOTED	1
7109-3 - SHT 3		ALTA NSPS LAND TITLE SURVEY	AS NOTED	1
TOTAL SHEETS				23

Owner:
AMLI Residential
3701 Executive Ctr Dr, Ste 263
Austin, Texas 78731
Phone: 512.745.8404

Architect:
SEA Steve Edwards Architecture
941 SE 14th Terrace
Deerfield Beach, Florida 33139
954.675.0950

Civil Eng /Landscape Architect:
KIMLEY-HORN
2 Alhambra Plaza, Suite 500
Coral Gables, Florida 33134
786.623.3560

MEP Engineer:
BILDWORX DESIGN, LLC
300 SE 2nd Street, Suite 600
Fort Lauderdale, Florida 33301
954.933.8294

Land Use Attorney:
TOOTHAKER.ORG
501 SW 2nd Avenue, Suite A
Fort Lauderdale, Florida 33301
954.675.6797

Owner's Representative:
Rothschild Downes
3356 South Broadway
Englewood, CO 80113
303.537.4745

Project Management:
Stys Hospitality Initiative
29 Farragut Road, Suite D
Boston, MA 02127
857.205.7904

Surveyor:
Caulfield & Wheeler, Inc.
7900 Glades Road, Suite 100
Boca Raton, FL 33434
561.392.1991

I, STEPHEN PATRICK EDWARDS, ARCHITECT, DO HEREBY CERTIFY THAT I AM THE REGISTERED ARCHITECT FOR THIS PROJECT AND THAT I HAVE REVIEWED AND APPROVED THE SUBMITTED DRAWINGS FOR CONSTRUCTION ACCORDING TO THE PROFESSIONAL SEAL AND LICENSE REQUIREMENTS OF THE STATE OF FLORIDA.

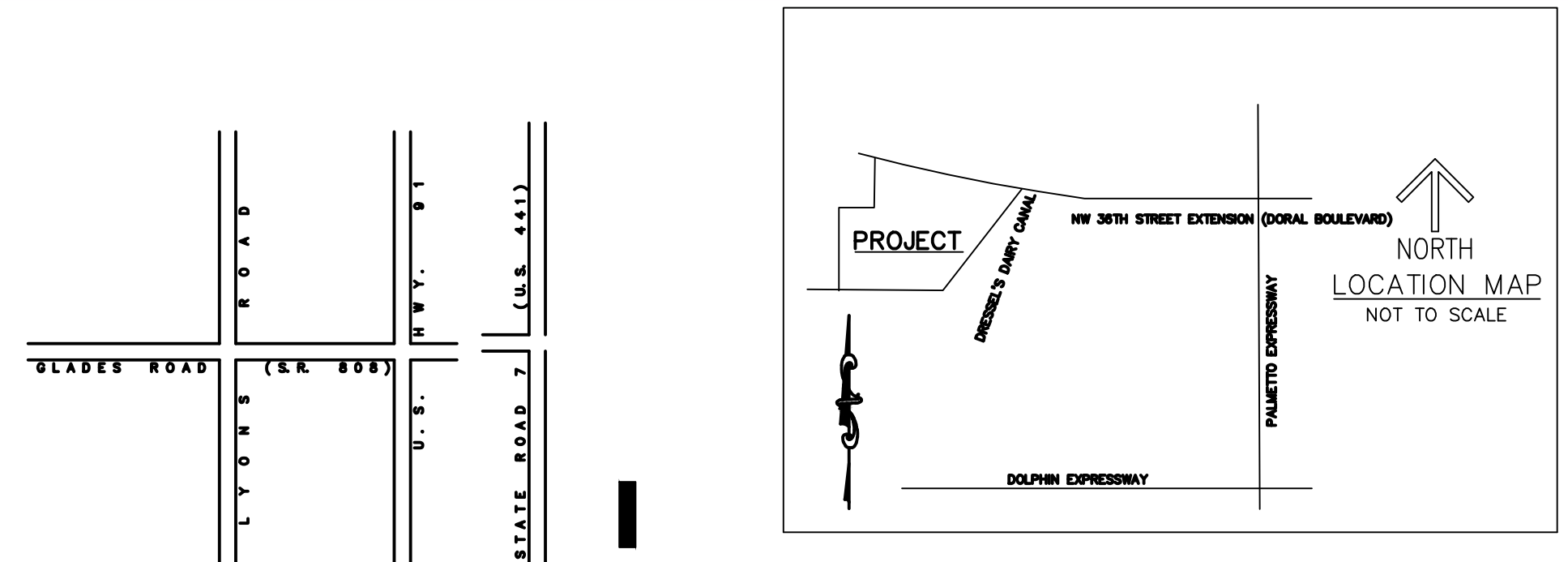
#2003.01-03 SITE PLAN

COVER

OCEAN BANK | AMLI
8800 NW 36TH STREET
DORAL, FLORIDA 33178

DRAWN: A.D.-S.E. CHECKED: A.D.-S.E.
SCALE: NTS
DATE: 1 MARCH 2024

CV



LEGEND

A/C - AIR CONDITIONER	INV. - INVERT	SQ. FT. - SQUARE FEET	C - CENTER LINE
L - ARC LENGTH	IRR. - IRRIGATION	TWP. - TOWNSHIP	EXISTING ELEVATION
ALUM. - ALUMINUM	L.A.E. - LIMITED ACCESS EASEMENT	TYP. - TYPICAL	TRAFFIC SIGN
B.E. - BUFFER EASEMENT	O.S. - BUILDING OFFSET	U.E. - UTILITY EASEMENT	ELECTRICAL WIRES OVERHEAD
C.O. - CLEANOUT	O.R.B. - OFFICIAL RECORD BOOK	W.M. - WATER METER	- ANCHOR
CLF - CHAIN LINK FENCE	P.B. - PLAT BOOK	W.E. - WATER EASEMENT	- WATER METER
CONC. - CONCRETE	P.B.C.R. - PALM BEACH COUNTY RECORD	S.E. - SANITARY EASEMENT	- RPZ
COV. COVERED	P.O.B. - POINT OF BEGINNING	S.L.P. - LIGHT POLE	- GROUND LIGHT
D.E. - DRAINAGE EASEMENT	P.O.C. - POINT OF COMMENCEMENT	- FIRE HYDRANT	- ELECTRIC HAND HOLE
ELEC. - ELECTRIC	POS - PAGE(S)	- CATCH BASIN	- YARD DRAIN
ELEV. - ELEVATION	P.R.M. - PERMANENT REFERENCE MONUMENT	- WATER VALVE	- IRRIGATION CONTROL VALVE
EQUIP. - EQUIPMENT	PROP. - PROPOSED	- SET 5/8" IR/CAP LB 3591	- CLEANOUT
ESMT. - EASEMENT	R - RADIUS	- SANITARY MANHOLE	- FIRE DEPARTMENT CONNECTION
EXIST. - EXISTING	R/W - RIGHT-OF-WAY	- DRAINAGE MANHOLE	- WOOD POWER POLE (UNLESS NOTED)
F.P.L. - FLORIDA POWER & LIGHT	RGE. - RANGE	- GAS HAND HOLE	- DOUBLE DETECTOR CHECK VALVE
FIN. - FINISHED	SEC. - SECTION	- AT&T HAND HOLE	
FND. - FOUND	A - DELTA (CENTRAL ANGLE)	- BELLSOUTH MANHOLE	
I.R./CAP - IRON ROD & CAP	WASD - WATER AND SEWER DEPARTMENT	- FIBER OPTIC HAND HOLE	
		- TRAFFIC SIGNAL HAND HOLE	

DESCRIPTION

TRACT C OF IVAX TRACTS REPLAT, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 157, PAGE 44, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FORMERLY KNOWN AS THE FOLLOWING:

PARCEL A:

A PORTION OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 53 SOUTH, RANGE 40 EAST, MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 28, THENCE RUN NORTH 88° 53' 45" WEST, ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 28, FOR 34.93 FEET; AND THENCE RUN SOUTH 46° 01' 49" WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF "DRESSSEL'S DAIRY CANAL", AS RECORDED IN OFFICIAL RECORDS BOOK 5176, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 812.84 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND: THENCE CONTINUE SOUTH 46° 01' 49" WEST, ALONG THE LAST DESCRIBED COURSE FOR 910.81 FEET; THENCE RUN NORTH 10° 32' 01" EAST, AT RIGHT ANGLES TO THE NEXT DESCRIBED COURSE FOR 741.37 FEET; AND THENCE RUN SOUTH 79° 27' 59" EAST, ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF N.W. 36TH STREET AS RECORDED IN OFFICIAL RECORDS BOOK 7646, PAGE 122, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 528.75 FEET TO THE POINT OF BEGINNING.

NOW KNOWN AS ALL OF FIDELITY ELECTRONICS, A SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 109, PAGE 83, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA.

AND

PARCEL B:

A PORTION OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 53 SOUTH, RANGE 40 EAST, MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 28, THENCE NORTH 88° 53' 45" WEST ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 28 FOR 34.93 FEET; THENCE SOUTH 46° 01' 49" WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF "DRESSSEL'S DAIRY CANAL" AS RECORDED IN OFFICIAL RECORDS BOOK 5176, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 812.84 FEET; THENCE NORTH 79° 27' 59" WEST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHWEST 36TH STREET AS RECORDED IN OFFICIAL RECORDS BOOK 7646, PAGE 122, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA; AND THENCE DUE SOUTH FOR 220.27 FEET ALONG THE EAST LINE OF "FEDERAL RESERVE MIAMI" ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 108, PAGE 50, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA; TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND: THENCE CONTINUE DUE SOUTH ALONG THE LAST DESCRIBED COURSE, FOR 191.13 FEET; THENCE SOUTH 88° 51' 08" EAST FOR 361.20 FEET; THENCE NORTH 46° 01' 49" EAST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID "DRESSSEL'S DAIRY CANAL" FOR 108.39 FEET; THENCE NORTH 10° 32' 01" EAST FOR 226.77 FEET; THENCE SOUTH 46° 01' 49" WEST, FOR 154.46 FEET; AND THENCE NORTH 88° 51' 08" WEST FOR 369.50 FEET TO THE POINT OF BEGINNING.

TRACT D OF IVAX TRACTS REPLAT, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 157, PAGE 44, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FORMERLY KNOWN AS THE FOLLOWING:

A PORTION OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 53 SOUTH, RANGE 40 EAST, MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 28, THENCE NORTH 88° 53' 45" WEST ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 28 FOR 34.93 FEET; THENCE SOUTH 46° 01' 49" WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF "DRESSSEL'S DAIRY CANAL" AS RECORDED IN OFFICIAL RECORDS BOOK 5176, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 812.84 FEET; AND THENCE NORTH 79° 27' 59" WEST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHWEST 36TH STREET AS RECORDED IN OFFICIAL RECORDS BOOK 7646, PAGE 122, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 528.75 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND: THENCE CONTINUE NORTH 79° 27' 59" WEST ALONG THE LAST DESCRIBED COURSE FOR 559.09 FEET; THENCE DUE SOUTH FOR 451.14 FEET AND THENCE DUE WEST FOR 221.63 FEET; SAID LAST MENTIONED TWO COURSES BEING COINCIDENT WITH THE BOUNDARY OF "PALMETT SUBDIVISION" ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 102, PAGE 11, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA; THENCE DUE SOUTH ALONG THE EAST LINE OF "FEDERAL RESERVE MIAMI" ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 108, PAGE 50, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 220.27 FEET; THENCE SOUTH 88° 51' 08" EAST FOR 369.50 FEET; THENCE NORTH 46° 01' 49" EAST FOR 154.46 FEET; AND THENCE NORTH 10° 32' 01" EAST FOR 514.60 FEET TO THE POINT OF BEGINNING.

LESS PORTION OF TRACT C AND TRACT D CONVEYED TO MIAMI-DADE COUNTY BY RIGHT OF WAY DEED RECORDED MARCH 1, 2017 IN OFFICIAL RECORDS BOOK 30439, PAGE 363, BEING PARTICULARLY DESCRIBED AS FOLLOWS:

A PORTION OF TRACTS "C" AND "D", "IVAX TRACTS REPLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 157, PAGE 44, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID TRACT "D"; THENCE SOUTH 79°27'59" EAST ON THE NORTH LINE OF SAID TRACT "D", ALSO BEING THE SOUTH RIGHT-OF-WAY LINE OF NW 36TH STREET EXTENSION (DORAL BOULEVARD) 10.98 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 79°27'59" EAST ALONG THE NORTH LINE OF SAID TRACT "D" AND "C" AND SAID SOUTH RIGHT-OF-WAY LINE 864.01 FEET; THENCE SOUTH 45°00'06" WEST 7.28 FEET; THENCE NORTH 79°27'59" WEST 174.20 FEET; THENCE SOUTH 10°32'01" WEST 11.50 FEET; THENCE NORTH 79°28'50" WEST 304.35 FEET; THENCE NORTH 66°41'54" WEST 52.40 FEET; THENCE NORTH 79°27'59" WEST 324.24 FEET; THENCE NORTH 34°26'44" WEST 8.48 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA, CONTAINING, IN ALL, 11.741 ACRES, MORE OR LESS.

CERTIFICATE:

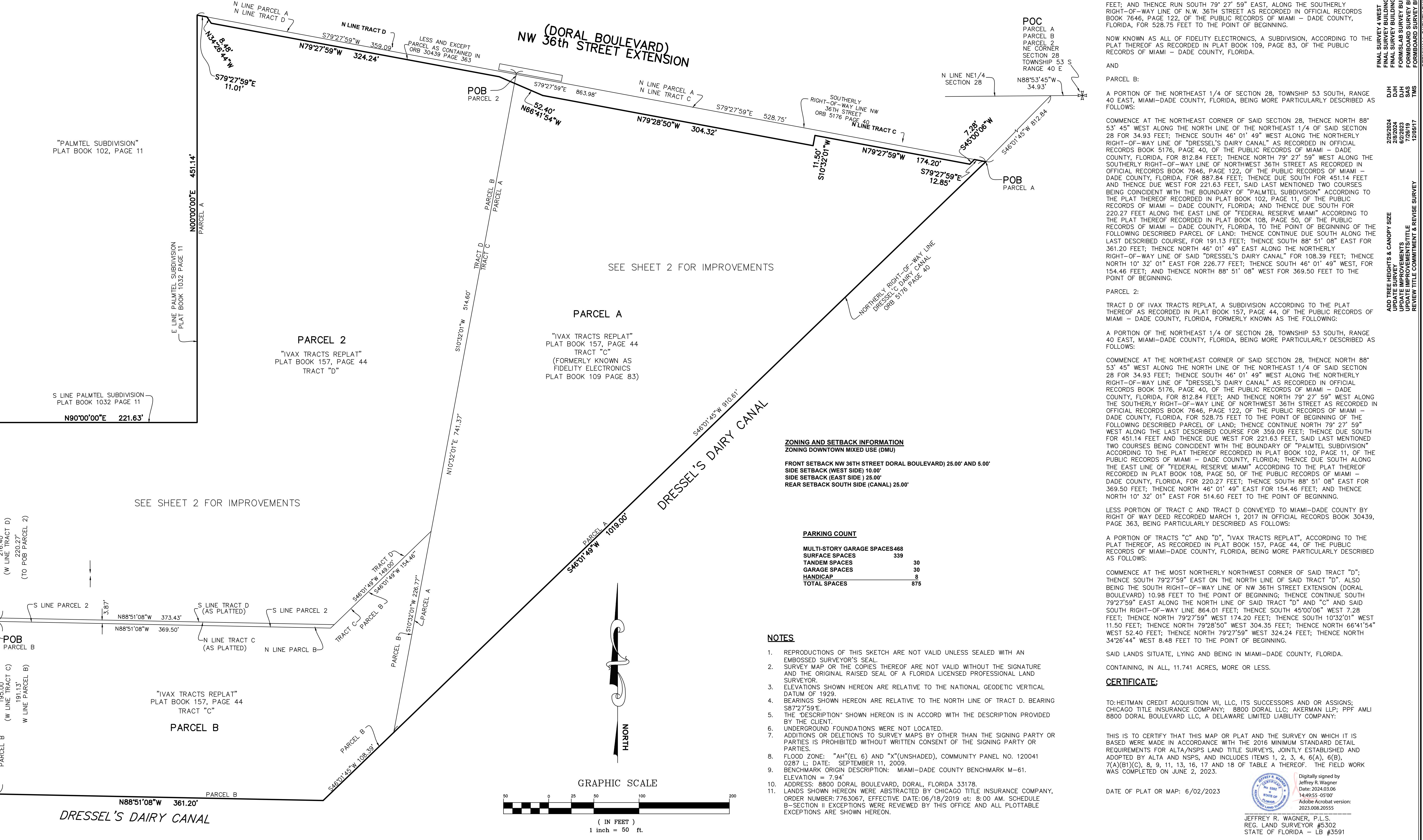
TO: HEITMAN CREDIT ACQUISITION VII, LLC, ITS SUCCESSORS AND OR ASSIGNS; CHICAGO TITLE INSURANCE COMPANY; 8800 DORAL LLC; AKERMAN LLP; PPF AMLI 8800 DORAL BOULEVARD LLC, A DELAWARE LIMITED LIABILITY COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A)(B)(C), 8, 9, 11, 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 2, 2023.

DATE OF PLAT OR MAP: 6/02/2023

Digitally signed by
Jeffrey R. Wagner
Date: 2023.06.02
14:49:55 -0500
Adobe Acrobat version:
2023.008.20555

JEFFREY R. WAGNER, P.L.S.
REG. LAND SURVEYOR #5302
STATE OF FLORIDA - LB #3591



REVOLUTIONS

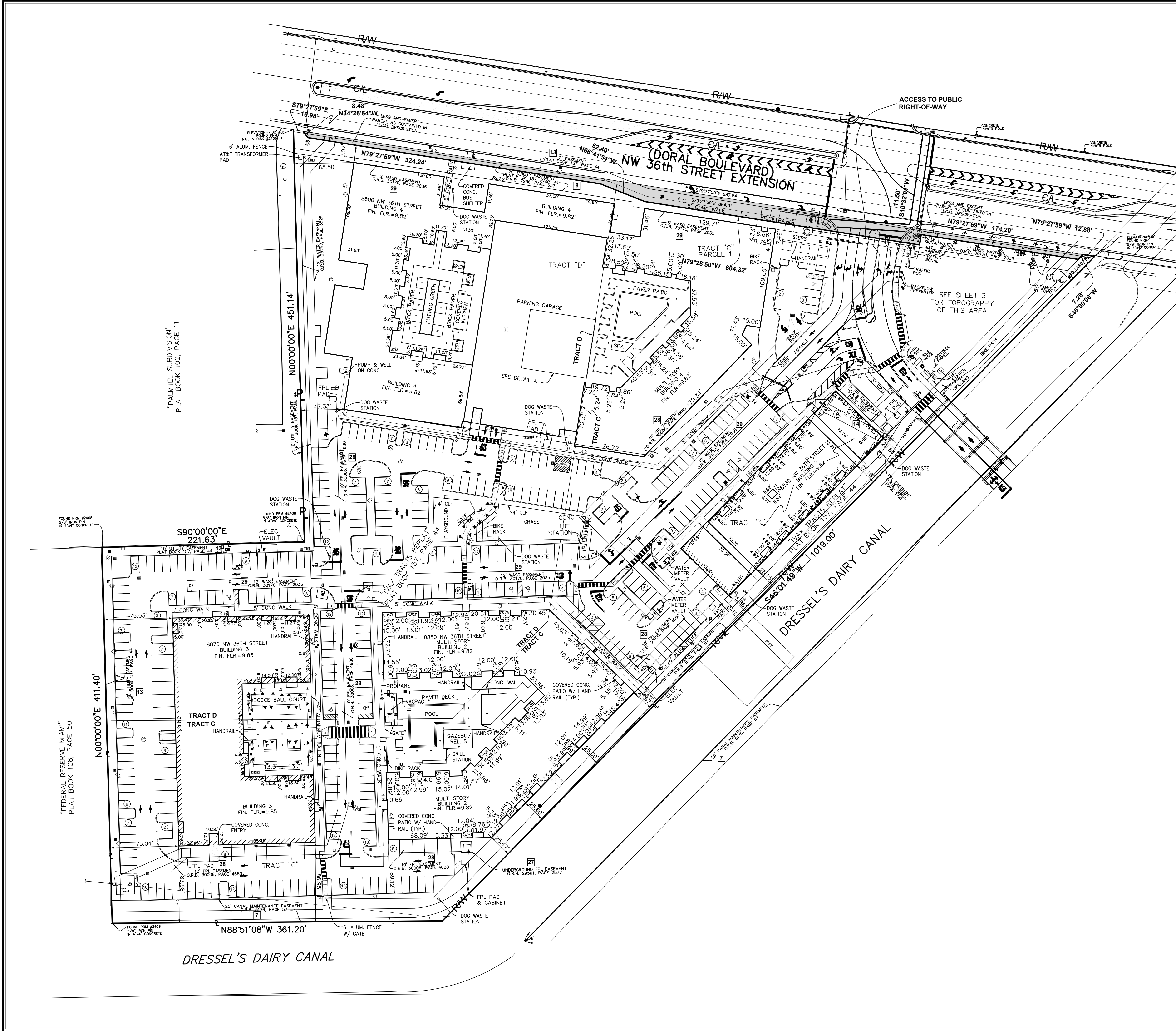
NO.	DATE	BY
1	06/02/2023	BJF

CAULFIELD & WHEELER, INC.
 CIVIL ENGINEERING
 LANDSCAPE ARCHITECTURE - SURVEYING
 7900 GLADES ROAD - SUITE 100
 BOCA RATON, FLORIDA 33434
 PHONE (561)-992-1991 / FAX (561)-750-1452

**DORAL GATEWAY
RESIDENTIAL DEVELOPMENT
ALTA NSPS LAND TITLE SURVEY**

DATE 0000
 DRAWN BY BJF
 F.B./ PG. ELEC.
 SCALE 1"=50'

JOB # 7109-3
 SHT. NO. 1
 OF 3 SHEETS



N

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

NO.	DATE	BY	REVISIONS
2024024	02/28/24	DJH	ADD TREE HEIGHTS & CANOPY SIZE
2023023	02/22/23	DJH	UPDATE SURVEY
722619	07/26/19	SAS	UPDATE IMPROVEMENTS
120517	12/05/17	TMS	UPDATE IMPROVEMENTS
81617	08/16/17	RFJ	REVIEW TITLE COMMITMENT & REVISE SURVEY
52017	02/07/17	TW	FINAL SURVEY 4 WEST
11415	11/14/15	TW	FORMER SUB SURVEY BUILDING 2 (PARTIAL)
121115	12/11/15	TW	FORMER SUB SURVEY BUILDING 3 (PARTIAL)
112015	11/20/15	TW	FORMER SUB SURVEY BUILDING 4 (PARTIAL)
111815	11/18/15	TW	FORMER SUB SURVEY BUILDING 4 (PARTIAL)
111415	11/14/15	TW	STEMWALL SURVEY BUILDING 4 (PARTIAL)
108115	10/8/15	TW	STEMWALL SURVEY BUILDING 4 (PARTIAL)
92115	09/21/15	ACE	SLAB SURVEY BUILDING 4 (PARTIAL)
91215	09/12/15	ACE	STEMWALL SURVEY BUILDING 4 (PARTIAL)
8415	08/4/15	TW	FORMER SUB SURVEY BUILDING 1

SCHEDULE B-II EXCEPTIONS
CHICAGO TITLE INSURANCE COMPANY
Issuing Office File Number: 4711016581 / 401900955J
Commitment Date: 06/18/2019 at 8:00 AM

Exception	Instrument Book & Page	Affect on Property
5	DB 176, PAGE 339	AFFECTS; NOT PLOTTED
6	DB 2243, PAGE 349	AFFECTS; NOT PLOTTED
6	ORB 1335, PAGE 108	AFFECTS; NOT PLOTTED
6	ORB 1482, PAGE 216	AFFECTS; NOT PLOTTED
6	ORB 9929, PAGE 136	AFFECTS; NOT PLOTTED
6	ORB 2240, PAGE 283	AFFECTS; NOT PLOTTED
6	ORB 5976, PAGE 705	AFFECTS; NOT PLOTTED
6	ORB 13588, PAGE 2324	AFFECTS; NOT PLOTTED
6	ORB 11431, PAGE 1978	AFFECTS; NOT PLOTTED
7	ORB 5178, PAGE 57	AFFECTS AS SHOWN
8	ORB 7256, PAGE 637	AFFECTS AS SHOWN
9	ORB 9940, PAGE 23	AFFECTS; NOT PLOTTED
10	ORB 10044, PAGE 914	AFFECTS; NOT PLOTTED
11	ORB 10250, PAGE 1258	AFFECTS; NOT PLOTTED
12	PB 109, PAGE 83	AFFECTS AS SHOWN
13	PB 157, PAGE 44	AFFECTS AS SHOWN
14	ORB 10450, PAGE 1721	AFFECTS AS SHOWN
15	ORB 18973, PAGE 4898	AFFECTS; NOT PLOTTED
16	ORB 18988, PAGE 1355	AFFECTS; NOT PLOTTED
17	ORB 18988, PAGE 1478	AFFECTS; NOT PLOTTED
18	ORB 18988, PAGE 1482	AFFECTS; NOT PLOTTED
19	ORB 19022, PAGE 804	AFFECTS; NOT PLOTTED
20	ORB 25252, PAGE 3525	AFFECTS AS SHOWN
21	ORB 29398, PAGE 2259	AFFECTS; NOT PLOTTED
22	ORB 29398, PAGE 2264	AFFECTS; NOT PLOTTED
22	ORB 30147, PAGE 2254	AFFECTS; NOT PLOTTED
23	ORB 29461, PAGE 757	AFFECTS; NOT PLOTTED
24	ORB 29461, PAGE 790	AFFECTS; NOT PLOTTED
25	ORB 29461, PAGE 805	AFFECTS; NOT PLOTTED
26	ORB 29430, PAGE 4554	AFFECTS; NOT PLOTTED
26	ORB 30185, PAGE 1406	AFFECTS; NOT PLOTTED
27	ORB 29561, PAGE 2877	AFFECTS AS SHOWN
28	ORB 30006, PAGE 4680	AFFECTS AS SHOWN
29	ORB 30170, PAGE 2035	AFFECTS AS SHOWN
30	ORB 30193, PAGE 578	AFFECTS; NOT PLOTTED

ENCROACHMENTS
A ENCROACHMENT A - BUILDING ENCLOSES INTO FPL EASEMENT

LEGEND

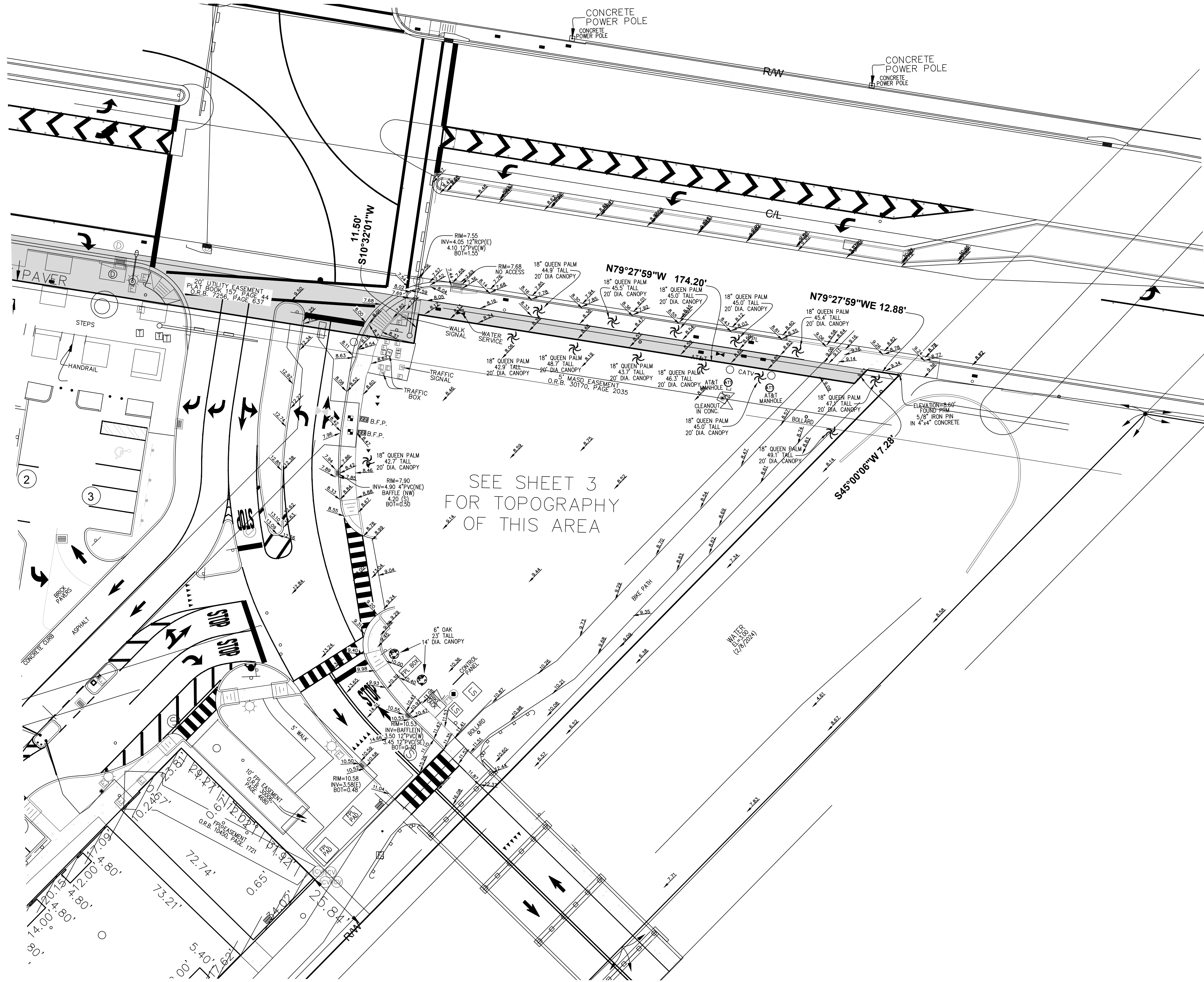
A/C - AIR CONDITIONER	INV. - INVERT
L - ARC LENGTH	IRR. - IRRIGATION
ALUM. - ALUMINUM	L.A.E. - LIMITED ACCESS EASEMENT
B.E. - BUFFER EASEMENT	O/S - BUILDING OFFSET
C.O. - CLEANOUT	O.R.B. - OFFICIAL RECORD BOOK
CLF - CHAIN LINK FENCE	P.B. - PLAT BOOK
CONC. - CONCRETE	P.B.C.R. - PALM BEACH COUNTY RECORD
COV. COVERED	P.O.B. - POINT OF BEGINNING
D.E. - DRAINAGE EASEMENT	P.O.C. - POINT OF COMMENCEMENT
ELEC. - ELECTRIC	PGS. - PAGE(S)
ELEV. - ELEVATION	P.R.M. - PERMANENT REFERENCE MONUMENT
EQUIP. - EQUIPMENT	PROP. - PROPOSED
ESMT. - EASEMENT	R - RADIUS
EXIST. - EXISTING	R/W - RIGHT-OF-WAY
F.P.L. - FLORIDA POWER & LIGHT	RGE. - RANGE
FIN. - FINISHED	SEC. - SECTION
FLR. - FLOOR	A - DELTA (CENTRAL ANGLE)
FND. - FOUND	WASD - WATER AND SEWER DEPARTMENT
I.R./CAP. - IRON ROD & CAP	
1 - EXCEPTION NUMBER	
SQ. FT. - SQUARE FEET	C - CENTER LINE
TWP. - TOWNSHIP	EXISTING ELEVATION
TYP. - TYPICAL	TRAFFIC SIGN
U.E. - UTILITY EASEMENT	ELECTRICAL WIRES OVERHEAD
W.M. - WATER METER	ANCHOR
W.E. - WATER EASEMENT	WATER METER
S.E. - SANITARY EASEMENT	RPZ
LIGHT POLE	GROUND LIGHT
FIRE HYDRANT	ELECTRIC HAND HOLE
CATCH BASIN	IRRIGATION CONTROL VALVE
WATER VALVE	YARD DRAIN
SET 5/8" IRCAP LB 3591	DRAINAGE MANHOLE
SANITARY MANHOLE	CLEANOUT
GAS HAND HOLE	FIRE DEPARTMENT CONNECTION
AT&T HAND HOLE	WOOD POWER POLE (UNLESS NOTED)
BELLSOUTH MANHOLE	FIBER OPTIC HAND HOLE
	DOUBLE DETECTOR CHECK VALVE
	TRAFFIC SIGNAL HAND HOLE

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561) 392-1991 / FAX (561) 750-1452

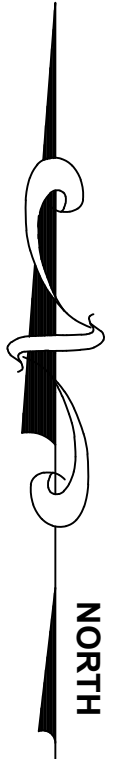
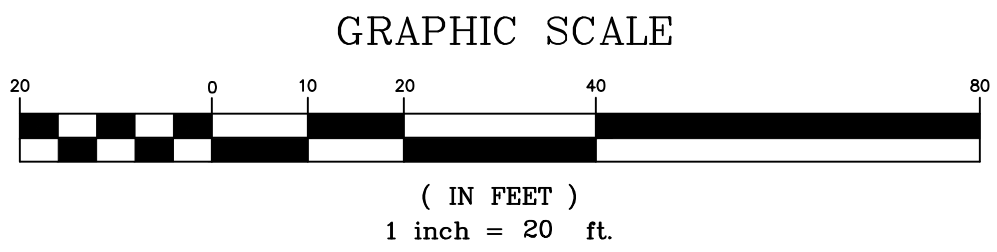
**DORAL GATEWAY
RESIDENTIAL DEVELOPMENT
ALTA NSPS LAND TITLE SURVEY**

DATE 0000
DRAWN BY B.J.F.
F.B./ PG. ELEC.
SCALE 1"=50'

JOB # 7109-3
SHT. NO. 2
OF 3 SHEETS



SEE SHEET 3
FOR TOPOGRAPHY
OF THIS AREA



LEGEND

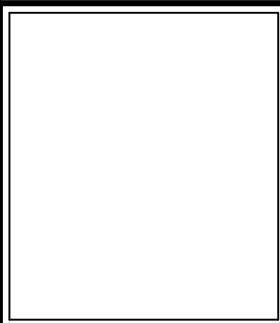
- A/C - AIR CONDITIONER
- L - ARC LENGTH
- ALUM. - ALUMINUM
- B.E. - BUFFER EASEMENT
- B.F.P. - BACKFLOW PREVENTER
- C.O. - CLEANOUT
- CLF - CHAIN LINK FENCE
- CONC. - CONCRETE
- COV. COVERED
- D.E. - DRAINAGE EASEMENT
- ELEC. - ELECTRIC
- ELEV. - ELEVATION
- EQUIP. - EQUIPMENT
- ESMT. - EASEMENT
- EXIST. - EXISTING
- F.P.L. - FLORIDA POWER & LIGHT
- FIN. - FINISHED
- FLR. - FLOOR
- FND. - FOUND
- IR/ICAP - IRON ROD & CAP
- L.S. - LIFT STATION
- 1 - EXCEPTION NUMBER
- SQ. FT. - SQUARE FEET
- TWP. - TOWNSHIP
- TYP. - TYPICAL
- U.E. - UTILITY EASEMENT
- W.M. - WATER METER
- W.E. - WATER EASEMENT
- S.E. - SANITARY EASEMENT
- LIGHT POLE
- FIRE HYDRANT
- CATCH BASIN
- WATER VALVE
- SET 5/8" IRICAP LB 3591
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- GAS HAND HOLE
- AT&T HAND HOLE
- BELLSOUTH MANHOLE
- INV. - INVERT
- IRR. - IRRIGATION
- L.A.E. - LIMITED ACCESS EASEMENT
- B.O. - BUILDING OFFSET
- O.R.B. - OFFICIAL RECORD BOOK
- P.B. - PLAT BOOK
- P.B.C.R. - PALM BEACH COUNTY RECORD
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- PGS. - PAGE(S)
- P.R.M. - PERMANENT REFERENCE MONUMENT
- PROP. - PROPOSED
- R. - RADIUS
- R/W - RIGHT-OF-WAY
- RGE. - RANGE
- SEC. - SECTION
- DELTA (CENTRAL ANGLE)
- WASD - WATER AND SEWER DEPARTMENT
- CENTER LINE
- EXISTING ELEVATION
- TRAFFIC SIGN
- ELECTRICAL WIRES OVERHEAD
- ANCHOR
- WATER METER
- RPZ
- GROUND LIGHT
- ELECTRIC HAND HOLE
- IRRIGATION CONTROL VALVE
- YARD DRAIN
- CLEANOUT
- FIRE DEPARTMENT CONNECTION
- WOOD POWER POLE (UNLESS NOTED)
- FIBER OPTIC HAND HOLE
- DOUBLE DETECTOR CHECK VALVE
- TRAFFIC SIGNAL HAND HOLE

ADD. TREE HEIGHTS & CANOPY SIZE	D.H.
UPDATE SURVEY	2/26/2024
UPDATE IMPROVEMENTS	6/22/2023
UPDATE IMPROVEMENTS/SITING	7/26/19
REVIEW TITLE COMMITMENT & REVISION SURVEY	12/05/17
FINAL SURVEY 4 WEST	8/16/17
FINAL SURVEY BUILDING 1 AND 3	6/20/17
FORMSLAB SURVEY BUILDING 3 (PARTIAL)	11/16/16
FORMSLAB SURVEY BUILDING 2 AND 3 (PARTIAL)	12/11/15
STEMWALL SURVEY BUILDING 4 (PARTIAL)	11/18/15
STEMWALL SURVEY BUILDING 4 (PARTIAL)	11/18/15
STEMWALL SURVEY BUILDING 4 (PARTIAL)	10/8/15
SLAB SURVEY BUILDING 1	9/21/15
SLAB SURVEY BUILDING 4 (PARTIAL)	9/21/15
STEMWALL SURVEY BUILDING 4 (PARTIAL)	9/21/15
FORMSLAB SURVEY BUILDING 1	8/4/15
REVISIONS	DATE
BY	BY

CAULFIELD & WHEELER, INC.
 CIVIL ENGINEERING
 LANDSCAPE ARCHITECTURE - SURVEYING
 7900 GLADES ROAD - SUITE 100
 BOCA RATON, FLORIDA 33424
 PHONE (561) 392-1991 / FAX (561) 750-1452

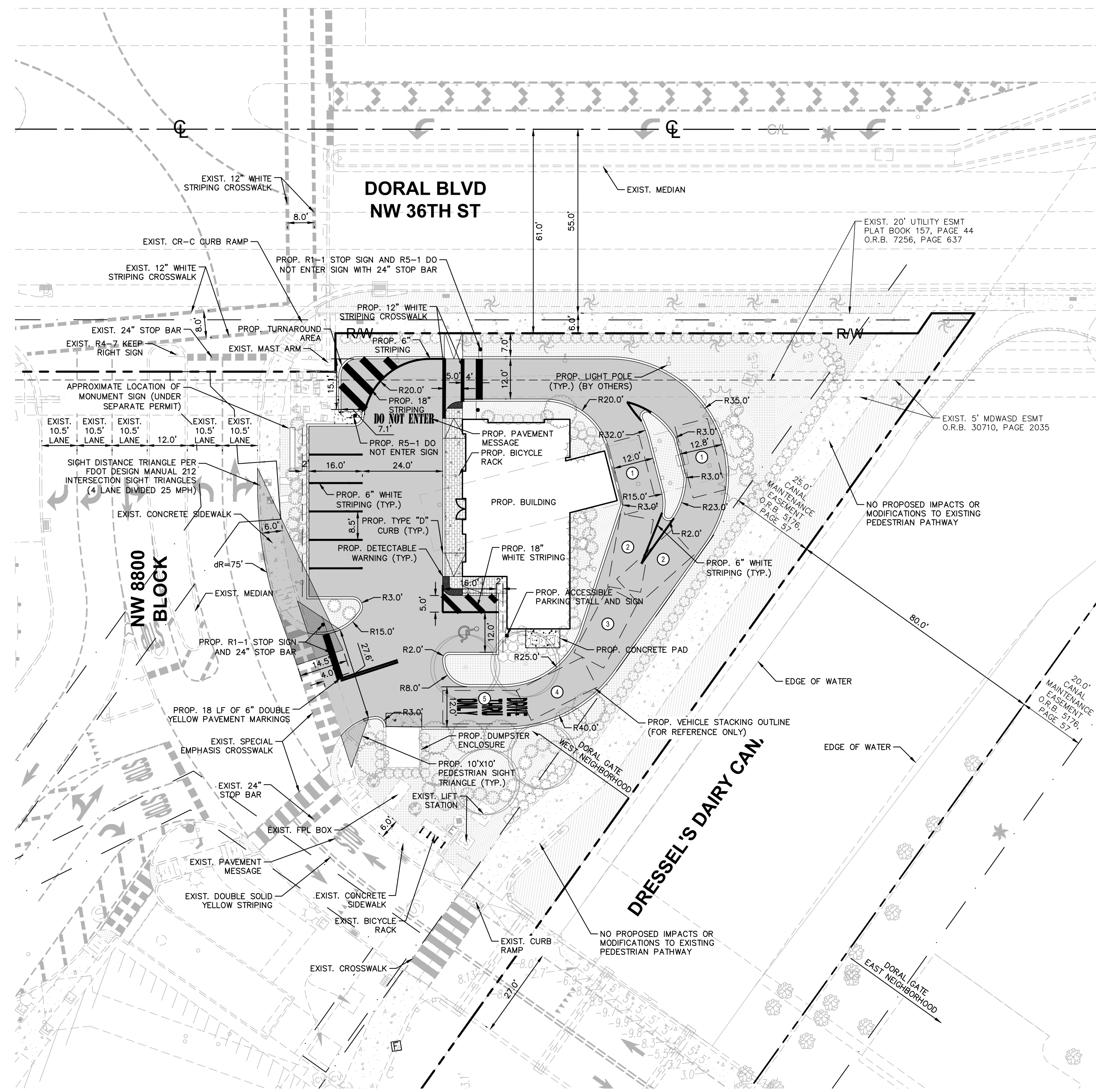
**DORAL GATEWAY
RESIDENTIAL DEVELOPMENT
ALTA NSPS LAND TITLE SURVEY**

DATE	0000
DRAWN BY	BJF
F.B./ PG.	ELEC.
SCALE	1"=20'



JOB #	7109-3
SHT. NO.	3
OF 3 SHEETS	

Plotted By: Marco, Matthew - Street: OCEAN BANK AMU - Layout: C-102 SITE PLAN - May 03, 2024 11:59:15am - K:\MIB-Div\143771001-Doral Ocean Bank\AMU\CADD\PlanSheets\C-102 SITE PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

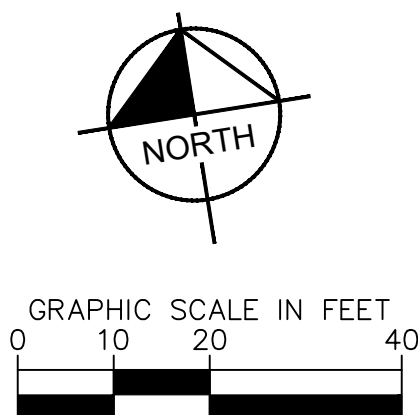


NOTES:

- ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE THERMOPLASTIC PAINT.
- ALL STOP BARS AND DOUBLE SOLID YELLOW LINES WITHIN THE PROPERTY TO BE INSTALLED ON ASPHALT SHALL BE THERMOPLASTIC PAINT.
- ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE RESTORED TO MEET EXISTING CONDITIONS AFTER THE INSTALLATION OF ALL PROPOSED UTILITIES AND PAVEMENT RESTORATION.
- ALL THERMOPLASTIC PAINT SHALL ADHERE TO FDOT STANDARD SPECIFICATIONS - SECTION 711.
- ALL PAINTED PAVEMENT MARKINGS SHALL ADHERE TO FDOT STANDARD SPECIFICATIONS - SECTION 710.
- STREET SIGNS: USE MIAMI-DADE COUNTY STANDARD STREET NAME SIGN APPROVED BY MIAMI-DADE COUNTY.

LEGEND:

- RIGHT-OF-WAY LINE OR PROPERTY LINE
- CENTER LINE OF ROADWAY
- BUILDING OUTLINE
- PROP. THERMOPLASTIC ARROW
- PROP. DIRECTIONAL ARROW
- PROP. VEHICLE STACKING COUNT



Sec. 77-231. Required:
 All commercial and office uses utilizing drive-through facilities shall provide vehicle stacking area based on the following criteria:
 (1) Size of space: Stacking area shall be designed based on a ten-foot by 21-foot space per required vehicle.
 (2) Design of stacking area: The stacking area required below shall be designed to allow to operate independently of other required parking and circulation areas. The required number of vehicle spaces shall include the vehicle being served.
 (Ord. No. 2007-10, ex. A (Ch. K & T), (s), 2-12-2007)

Sec. 77-232. Required stacking area:
 The required stacking areas shall be as follows:

Use:	Number of Spaces:
Financial institutions	5 spaces per service lane
Restaurant:	6 spaces per service lane with a minimum of 3 spaces behind the order station or menu
Utility business office	8 spaces per service lane
Auto wash (self-service)	3 spaces per service lane
Auto wash (attendant service or drive-through automatic service)	8 spaces per service lane
Service stations (gasoline, quick lube, and other drive-through facilities)	3 spaces per service lane
All other drive-through facilities	3 spaces per service lane

VEHICLE STACKING CODE REQUIREMENTS

OCEAN BANK SITE CALCULATIONS

AREA	SF	ACRES	%
TOTAL AFFECTED AREA	17567	0.403	100
PROP. PERVIOUS AREA	6626	0.152	38
PROP. IMPERVIOUS AREA	10941	0.251	62
PROP. BUILDING AREA	1956	0.045	11
PROP. PAVEMENT AREA	8985	0.206	51

BUILDING SETBACKS

SETBACK	REQUIRED (FT)	PROVIDED (FT)
FRONT (NORTH)	20	25'-9" BUILDING 25'-1" CANOPY
REAR (SOUTH)	25	863
SIDE (EAST)	25	43'-8" BUILDING 30'-1" CANOPY
SIDE (WEST)	10	720

PARKING CALCULATIONS

USE	QTY	RATIO	REQUIRED
GROSS AREA	1956	1 PARKING SPACE FOR EVERY 300 SF	7
STANDARD PARKING PROVIDED			6
HANDICAP PARKING REQUIRED			1
HANDICAP PARKING PROVIDED			1
TOTAL PARKING PROVIDED			7

SITE SUMMARY

JURISDICTION	CITY OF DORAL
ZONING	IC
OVERLAY	DMU
FLU	DOWNTOWN MIXED-USE
USE	RETAIL (BANK)
TYPE OF CONSTRUCTION	COMMERCIAL
PARCEL ID	35-3028-026-0010

LOT

SIZE	17567 SF
------	----------

BUILDING

SIZE	1956 SF
HEIGHT	11'-4" T.O. BLDG PARAPET 17'-0" T.O. CANOPY
CONSTRUCTION TYPE	III-B (SPRINKLERED)
F.A.R.	0.11

PARKING

STALL SIZE	6 SPACES - 8.5' X 16' 1 SPACE - 12' X 16' (2 FT OVERHANG PROVIDED FOR 18 FT TOTAL LENGTH)
------------	---

LANDSCAPE BUFFERS

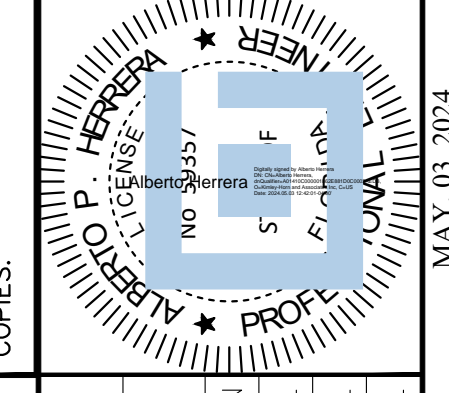
SETBACK	REQUIRED (FT)	PROVIDED (FT)
FRONT (NORTH)	5	7
REAR (SOUTH)	0	9
SIDE (EAST)	20	6
SIDE (WEST)	0	11

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DATE: 5/3/2024

No.	REVISIONS	DATE	BY

Kimley & Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33134
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTRY 35106



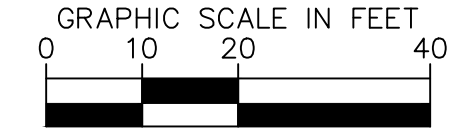
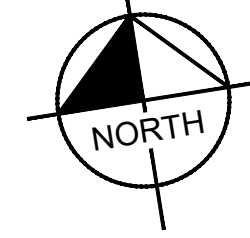
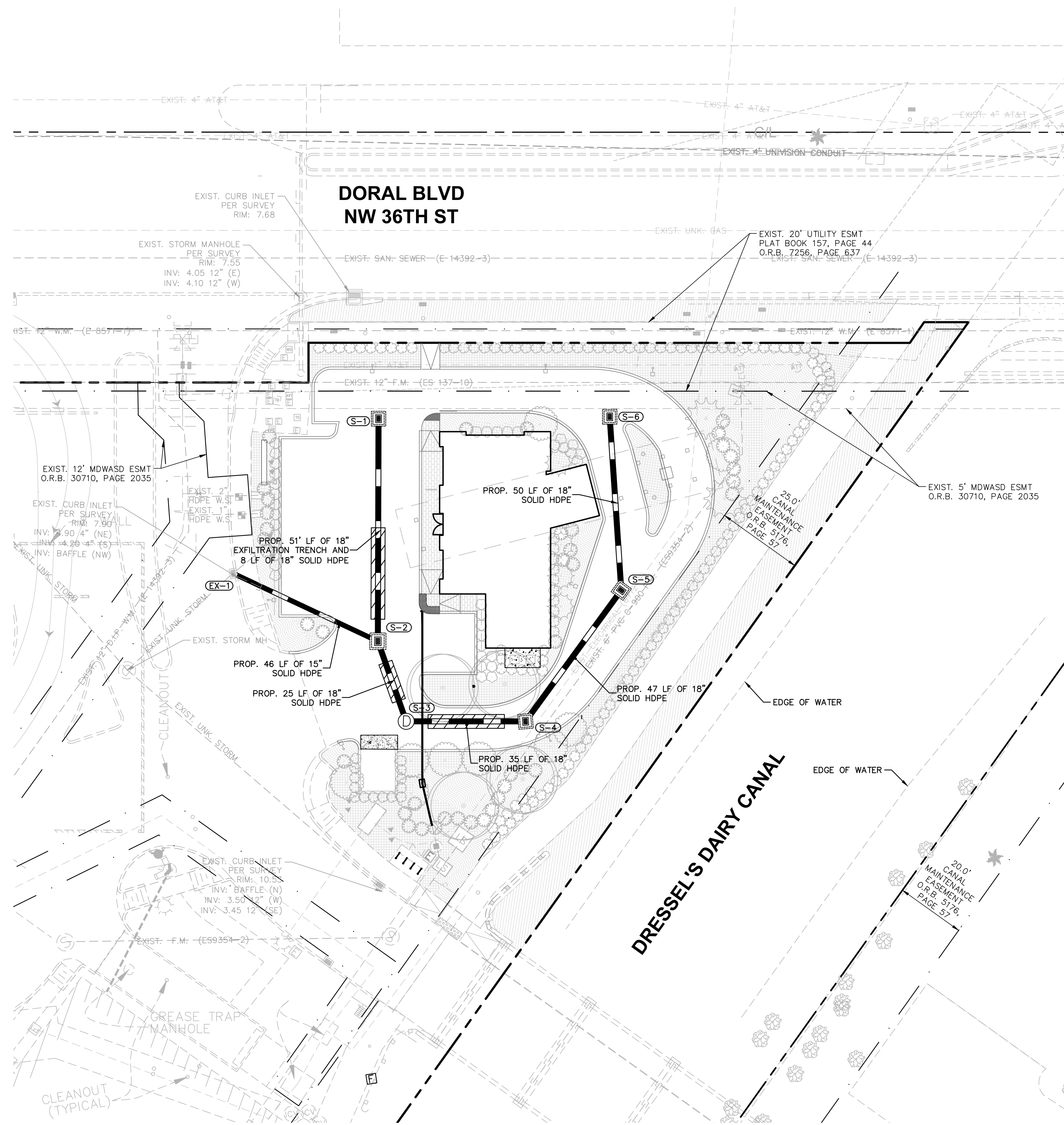
KHA PROJECT	143771001
DATE	02/08/2024
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

SITE PLAN

DORAL OCEAN BANK
 PREPARED FOR
8800 DORAL, LLC
 CITY OF DORAL

Sunshine 811
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
 Check positive response codes before you dig!

Plotted By: Marco, Matthew Sheet Set: Ocean Bank AMU Layout: C-400 DRAINAGE PLAN May 03, 2024 11:58:51am K:\mbp_gva\143771001\doral ocean bank\CADD\plan_sheets\C-400 DRAINAGE PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

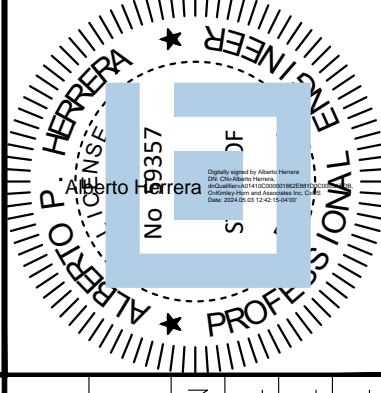


LEGEND:

- RIGHT OF WAY/ PROPERTY LINE
- CENTERLINE OF ROADWAY
- PROP. LANDSCAPE AREA
- PROP. EXFILTRATION TRENCH
- EXIST. EASEMENT

STRUCTURE NUMBER	STRUCTURE TYPE	RIM ELEVATION	INVERT ELEVATION (* DENOTES BAFFLE)
EX-1	EXIST. CATCH BASIN	RIM = 7.90	(15") 4.00 (SE) (15") 4.00 (SW) (6") 4.90 (NE)
S-1	PROP. CATCH BASIN	RIM = 8.55	(18") 5.00 (S)
S-2	PROP. CATCH BASIN	RIM = 8.65	(18") 5.00 (N) (15") 4.00 (NW) (18") 5.30 (S)
S-3	PROP. STORM MANHOLE	RIM = 9.10	(18") 5.30 (N) (18") 5.30 (E)
S-4	PROP. CATCH BASIN	RIM = 9.13	(18") 5.30 (W) (18") 5.30 (NE)
S-5	PROP. CATCH BASIN	RIM = 8.86	(18") 5.30 (SW) (18") 5.30 (N)
S-6	PROP. CATCH BASIN	RIM = 8.90	(18") 5.30 (S)

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED
 BY MARCO A. FERRELLA, P.E., ON THE DATE
 02/08/2024
 PRINTED COPIES OF THIS DOCUMENT ARE NOT
 CONSIDERED SIGNED AND SEALED AND THE
 SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC
 COPIES.



DATE: 5/3/2024

KHA PROJECT 143771001	DATE 02/08/2024
SCALE AS SHOWN	DESIGNED BY MARCO A. FERRELLA
	DRAWN BY MARCO A. FERRELLA
	CHECKED BY MARCO A. FERRELLA

DRAINAGE PLAN

DORAL OCEAN BANK
 PREPARED FOR
8800 DORAL, LLC

SHEET NUMBER
C-400

CITY OF DORAL

Kimley+Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33134
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTERED PROFESSIONAL ENGINEERS

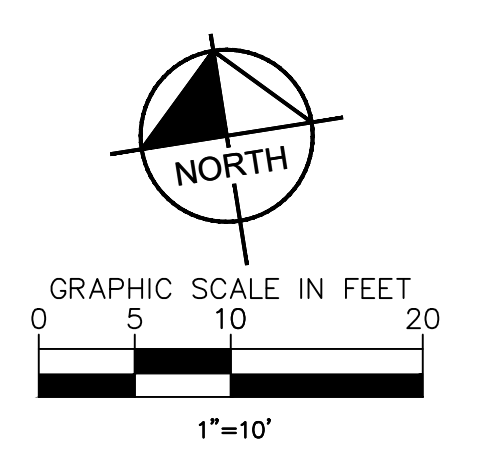
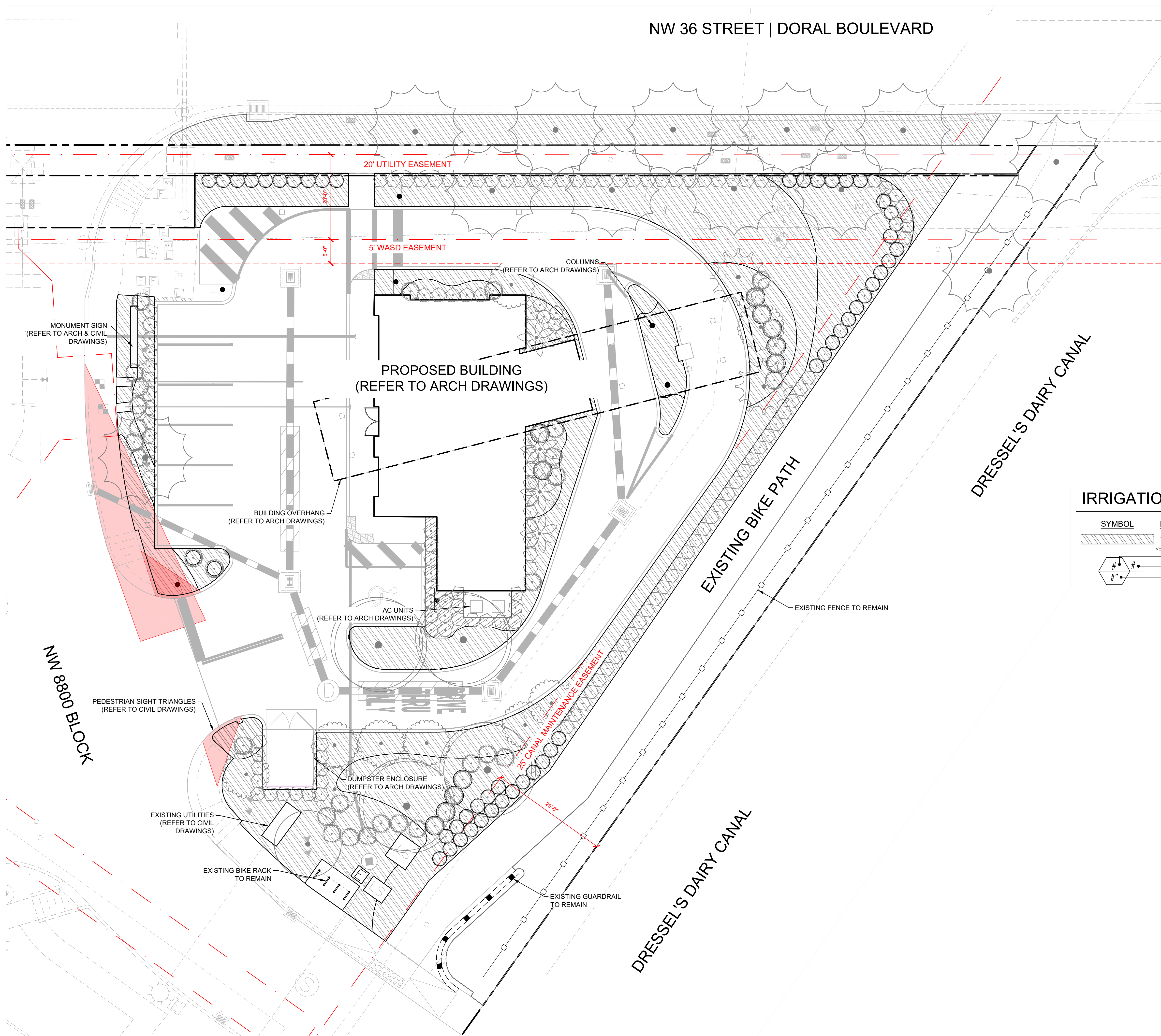
NO.	REVISIONS	DATE	BY



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
 Check positive response codes before you dig!

Plotted By: Liberman, Amy - Sheet: S41-DORAL OCEAN BANK - Layout: IRR-400 - IRRIGATION PLAN - May 03, 2024 - 11:19:56am - K:\vmb-civil\43771001-doral ocean bank\landscape\CADD\plansheets\LANDSCAPE - SHEETS\IRR400 - IRRIGATION PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

NW 36 STREET | DORAL BOULEVARD



LEGEND:
 --- RW --- P --- RIGHT OF WAY / PROPERTY LINE

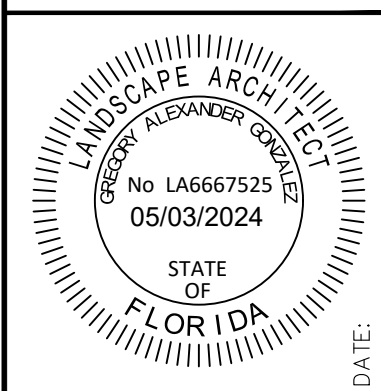
IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY
	AREAS TO BE IRRIGATED	8,160 S.F.
	Valve Callout	
	Valve Number	
	Valve Flow	
	Valve Size	

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED
 BY GREGORY ALEXANDER GONZALEZ, P.L.A.
 LA6667525, ON DATE ADJACENT TO SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT
 VALID. ALL COPIES MUST BE VERIFIED ON ANY ELECTRONIC
 COPIES. THE SEAL APPEARING ON THIS DOCUMENT WAS
 THE SEAL APPEARING ON THE ORIGINAL DOCUMENT.
 LA6667525 ON THE DATE ADJACENT TO THE SEAL.

NO.	REVISIONS	DATE	BY

Kimley»Horn
 © 2010 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33145
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTRY NO. 696



KHA PROJECT	143771001
DATE	MARCH 2004
SCALE	AS SHOWN
DESIGNED BY	AML
DRAWN BY	AML
CHECKED BY	CG
DATE:	

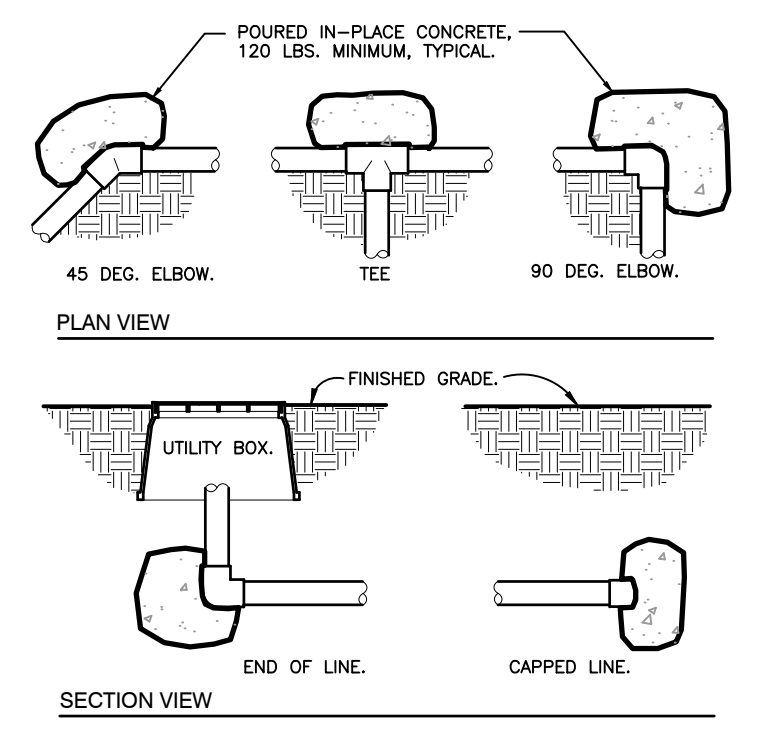
IRRIGATION PLAN

DORAL OCEAN BANK
 PREPARED FOR
 8800 DORAL, LLC
 CITY OF DORAL, FL

SHEET NUMBER
IRR-400

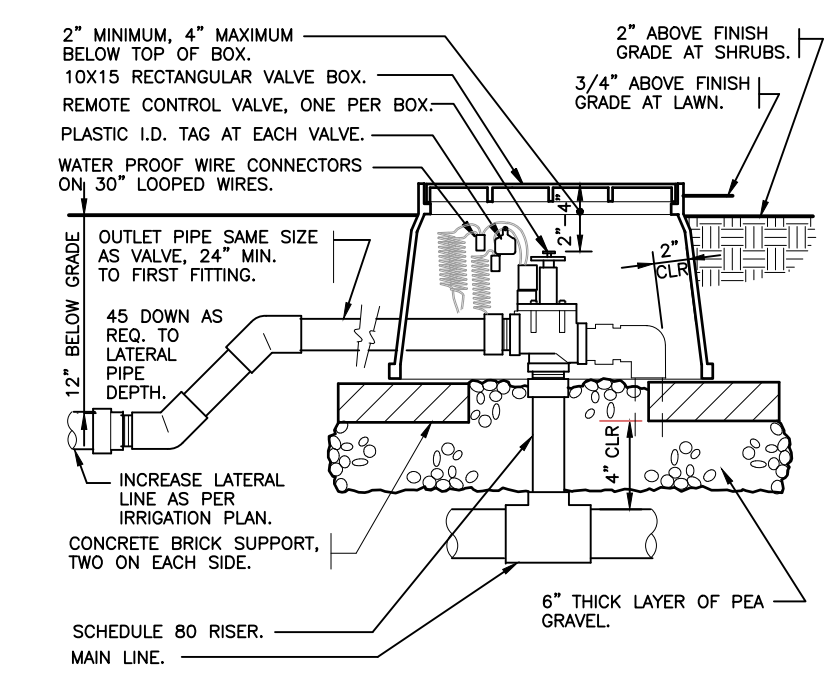


Plotted By: Liberman, Amy - Sheet Set: DORAL OCEAN BANK - Layout: IRR-451 - IRRIGATION DETAILS - May 03, 2024 - 11:20:06am - 45 - vmb-001-143771001-doral ocean bank landscape CAD - plant details - LANDSCAPE - IRRIGATION NOTES.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

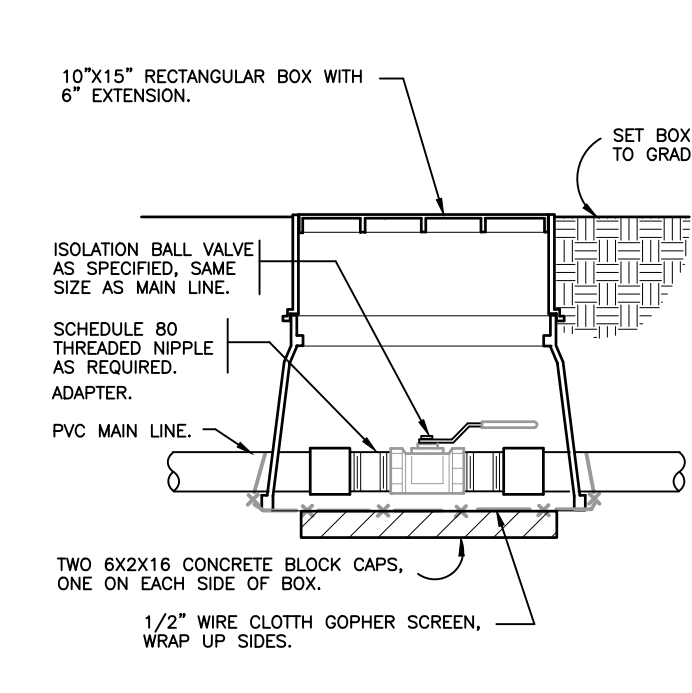


1 THRUST BLOCKING
3/4" = 1'-0"

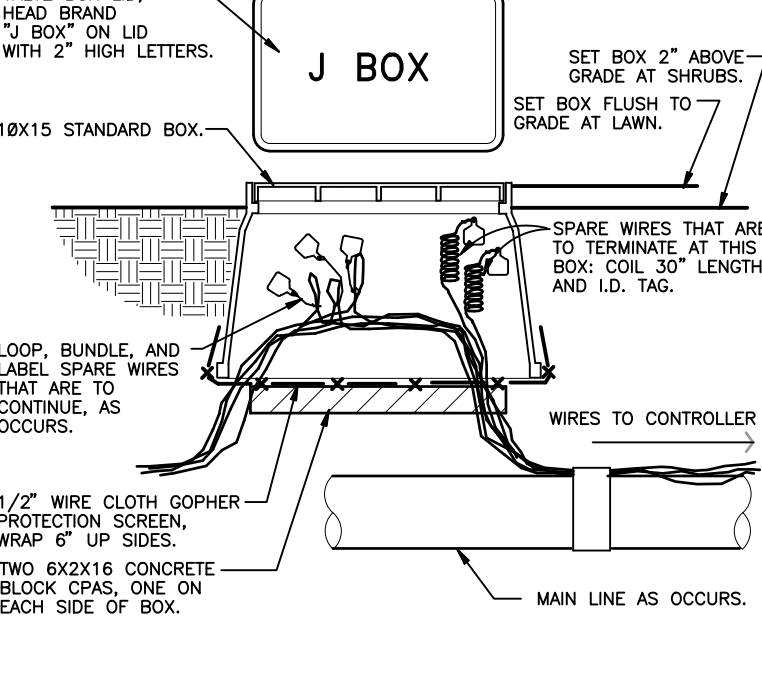
2 TRENCHING DETAIL
NOT TO SCALE



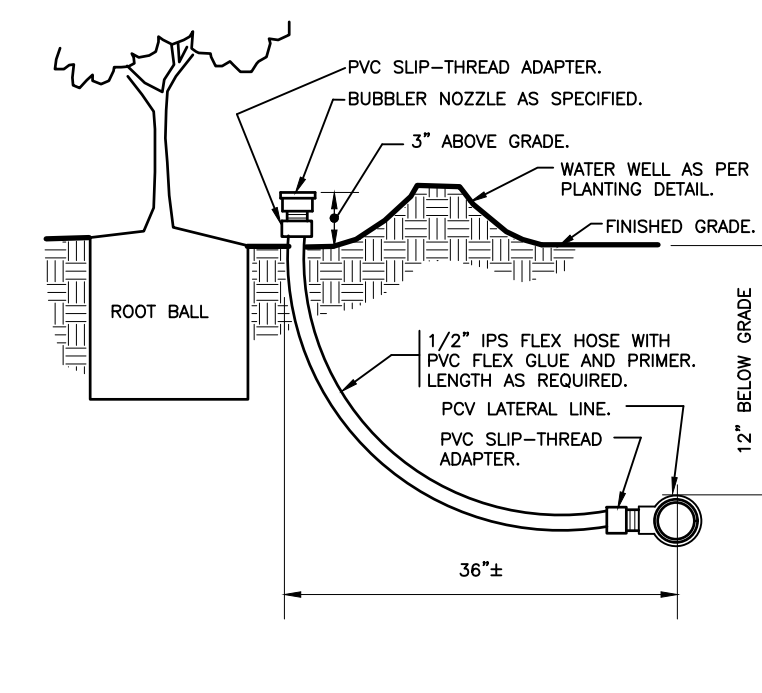
3 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"



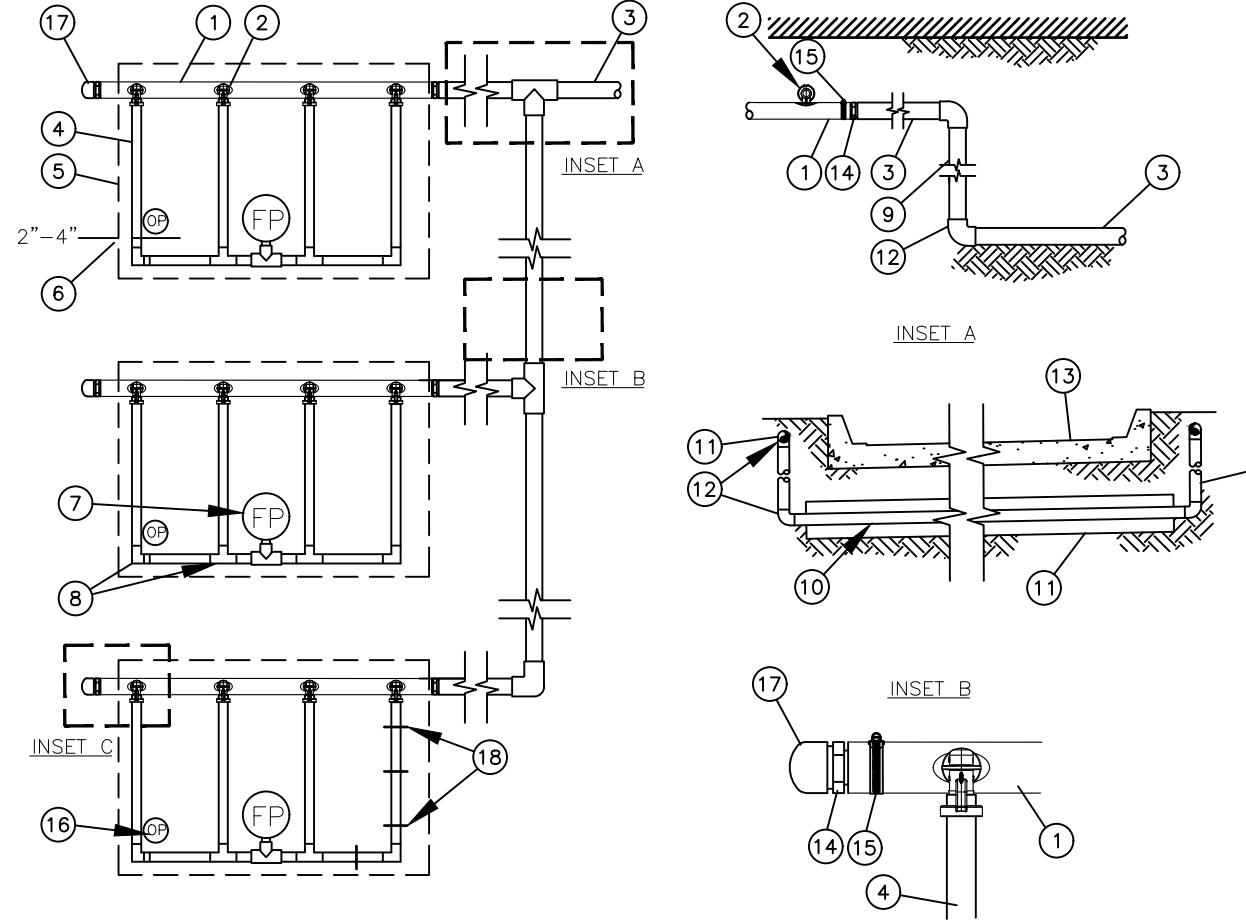
4 BRASS BALL ISOLATION VALVE
1 1/2" = 1'-0"



5 WIRE BUNDLE JUNCTION BOX
1 1/2" = 1'-0"



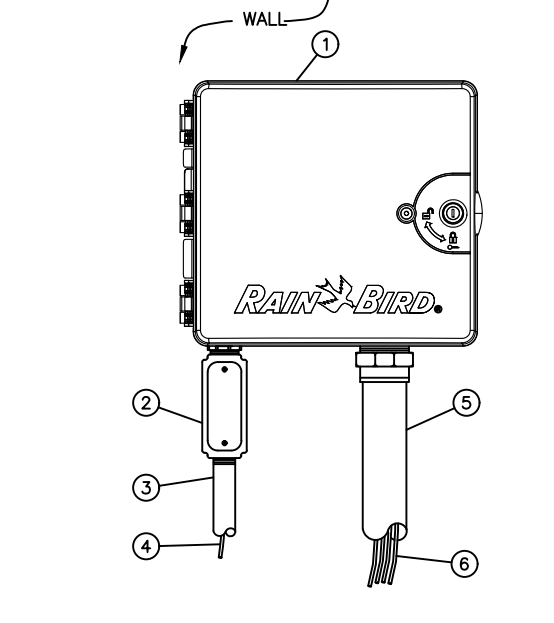
6 BUBBLER ON FLEX HOSE RISER
3" = 1'-0"



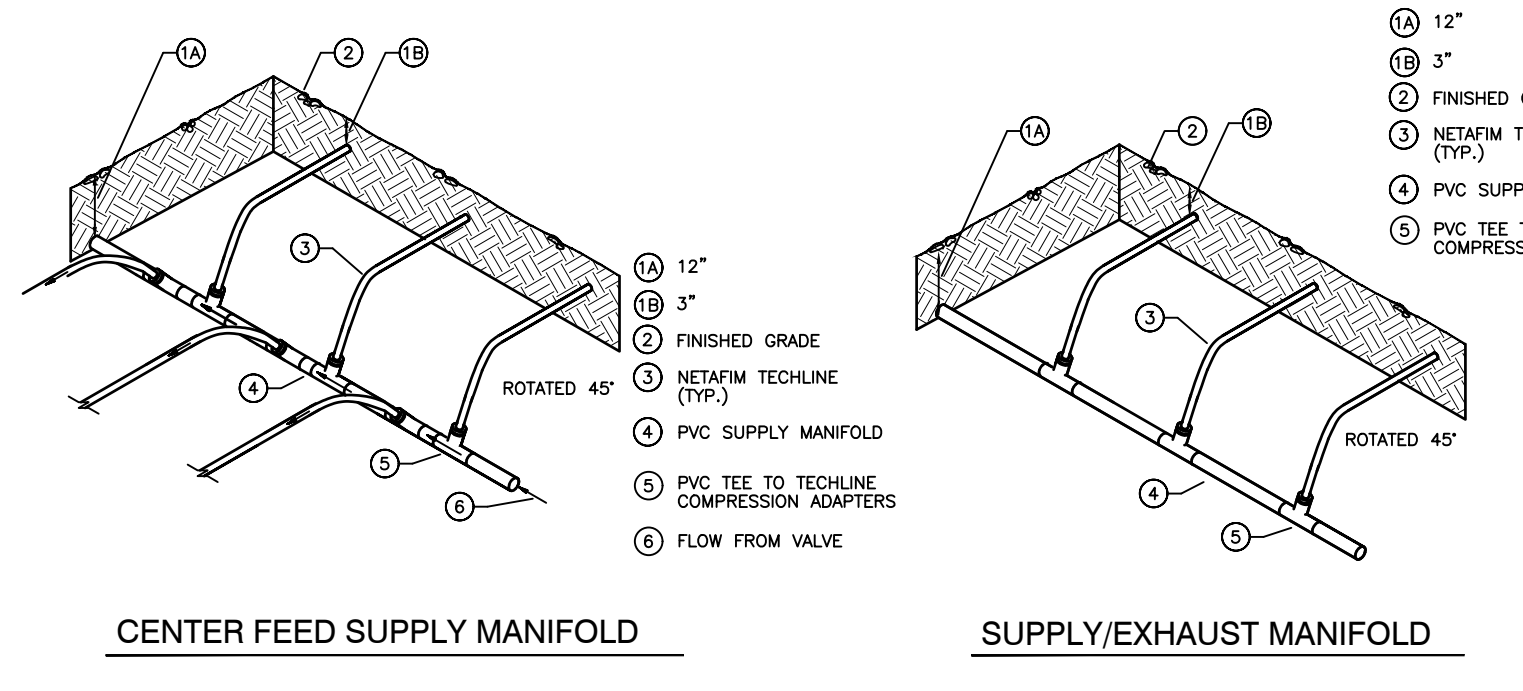
12 TYPICAL DRIPLINE LAYOUT REQUIREMENTS
NOT TO SCALE

XFS Dripline Maximum Lateral Lengths (Feet)

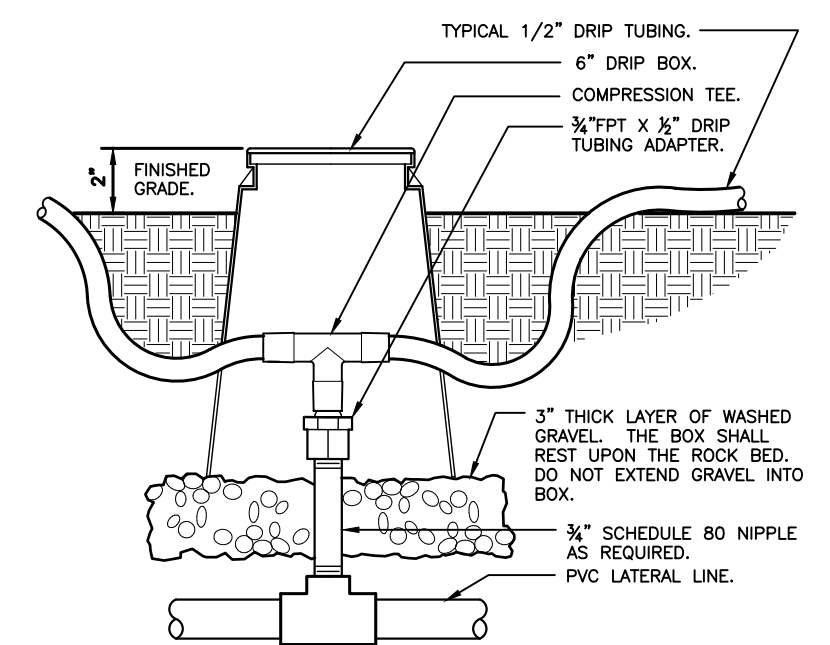
Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)
15	0.6	0.9	0.6	0.9	0.6	0.9
20	273	155	314	250	424	322
30	380	230	413	350	586	414
40	395	255	465	402	652	474
50	417	285	528	420	720	488
60	460	290	596	455	780	514



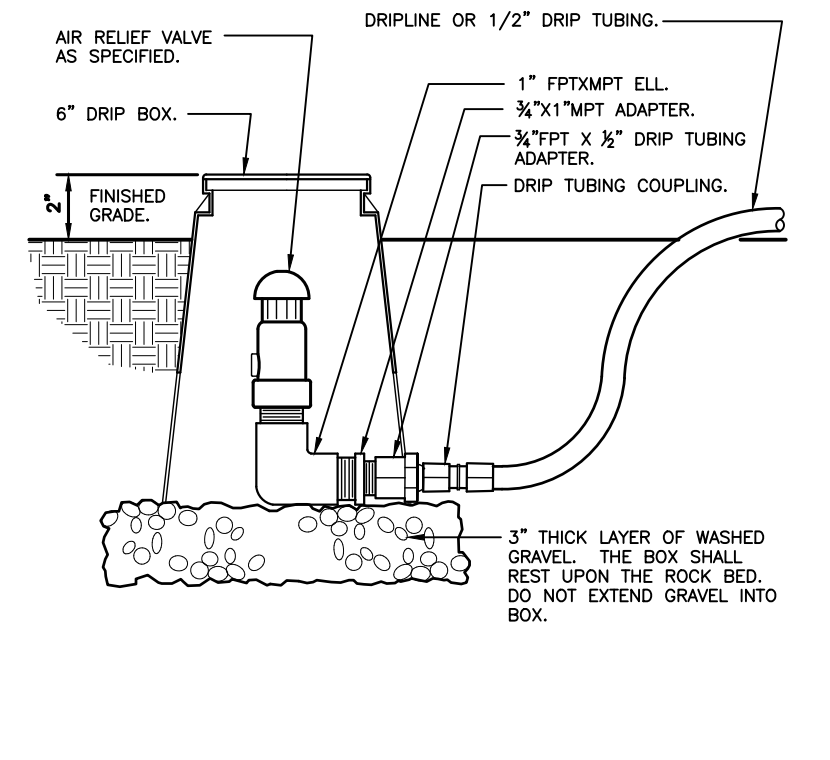
10 ESP-LXMEF CONTROLLER IN PLASTIC CABINET
NOT TO SCALE



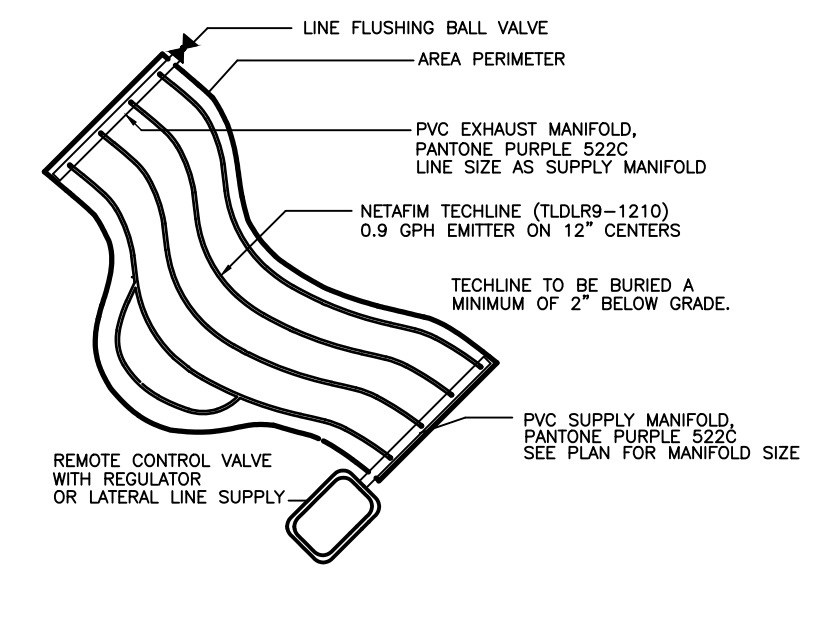
16 LATERAL TO DRIP FEED DETAILS
NOT TO SCALE



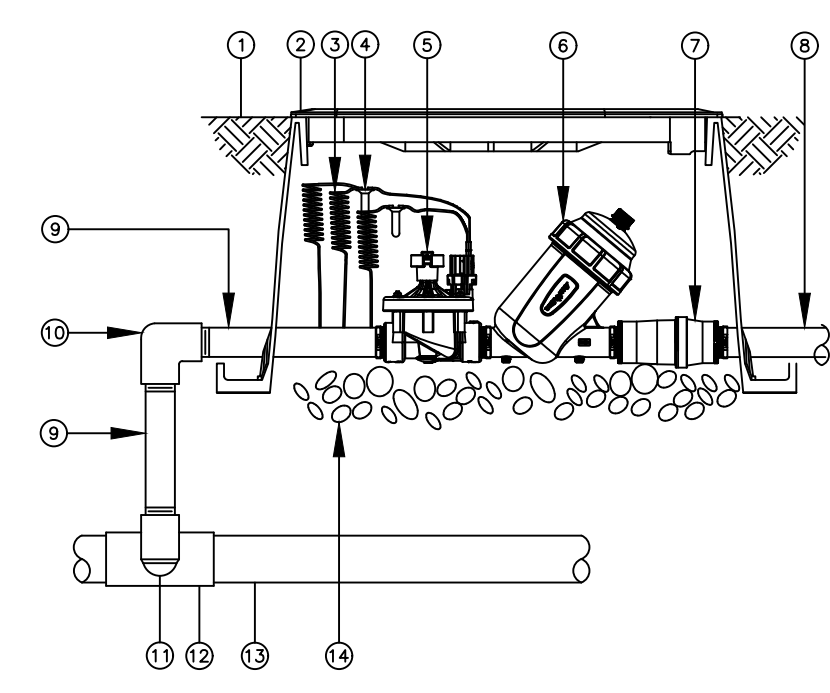
17 ZONE CONTROL
3" = 1'-0"



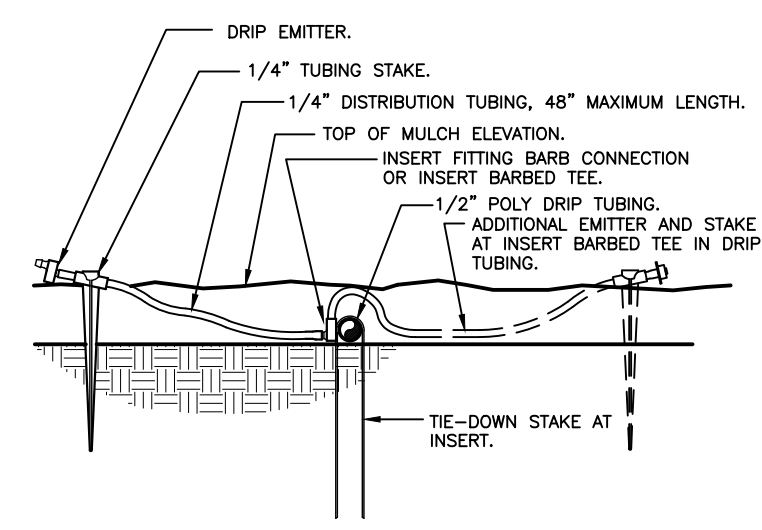
13 DRIP AIR RELIEF VALVE IN BOX
3" = 1'-0"



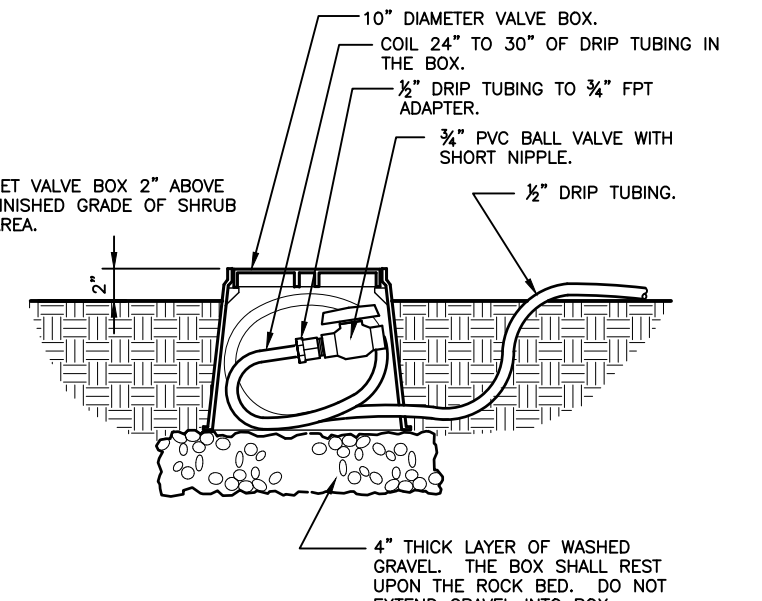
14 IRREGULAR AREAS
NOT TO SCALE



15 DRIP ZONE CONTROL VALVE KIT IN JUMBO VALVE BOX



18 DRIP EMITTER AT 1/4" TUBING
3" = 1'-0"



19 DRIP FLUSH VALVE
1 1/2" = 1'-0"

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY ALEXANDER GONZALEZ, P.L.A. L6667525. ON DATE ADJACENT TO SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THE SIGNATURE AND DATE ADJACENT TO SEAL ARE VERIFIED ON ANY ELECTRONIC COPIES. THE SEAL APPEARING ON THIS DOCUMENT WAS VERIFIED ON 05/03/2024 AT 10:57 AM EDT. L6667525 ON THE DATE ADJACENT TO THE SEAL.

NO.	REVISIONS	DATE	BY

Kimley-Horn
 © 2010 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33145
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTRY NO. 696

LANDSCAPE ARCHITECT
 GREGORY ALEXANDER GONZALEZ
 No L6667525
 05/03/2024
 STATE OF FLORIDA

KHA PROJECT 143771001
 DATE MARCH 2004
 SCALE AS SHOWN
 DESIGNED BY AML
 DRAWN BY AML
 CHECKED BY CC
 DATE:

IRRIGATION DETAILS

DORAL OCEAN BANK
 PREPARED FOR
8800 DORAL, LLC
 CITY OF DORAL, FL

Plotted By: liberman, Amy_Sheet Set: DORAL OCEAN BANK_LAYOUT L-000 LANDSCAPE SHEET INDEX May 03, 2024 11:18:45am K:\vib-civil\143771001-doral ocean bank\landscape\CADD\plansheets\LANDSCAPE SHEETS\L-000 COVER SHEET INDEX.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL NOTES:

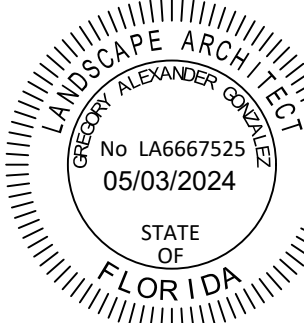
- LIMITS OF SCOPE OF WORK IS SCHEMATIC HARDSCAPE, PLANTING, AND IRRIGATION WITHIN THE SITE AND ADJACENT RIGHT-OF-WAY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH OWNERSHIP, ARCHITECT, AND LANDSCAPE ARCHITECT FOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING SITE PRIOR TO BIDDING IN ORDER TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO, PRIVATE AND PUBLIC UTILITIES ON AND OFFSITE, EXISTING DRAINAGE, ETC.
- CONTRACTOR SHALL NOTIFY OWNERSHIP AND THE LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY OF ANY EXPECTED OR UNKNOWN CONDITIONS OR DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS OR SPECIFICATIONS, AS WELL AS ERRORS OR OMISSIONS ON THE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATION.
- CONTRACTOR SHALL COORDINATE ABE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES AS WARRANTED.
- ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE PERFORMED AT THE CONTRACTOR'S RISK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE ARCHITECT, MAY BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY (CALL SUNSHINE DIG/CALL - 811).
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- ALL SURPLUS EXCAVATION SHALL BE TAKEN TO A SITE DESIGNATED BY OWNER, AT NO ADDITIONAL COST TO THE OWNER. IF OWNER CHOOSES, THE CONTRACTOR MAY TAKE POSSESSION OF SURPLUS EXCAVATION MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGH ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
- MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & AND PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
- EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED PER CIVIL SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION, SIZE AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO HIS WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, PRIOR TO THE START OF CONSTRUCTION.
- ALL GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS OF THE CONTRACT SHALL APPLY.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE OR TREE CRITICAL ROOT ZONES SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING ANY EQUIPMENT OR MATERIALS.

GENERAL ABBREVIATIONS:

- ARCH. = ARCHITECT/ARCHITECTURE
- TG = TOP OF GRADE
- TW = TOP OF WALL
- TPW = TOP OF PLANTER WALL
- FFE = FINISH FLOOR ELEVATION
- AFF = ABOVE FINISH FLOOR
- P.L. = PROPERTY LINE
- M.L. = MONUMENT LINE
- C.L. = CENTER LINE
- CONC = CONCRETE
- STRUCT. = STRUCTURAL / STRUCTURE
- ENG. = ENGINEER / ENGINEERING
- LA = LANDSCAPE ARCHITECT
- DWGS = DRAWINGS
- TYP = TYPICAL
- EXST = EXISTING
- HSCP = HARDSCAPE
- LSCP = LANDSCAPE
- PLNT = PLANTING
- PLTR = PLANTER
- REF = REFER TO
- C.T. = CLEAR TRUNK
- D.B.H = DIAMETER AT BREST HEIGHT
- B & B = BALLED AND BURLAPPED
- MIN. = MINIMUM

Sheet List Table	
Sheet Number	Sheet Title
L-000	LANDSCAPE SHEET INDEX
L-100	TREE DISPOSITION PLAN
L-150	TREE DISPOSITION NOTES AND DETAILS
L-200	HARDSCAPE PLAN
L-300	LANDSCAPE PLAN
L-350	LANDSCAPE NOTES & SPECIFICATIONS
L-351	LANDSCAPE DETAILS
IRR-400	IRRIGATION PLAN
IRR-450	IRRIGATION NOTES
IRR-451	IRRIGATION DETAILS

2024.03.05 | SITE PLAN APPROVAL
 2024.05.02 | COMMENT RESPONSE

 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY ALEXANDER GONZALEZ, P.L.A. LA6667525, ON DATE ADJACENT TO SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID. ANY SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. THE SEAL APPEARING ON THIS DOCUMENT WAS OBTAINED FROM THE STATE OF FLORIDA PROFESSIONAL ENGINEERS BOARD, L.A.6667525 ON THE DATE ADJACENT TO THE SEAL.		
	No.	REVISIONS
		DATE

Kimley»Horn
 © 2010 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33146
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTRY NO. 696



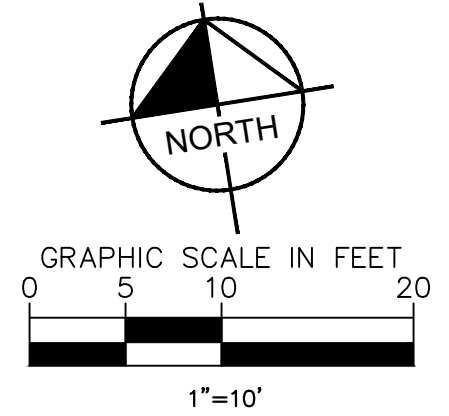
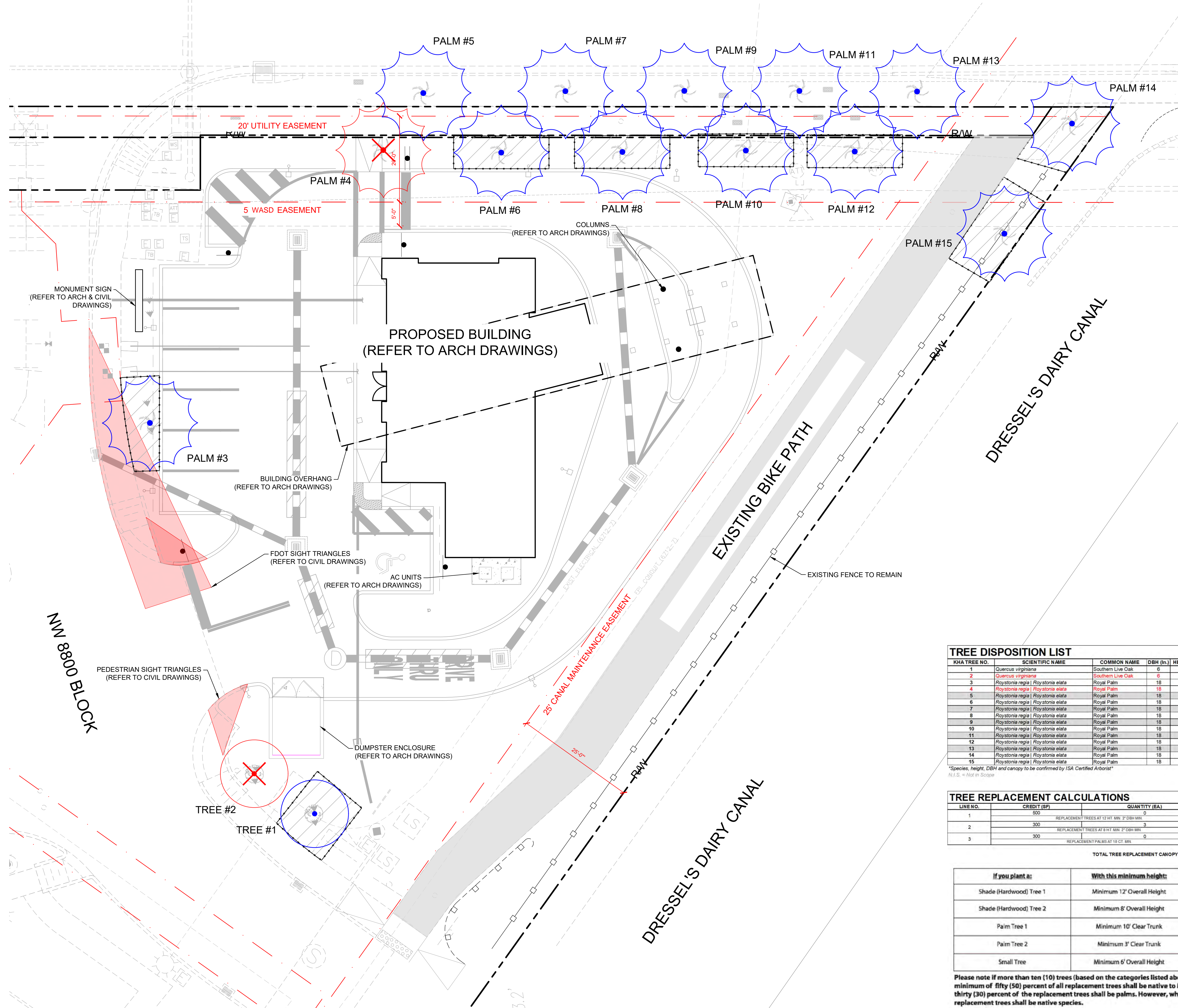
KHA PROJECT 143771001	DATE MARCH 2004	SCALE AS SHOWN	DESIGNED BY AML	DRAWN BY AML	CHECKED BY 	DATE
--------------------------	--------------------	-------------------	--------------------	-----------------	----------------	----------

**DORAL OCEAN BANK
 PREPARED FOR
 8800 DORAL, LLC**

**LANDSCAPE SHEET
 INDEX**

Plotted By: Liberman, Amy - Sheet Set: DORAL OCEAN BANK - LAYOUT: L-100 TREE DISPOSITION PLAN - May 03, 2024 - 11:18:58am - K:\ymlb_civil\143771001\doral ocean bank\landscapes\CADD\plansheets\LANDSCAPE SHEETS\L100_TREE_DISP_PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

NW 36 STREET | DORAL BOULEVARD



LEGEND:

--- RAW --- R --- RIGHT OF WAY/ PROPERTY LINE
TREE DISPOSITION GRAPHIC LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	TREE # TO BE REMOVED		PALM # TO BE REMOVED
	TREE # NOT IN SCOPE		TREE PROTECTION FENCE
	TREE # TO REMAIN		PALM # TO REMAIN

TREE DISPOSITION LIST

KHA TREE NO.	SCIENTIFIC NAME	COMMON NAME	DBH (in.)	HEIGHT (APPROX FT.)	CANOPY (APPROX FT.)	DISPOSITION	SPECIMEN	MITIGATION(SQFT.)
1	Quercus virginiana	Southern Live Oak	6	23	14	REMAN		
2	Quercus virginiana	Southern Live Oak	6	23	14	REMOVE		153.86
3	Roystonia regia Roystonia elata	Royal Palm	18	42.7	20	REMAN	X	
4	Roystonia regia Roystonia elata	Royal Palm	18	42.9	20	REMOVE	X	628.00
5	Roystonia regia Roystonia elata	Royal Palm	18	44.9	20	NOT IN SCOPE	X	NOT IN SCOPE
6	Roystonia regia Roystonia elata	Royal Palm	18	48.7	20	REMAN	X	
7	Roystonia regia Roystonia elata	Royal Palm	18	45.5	20	NOT IN SCOPE	X	NOT IN SCOPE
8	Roystonia regia Roystonia elata	Royal Palm	18	43.7	20	REMAN	X	
9	Roystonia regia Roystonia elata	Royal Palm	18	45	20	NOT IN SCOPE	X	NOT IN SCOPE
10	Roystonia regia Roystonia elata	Royal Palm	18	46.3	20	REMAN	X	
11	Roystonia regia Roystonia elata	Royal Palm	18	45	20	NOT IN SCOPE	X	NOT IN SCOPE
12	Roystonia regia Roystonia elata	Royal Palm	18	45	20	REMAN	X	
13	Roystonia regia Roystonia elata	Royal Palm	18	45.4	20	NOT IN SCOPE	X	NOT IN SCOPE
14	Roystonia regia Roystonia elata	Royal Palm	18	47.1	20	REMAN	X	
15	Roystonia regia Roystonia elata	Royal Palm	18	49.1	20	REMAN	X	

Species, height, DBH and canopy to be confirmed by ISA Certified Arborist

Total Canopy Removed sqft. = **781.86**

TREE REPLACEMENT CALCULATIONS

LINE NO.	CREDIT (SF)	QUANTITY (EA)	CANOPY PROVIDED (SF)
1	50	REPLACEMENT TREES AT 12" MIN. 2" DBH MIN.	
2	300	REPLACEMENT TREES AT 8" MIN. 2" DBH MIN.	900.0
3	300	REPLACEMENT PALMS AT 18" CT. MIN.	
TOTAL TREE REPLACEMENT CANOPY PROVIDED =			900.0

If you plant as:	With this minimum height:	Credit obtained in square feet (sq.ft.):
Shade (Hardwood) Tree 1	Minimum 12' Overall Height	500
Shade (Hardwood) Tree 2	Minimum 8' Overall Height	300
Palm Tree 1	Minimum 10' Clear Trunk	300
Palm Tree 2	Minimum 3' Clear Trunk	100
Small Tree	Minimum 6' Overall Height	200

Please note if more than ten (10) trees (based on the categories listed above) are required to be planted then a minimum of fifty (50) percent of all replacement trees shall be native to Miami-Dade County and no more than thirty (30) percent of the replacement trees shall be palms. However, when native trees are removed, all replacement trees shall be native species.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY ALEXANDER GONZALEZ, P.L.A. LA6667525. ON DATE ADJACENT TO SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THE ORIGINAL SIGNATURE AND SEAL ARE VERIFIED ON ANY ELECTRONIC COPIES. THE SEAL APPEARING ON THIS DOCUMENT WAS THE SEAL OF GREGORY ALEXANDER GONZALEZ, P.L.A. LA6667525 ON THE DATE ADJACENT TO THE SEAL.

Kimley»Horn
 © 2010 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33145
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTRY NO. 696

LANDSCAPE ARCHITECT
 GREGORY ALEXANDER GONZALEZ
 No LA6667525
 05/03/2024
 STATE OF FLORIDA

KHA PROJECT	143771001
DATE	MARCH 2004
SCALE	AS SHOWN
DESIGNED BY	AML
DRAWN BY	AML
CHECKED BY	CC
DATE:	

TREE DISPOSITION PLAN

DORAL OCEAN BANK
 PREPARED FOR
8800 DORAL, LLC
 CITY OF DORAL
 SHEET NUMBER
L-100

Sunshine811
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

Plotted By: Liberman, Amy - Sheet Set: DORAL OCEAN BANK - Layout: L-150 - TREE DISPOSITION NOTES AND DETAILS - May 03, 2024 - 11:19:05am - K:\vmb-ctd\143771001-doral ocean bank\landscape\CADD\plansheets\LANDSCAPE SHEETS\L150 TREE DISPOSITION NOTES AND DETAILS.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

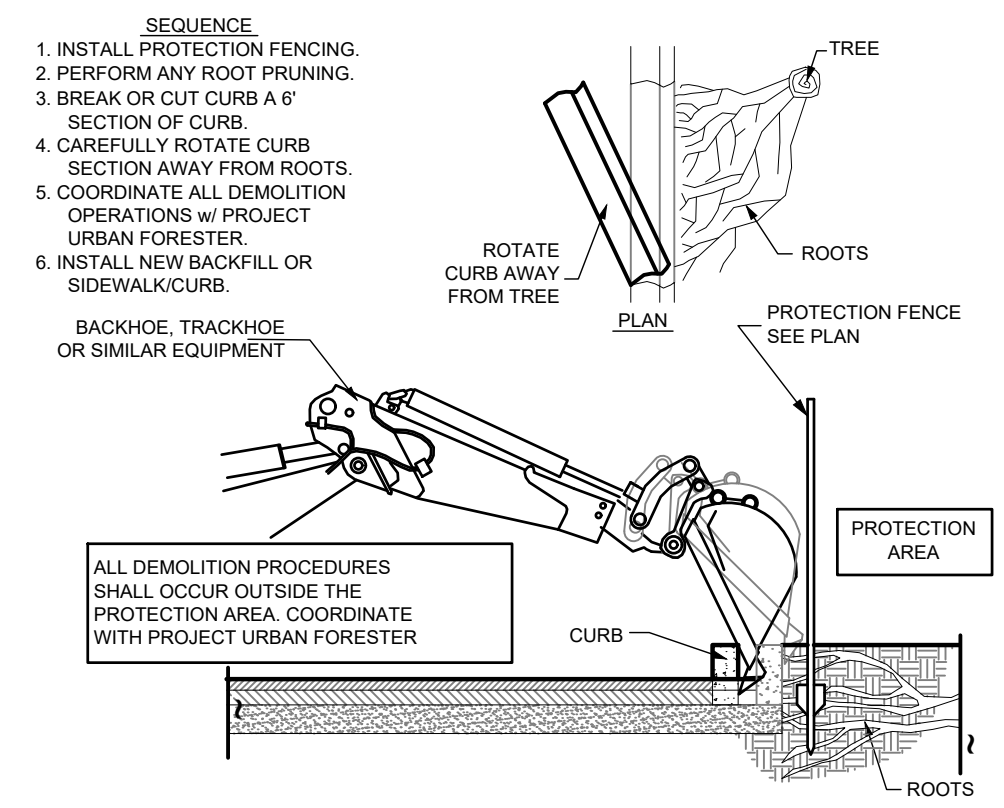
TREE REMOVAL AND TREE TO REMAIN PRUNING SPECIFICATIONS

- PART 1 - EXPLANATION OF NATURAL RESOURCE PRESERVATION PROCEDURES**
 THE SEQUENCE OF OPERATION IS CRITICAL TO THE PROTECTION OF THE TREES.
- TREE CANOPY PRUNING IS TO COMPENSATE FOR ROOT LOSS AND DAMAGE.
 - FERTILIZATION IS TO STIMULATE ROOT SYSTEMS TO HEAL QUICKLY AND GROW BACK IN ROOT-PRUNED AREAS. IT ALSO PRODUCES FASTER AVAILABILITY OF FOOD TO A ROOT SYSTEM THAT IS LESS EFFICIENT DUE TO THE DAMAGE INCURRED.
 - ROOT PRUNING IS TO REMOVE THE ROOTS WITH A TRENCHING PROCEDURE THAT IS LESS DAMAGING TO THE ROOTS THAN REGULAR CONSTRUCTION.
- PART 2 - DEFINITIONS**
- NATURAL RESOURCE - EXISTING TREES OR PALMS.
 - CRITICAL ROOT ZONE - THE MASS OF ROOTS SURROUNDING A TREE THAT IS REQUIRED BY THE TREE TO LIVE. THE CRITICAL ROOT ZONE IS OFTEN MUCH LARGER THAN THE CANOPY. THE CRITICAL ROOT ZONE FOR EACH TREE OR PALM WITHIN THE PROJECT LIMITS TO BE DETERMINED BY THE CONTRACTOR'S CERTIFIED ARBORIST.
 - DBH - DIAMETER BREAST HIGH - INDICATES THE LOCATION ON THE TRUNK, APPROXIMATELY 4.5' ABOVE GROUND, TO MEASURE THE DIAMETER OF A TREE.
 - GRADE - THE GRADE OF A TREE REFERS TO THE OVERALL HEALTH AND APPEARANCE OF THE TREE. THE GRADES RANGE FROM 'A' BEING EXCELLENT TO 'D' BEING HAZARDOUS.
 - PRESERVED TREES - TREES THAT ARE TO BE SAVED/REMAIN IN PLACE.
 - OWNER'S REPRESENTATIVE - A REPRESENTATIVE, HIRED AND PAID FOR BY THE OWNER, THAT SUPERVISES THE CONSTRUCTION OF THE PROCEDURES SHOWN ON THE TREE DISPOSITION PLANS.
 - PROTECTION ZONES/AREAS - ANY AREA ENCLOSED PARTIALLY OR COMPLETELY BY A TREE PROTECTOR BARRIER/FENCE.
 - CONTRACTOR'S CERTIFIED ARBORIST - AN INDEPENDENT ISA CERTIFIED ARBORIST, HIRED AND PAID FOR BY THE CONTRACTOR, THAT SUPERVISES THE CONSTRUCTION OF THE PROCEDURES SHOWN ON THE TREE DISPOSITION PLANS.
- PART 3 - PRODUCTS FOR TREE TREATMENT**
 EVERY EFFORT SHALL BE MADE TO UTILIZE CHEMICALS OF AN ORGANIC OR BIODEGRADABLE NATURE IN ORDER TO OFFER THE LEAST IMPACT TO THE NATURAL ENVIRONMENT. CONTRACTOR IS RESPONSIBLE FOR MIXING, APPLYING, AND DISPOSAL OF ALL CHEMICALS IN ACCORDANCE WITH STRICT ADHERENCE TO MANUFACTURER'S DIRECTIONS, UNLESS OTHERWISE DIRECTED IN THESE DRAWINGS. REFER TO "PART 4B" BELOW.
- CHEMICAL TREATMENTS:
 - RECOMMENDED FERTILIZER:
 - "XL INJECTO FEED", PRODUCT OF DOGGETT CORP., LEBANON, NEW JERSEY (908) 236-6335. APPLY A 1224:24 RATIO WITH A DILUTION RATE 1/3 MORE WATER THAN SPECIFIED ON BAG.
 - RECOMMENDED WETTING AGENT:
 - "AFSA-80", PRODUCT OF AMWAY CORP. (800) 253-7088.
 - MYCORRHIZAL TREATMENT:
 - PLANT HEALTH CARE, INC. (800) 421-0951. PRODUCTS OF THE SAME TYPE FROM OTHER SOURCES SHALL NOT BE EXCLUDED, PROVIDED THEY POSSESS LIKE PHYSICAL AND FUNCTIONAL CHARACTERISTICS AND ARE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
 - INSECTICIDE TREATMENTS:
 - "ASTRO", A PRODUCT OF FMC CORPORATION, (800) 321-1362.
 - TREE PROTECTOR BARRIER MATERIAL:
 - SIX (6) FOOT TALL ORANGE VINYL MESH CONSTRUCTION FENCE SUPPORTED BY EIGHT (8) FOOT TALL METAL T-BAR POSTS AND POST CAPS.
 - THE TREE PROTECTOR BARRIER SHALL HAVE A TWO (2) FOOT BY TWO (2) FOOT "TREE PROTECTION ZONE" SIGN AFFIXED TO THE FENCE EVERY TWENTY (20) FEET PLACED IN SUCH A MANNER TO BE CLEARLY VISIBLE TO THE CONSTRUCTION WORKERS. THE SIGN MUST BE MADE UP OF WEATHER RESISTANT MATERIAL.
 - THE EIGHT (8) FOOT TALL METAL T-BAR POST AND POST CAP SHALL BE PLACED A MAXIMUM OF SIX (6) FOOT INTERVALS.
- PART 4 - EXECUTION**
- TREE CANOPY/ROOT PRUNING OPERATION
 - TREES TO BE PRUNED SHALL INCLUDE ONLY TREES AFFECTED BY CONSTRUCTION OR AS DESIGNATED ON THE TREE DISPOSITION LIST. THIS ITEM IS TO BE COORDINATED BY THE CONTRACTOR'S CERTIFIED ARBORIST WITH THE OWNER'S REPRESENTATIVE.
 - ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1) PRUNING.
 - THE CONTRACTOR'S CERTIFIED ARBORIST MUST BE PRESENT DURING ALL PRUNING OPERATIONS.
 - PRUNING SHALL CONSIST OF THE FOLLOWING METHODS:
 - CLEANING
 - INTERFERING BRANCH REMOVAL
 - RAISING
 - ROOT PRUNING
 - FERTILIZATION OPERATION
 - ONLY TREES AFFECTED BY CONSTRUCTION (CANOPY AND/OR ROOT PRUNING) SHALL BE FERTILIZED.
 - TREES SPECIFIED TO RECEIVE FERTILIZER SHALL BE TREATED DURING THE TIME OF YEAR AS RECOMMENDED BY THE CONTRACTOR'S CERTIFIED ARBORIST:
 - MIX FERTILIZER WITH A DILUTION RATE 1/3 MORE WATER THAN LABEL INSTRUCTIONS INTO A TANK WITH AGITATION CAPABILITY (15 LBS. = 133 GALLONS).
 - MIX WETTING AGENT AT A RATE OF 5 OZ. PER 100 GALLONS OF FERTILIZER SOLUTION INTO SAME TANK WITH FERTILIZER. AGITATE MIX.
 - INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM SET AT 100 TO 150 P.S.I. FOR SANDY SOILS, 200 P.S.I. FOR SILT/CLAY SOILS, INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
 - CRITICAL ROOT ZONE AREAS SHALL BE INJECTED, WHERE POSSIBLE, IN THE CRITICAL ROOT ZONE AREA PLUS 2' BEYOND CRITICAL ROOT ZONE, BUT NOT BEYOND ROOT PRUNES.
 - FERTILIZER SHALL BE INSTALLED PRIOR TO INSTALLATION OF ANY AERATION SYSTEMS (IF APPLICABLE).
 - AT THE REQUEST OF THE OWNER'S REPRESENTATIVE, EMPTY PRODUCT BAGS TO BE RETURNED TO THE OWNER'S REPRESENTATIVE FOR PROOF OF USE.
 - INJECTABLE FERTILIZER TREATMENT:
 - MIX FERTILIZER WITH A DILUTION RATE 1/3 MORE WATER THAN LABEL INSTRUCTIONS INTO A TANK WITH AGITATION CAPABILITY (15 LBS. = 133 GALLONS).
 - MIX WETTING AGENT AT A RATE OF 5 OZ. PER 100 GALLONS OF FERTILIZER SOLUTION INTO SAME TANK WITH FERTILIZER. AGITATE MIX.
 - INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM SET AT 100 TO 150 P.S.I. FOR SANDY SOILS, 200 P.S.I. FOR SILT/CLAY SOILS, INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
 - EMPTY PRODUCT BAGS TO BE STOCKPILED FOR INSPECTION BY OWNER'S REPRESENTATIVE PRIOR TO DISPOSAL.
 - INOCULANT & BIOSTIMULANT:
 - USE ONE 3 OZ. PACKET OF MYCORRTREE TREE SAVER TRANSLANT MYCORRHIZAL TRANSLANT INOCULANT FOR EVERY ONE (1) FOOT DIAMETER OF ROOT BALL. MIX INOCULANT IN 10" WIDE TOPSOIL RING AROUND THE ROOT BALL.
 - MIX ONE 4 OZ. BAG OF MYCORRTREE TREE SAVER INJECTABLE MYCORRHIZAL INOCULANT AND 4 PACKETS (TO EQUAL 1 POUND) PHC BIOPACK PER 100 GALLONS OF WATER.
 - AGITATE FOR 10 MINUTES.
 - INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM SET AT 100 TO 150 P.S.I. FOR SANDY SOILS, 200 P.S.I. FOR SILT/CLAY SOILS, INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE. SEE TRANSLANT DETAILS ON THIS SHEET FOR INJECTION LOCATIONS.
 - EMPTY PRODUCT BAGS TO BE STOCKPILED FOR INSPECTION BY OWNER'S REPRESENTATIVE PRIOR TO DISPOSAL.
 - INSECTICIDE OPERATION
 - APPLY "ASTRO" AS A TOPICAL SOLUTION AS DIRECTED BY THE CONTRACTOR'S CERTIFIED ARBORIST. NOTIFY OWNER'S REPRESENTATIVE IF AN INFESTATION IS NOTICED. APPLY AROUND BASE OF TRUNK TO SOIL LINE, TRUNK AND ANY LIMB 1/3 THE SIZE OF THE TRUNK TO 2'-3' HIGH. INSURE COMPLETE COVERAGE. REAPPLY "ASTRO" 2-3 MONTHS AFTER INITIAL APPLICATION UTILIZING SAME PROCEDURE.
 - FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS CONCERNING APPLICATION WHEN APPLYING "ASTRO". READ ALL WARNING LABELS. ANY PETS, AS WELL AS THE PETS' FOOD AND WATER BOWLS SHOULD BE REMOVED FROM THE AREA AND ANY SWIMMING POOLS SHOULD BE COVERED (IF APPLICABLE).
 - CONTRACTOR SHALL ENSURE NO MIXING OF CHEMICALS OCCURS WITHOUT PROTECTIVE MEASURES TO PREVENT SPILLS AND POTENTIAL CONTAMINATION OF SOILS.
 - ROOT PRUNING TRENCHING OPERATION
 - TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR'S CERTIFIED ARBORIST.
 - TRENCHING EQUIPMENT THAT WILL TURN AT HIGH RPM'S IS PREFERRED. TRENCHING EQUIPMENT IS TO BE USED TO PERFORM ALL ROOT PRUNING OPERATIONS. A MINIMUM DEPTH OF THREE FEET IS REQUIRED OR AS DETERMINED BY CONTRACTOR'S CERTIFIED ARBORIST. CLEAN CUT ROOTS IN TRENCH ON TREE SIDE WITH STERILE EQUIPMENT. LIME SHALL BE APPLIED IMMEDIATELY AFTER TRENCHING IS COMPLETE.
 - THE TRENCH SHALL BE BACKFILLED AND COMPACTED IMMEDIATELY, AS DIRECTED BY THE CONTRACTOR'S CERTIFIED ARBORIST.
 - PHASED ROOT PRUNING TIMEFRAMES VARY BY SPECIES. CONTRACTOR'S CERTIFIED ARBORIST SHALL DIRECT PRUNING SCHEDULE.
 - TREE PROTECTOR BARRIER
 - SEE DETAILS THIS SHEET.
 - TREE PROTECTOR BARRIER IS TO BE PLACED BY THE CONTRACTOR AROUND EACH TREE TO REMAIN AS DIRECTED BY THE CONTRACTOR'S CERTIFIED ARBORIST.
 - TREE REMOVALS
 - CONTRACTOR SHALL REMOVE AND DISCARD ALL TREES SHOWN AS "REMOVE" ON THE TREE DISPOSITION PLAN AND THE TREE DISPOSITION LIST. ALL TREES SHOWN TO BE REMOVED WITH A CHAIN SAW AND STUMP GROUND IF BELOW SURFACE. ANY TREE SHOWN TO BE REMOVED AND IS IN AN AREA WHERE COMPACTION IS CRITICAL, THE TREE SHALL BE FELLED WITH A CHAIN SAW AND STUMP REMOVED BY THE CONTRACTOR. CARE MUST BE TAKEN NOT TO DAMAGE THE EXISTING TREES MARKED TO REMAIN.
 - IF TREE PROTECTOR BARRIER IS DAMAGED, REPAIR IS TO BE PERFORMED IMMEDIATELY. CARE MUST BE TAKEN NOT TO DAMAGE THE TREES TO REMAIN.
 - CONTRACTOR SHALL REMOVE AND HAUL AWAY FROM THE JOB SITE ALL WOOD GENERATED FROM TREE REMOVALS, INCLUDING STUMPS, INCLUDING STUMPS, THE SAME DAY THE REMOVAL HAPPENS.
 - BURN PITS ARE NOT ALLOWED.

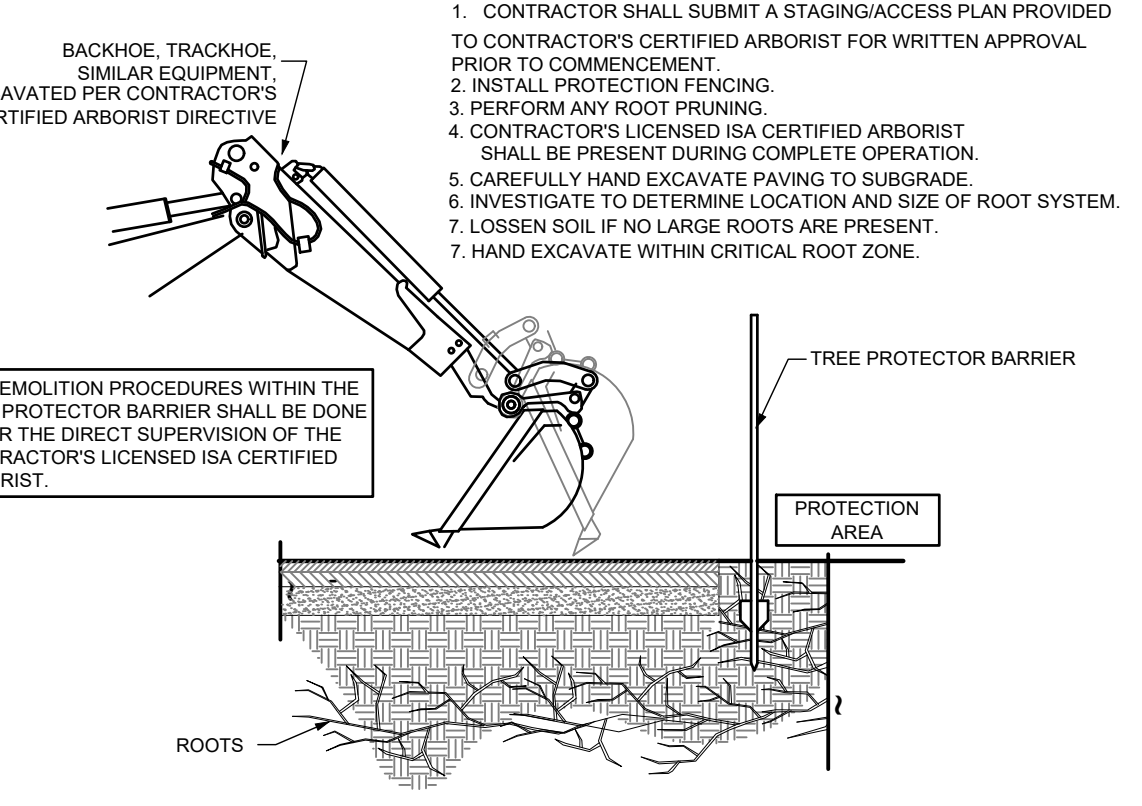
- PART 5 - PENALTIES**
- REPAIR OF DAMAGED TREES TO REMAIN
 - IF ANY DAMAGE TO TREES TO REMAIN OR OTHER NATURAL RESOURCES SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE DURING THE CONSTRUCTION PERIOD, THE OWNER'S REPRESENTATIVE SHALL APPRAISE THE DAMAGE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPAIR BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE.
 - IF ANY TREE THAT IS DESIGNATED TO REMAIN IS DEEMED SUBSTANTIALLY DAMAGED OR DEAD DUE TO CONSTRUCTION DAMAGE, AT THE SOLE DISCRETION OF THE OWNER'S REPRESENTATIVE, THE FOLLOWING PENALTIES WILL APPLY:
 - TREES 1" - 12" OF TRUNK DIAMETER, MEASURED AT 1' FROM THE GROUND WILL BE VALUED AT \$300.00 PER DIAMETER INCH.
 - TREES 13" AND ABOVE OF TRUNK DIAMETER MEASURED AT 4.5' FROM THE GROUND WILL BE VALUED AT \$400.00 PER DIAMETER INCH.
 - IF ANY TREE DESIGNATED TO REMAIN IS REMOVED FROM THE SITE WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE, THE PENALTY WILL BE \$600.00 PER INCH.
 - REPAIR OF DAMAGED TREE PROTECTOR BARRIER
 - IF ANY DAMAGE TO THE TREE PROTECTOR BARRIER SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR WILL BE RESPONSIBLE FOR IMMEDIATE REPAIRS OF THE INITIAL DAMAGE. UNTIL THE FENCE IS SATISFACTORILY REPAIRED.
 - FIRST TIME OFFENSE, A FINE OF \$200.00 WILL BE IMPOSED.
 - IN THE EVENT THE FENCE IS NOT REPAIRED WITHIN 24 HOURS TO THE OWNER'S REPRESENTATIVE'S SATISFACTION, AN ADDITIONAL FINE OF \$100.00 PER DAY WILL BE IMPOSED.
 - IN THE EVENT A NATURAL RESOURCE IS DAMAGED DUE TO A TREE PROTECTOR BARRIER BEING DOWN, A FINE OF \$200.00 PLUS THE COST OF REPAIR OR REPLACEMENT OF THE NATURAL RESOURCE AS APPRAISED BY THE OWNER'S REPRESENTATIVE WILL BE IMPOSED.
 - CONTRACTOR SHALL ALSO BEAR THE COST OF ANY FINES, BONDED TREE VALUES, ATTORNEY FEES, EXPENSES INCURRED BY PROJECT DELAYS, ETC., AS DETERMINED BY THE COUNTY AND LOCAL MUNICIPALITY FOR UNAUTHORIZED TREE REMOVAL.

- PART 6 - NATURAL RESOURCE PROTECTION SEQUENCE**
- THE SEQUENCE OF TREE TREATMENT AND PRESERVATION MEASURES SHALL BE:
 - CONTRACTOR SHALL SUBMIT A STAGING/ACCESS PLAN PROVIDED TO CONTRACTOR'S CERTIFIED ARBORIST FOR WRITTEN APPROVAL PRIOR TO COMMENCEMENT.
 - TREE PROTECTOR BARRIER.
 - ROOT PRUNING AND ROOT BARRIERS.
 - CLEARING AND GRADING.
 - TREE PRUNING.
 - FERTILIZATION.
 - INSECTICIDE.
 - CONTRACTOR'S SURVEYOR SHALL STAKE ALL SITE IMPROVEMENTS IN ORDER TO FACILITATE ACCURATE LOCATION OF TRENCHING AND FENCING OPERATIONS.
 - CONTRACTOR'S CERTIFIED ARBORIST TO DETERMINE THE LOCATION OF THE TREE PROTECTOR BARRIER AROUND EACH TREE TO REMAIN BASED ON HIS/HER ANALYSIS OF EACH EXISTING TREE TO REMAIN THAT IS ADJACENT TO CONSTRUCTION IMPROVEMENTS SUCH AS UTILITY INSTALLATION, PAVEMENT ADDITION AND/OR RESTORATION, ETC.
 - CONTRACTOR SHALL MAINTAIN AND REPAIR THE TREE PROTECTOR BARRIER DURING SITE CONSTRUCTION OPERATIONS.
 - CONTRACTOR'S ACCESS TO THE FENCED TREE PROTECTION AREAS WILL BE PERMITTED ONLY WITH APPROVAL OF OWNER'S REPRESENTATIVE AND CONTRACTOR'S CERTIFIED ARBORIST'S WRITTEN DIRECTIVE.
 - CONTRACTOR SHALL PERFORM ANY EXCAVATION OR GRADING REQUIRED WITHIN THE FENCED ROOT ZONE AREAS BY HAND. THIS OPERATION IS TO BE DONE UNDER THE DIRECT SUPERVISION OF THE CONTRACTOR'S CERTIFIED ARBORIST AND THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR TO LIMIT REQUIRED GRADING WITHIN THE FENCED TREE PROTECTION AREAS TO A MAXIMUM OF 3" CUT OR FILL OF THE TREE CRITICAL ROOT ZONE AREAS. ALL GRADING TO BE SUPERVISED BY THE CONTRACTOR'S CERTIFIED ARBORIST AND THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL CLEAR BY HAND TREES DESIGNATED TO BE REMOVED WITHIN CRITICAL ROOT ZONE AREAS OF THE TREES TO REMAIN.
 - CONTRACTOR SHALL NOT INSTALL CONDUIT, SPRINKLERS, OR ANY UTILITY LINE IN ANY CRITICAL ROOT ZONE AREAS WITHOUT THE APPROVAL OF THE CONTRACTOR'S CERTIFIED ARBORIST AND OWNER'S REPRESENTATIVE.

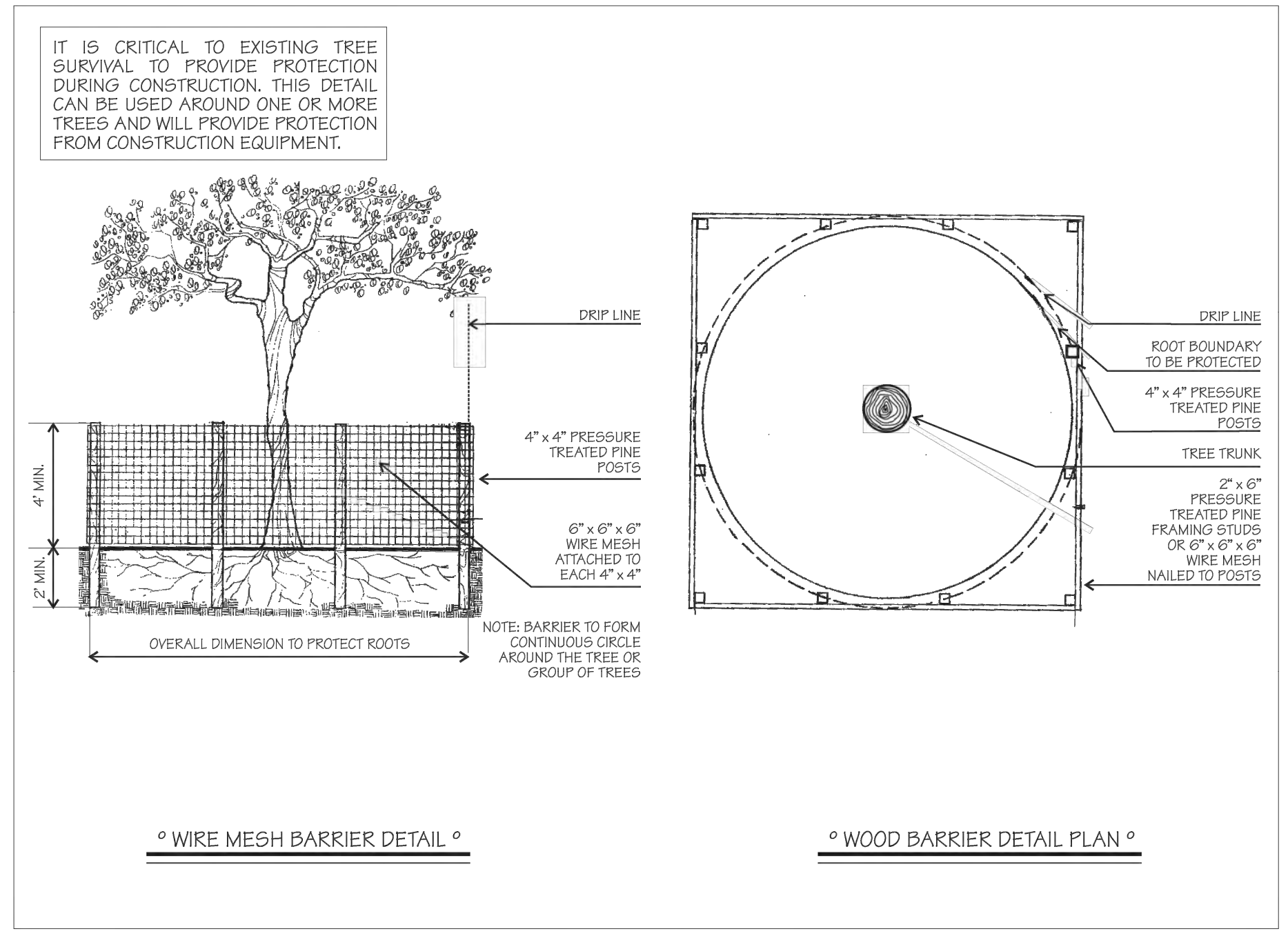
- PART 7 - IRRIGATION**
 CONTRACTOR SHALL WATER THE TREES THAT HAVE BEEN PRUNED (CANOPY AND/OR ROOT) AS SHOWN BELOW. WATER ALL PRUNED TREES IMMEDIATELY AFTER PRUNING. CONTRACTOR SHALL WATER BY HAND. IF A POTABLE WATER SOURCE IS NOT AVAILABLE ON-SITE OR IF IT IS NOT IN WORKING CONDITION, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING THE WATER AND WATER SOURCE AT HIS/HER OWN EXPENSE.
- HAND WATERING SCHEDULE
 - USE THE FOLLOWING WATERING SCHEDULE:
 - CONTRACTOR SHALL WATER ALL NEWLY (CANOPY AND ROOT) PRUNED TREES:
 - THREE TIMES A WEEK FOR THE FIRST THREE MONTHS
 - TWO TIMES A WEEK FOR MONTHS FOUR AND FIVE
 - ONE TIME A WEEK FOR MONTH SIX
 - CONTRACTOR SHALL CONSULT HIS/HER CERTIFIED ARBORIST FOR WATERING REQUIREMENTS FOR THE TREES THAT HAVE BEEN CANOPY AND/OR ROOT PRUNED.
 - PER DIRECTION OF 1 AND 2, CONTRACTOR SHALL PROCEED WITH THE MORE STRINGENT WATERING SCHEDULE.



(A) DEMOLITION PROCEDURE - CURB



(B) DEMOLITION PROCEDURE - PAVEMENT

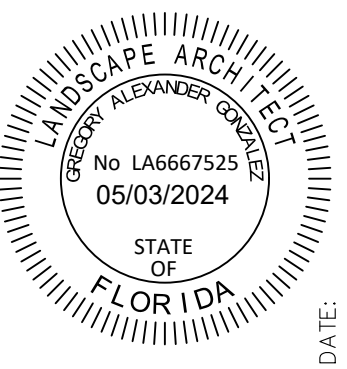


° WIRE MESH BARRIER DETAIL °

° WOOD BARRIER DETAIL PLAN °

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY ALEXANDER GONZALEZ, P.L.A. LAG667525. ON DATE ADJACENT TO SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. THE SEAL APPEARING ON THIS DOCUMENT WAS THE SEAL OF THE STATE OF FLORIDA, REGISTRY NO. LAG667525 ON THE DATE ADJACENT TO THE SEAL.	NO.	REVISIONS	DATE

Kimley-Horn
 © 2010 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33146
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTRY NO. 696



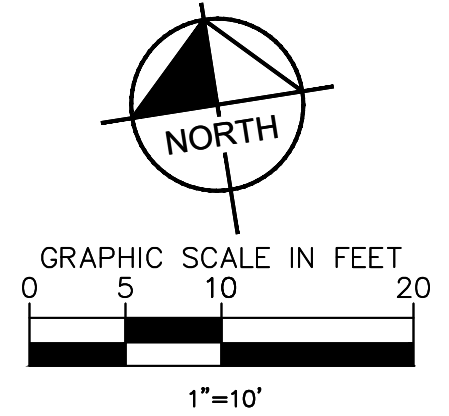
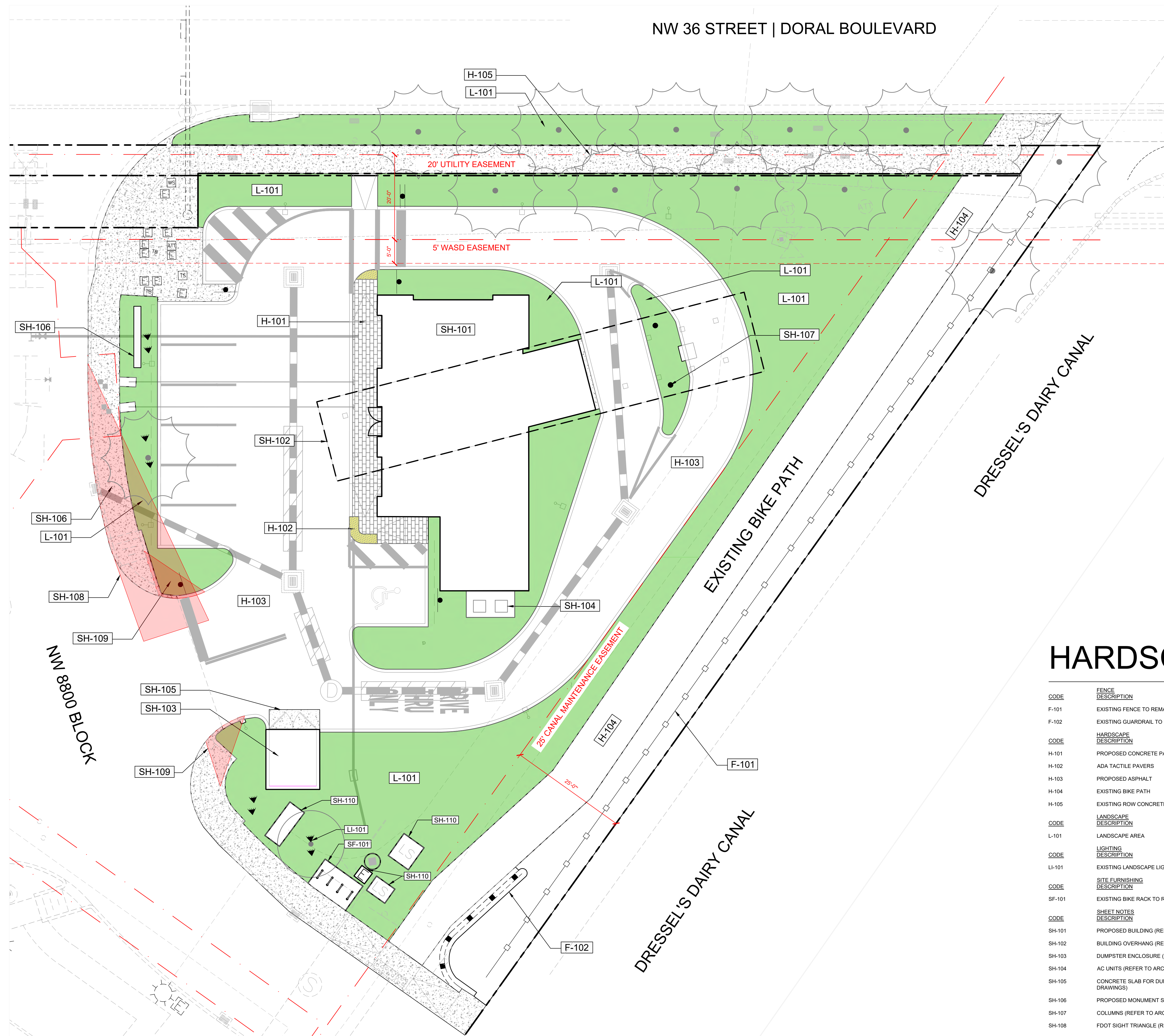
KHA PROJECT	143771001
DATE	MARCH 2004
SCALE	AS SHOWN
DESIGNED BY	AML
DRAWN BY	AML
CHECKED BY	CC
CITY	DORAL

TREE DISPOSITION NOTES AND DETAILS

DORAL OCEAN BANK
 PREPARED FOR
8800 DORAL, LLC
 CITY OF DORAL

Plotted By: liberman, Amy - Sheet Set: DORAL OCEAN BANK - Layout: L-200 - HARDSCAPE PLAN - May 03, 2024 - 11:46:24am - K:\ymlb_civil\143771001\doral ocean bank\landscapes\CADD\plansheets\LANDSCAPE SHEETS\L200 - HARDSCAPE PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

NW 36 STREET | DORAL BOULEVARD



LEGEND:
 - - - - - RIGHT OF WAY / PROPERTY LINE

- GRAPHIC LEGEND**
- LANDSCAPE AREAS
 - ROW CONCRETE SIDEWALK
 - PROPOSED CONCRETE PAVERS
 - ADA TACTILE PAVERS

HARDSCAPE SCHEDULE

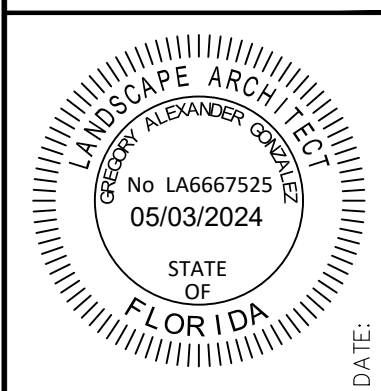
CODE	FENCE DESCRIPTION
F-101	EXISTING FENCE TO REMAIN
F-102	EXISTING GUARDRAIL TO REMAIN
CODE	HARDSCAPE DESCRIPTION
H-101	PROPOSED CONCRETE PAVERS
H-102	ADA TACTILE PAVERS
H-103	PROPOSED ASPHALT
H-104	EXISTING BIKE PATH
H-105	EXISTING ROW CONCRETE SIDEWALK
CODE	LANDSCAPE DESCRIPTION
L-101	LANDSCAPE AREA
CODE	LIGHTING DESCRIPTION
LI-101	EXISTING LANDSCAPE LIGHTING (REFER TO ARCH DRAWINGS)
CODE	SITE FURNISHING DESCRIPTION
SF-101	EXISTING BIKE RACK TO REMAIN
CODE	SHEET NOTES DESCRIPTION
SH-101	PROPOSED BUILDING (REFER TO ARCH DRAWINGS)
SH-102	BUILDING OVERHANG (REFER TO ARCH DRAWINGS)
SH-103	DUMPSTER ENCLOSURE (REFER TO ARCH DRAWINGS)
SH-104	AC UNITS (REFER TO ARCH DRAWINGS)
SH-105	CONCRETE SLAB FOR DUMPSTER ENCLOSURE (REFER TO CIVIL AND ARCH DRAWINGS)
SH-106	PROPOSED MONUMENT SIGN (REFER TO CIVIL DRAWINGS)
SH-107	COLUMNS (REFER TO ARCH DRAWINGS)
SH-108	FDOT SIGHT TRIANGLE (REFER TO CIVIL DRAWINGS)
SH-109	PEDESTRIAN SIGHT TRIANGLES (REFER TO CIVIL DRAWINGS)
SH-110	EXISTING UTILITIES (REFER TO CIVIL DRAWINGS)

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY ALEXANDER GONZALEZ, P.L.A. LAG667525. ON DATE ADJACENT TO SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID. ALL COPIES MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
 THE SEAL APPEARING ON THIS DOCUMENT WAS THE SEAL OF GREGORY ALEXANDER GONZALEZ, P.L.A. LAG667525 ON THE DATE ADJACENT TO THE SEAL.

No.	REVISIONS	DATE	BY

Kimley»Horn

© 2010 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33145
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTRY NO. 696



KHA PROJECT	143771001
DATE	MARCH 2004
SCALE AS SHOWN	AS SHOWN
DRAWN BY	AML
CHECKED BY	CC
DATE	

HARDSCAPE PLAN

DORAL OCEAN BANK
 PREPARED FOR
8800 DORAL, LLC

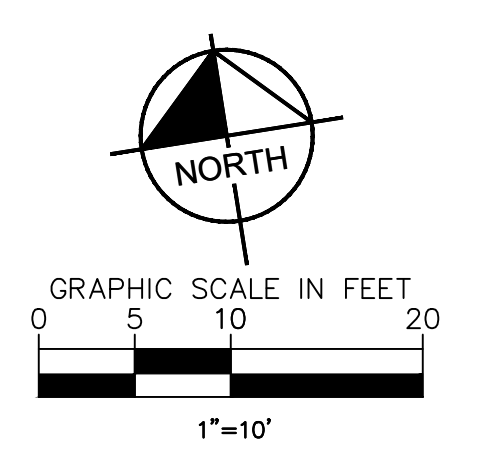
CITY OF DORAL

SHEET NUMBER
L-200

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

Plotted By: Liberman, Amy - Sheet Set: DORAL OCEAN BANK - Layout: L-300 LANDSCAPE PLAN - May 03, 2024 - 11:32:13am - K:\vmb-clt\143771001-doral ocean bank\landscape\CADD\plansets\L300 LANDSCAPE PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

NW 36 STREET | DORAL BOULEVARD



LEGEND:
 -RW- -R- RIGHT OF WAY / PROPERTY LINE

CONCEPT PLANT SCHEDULE

	LARGE CANOPY TREES TYPE I 10' HT MIN., 2.5" CAL. MIN., 6' FT. SPRD. MIN. BURSERIA SIMARUBA / GUMBO LIMBO COCONUTS ERECTUS / BUTTWOOD LYSILOMA LATSILLOLA / WILD TAMARIND QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	4
	SMALL CANOPY TREES TYPE I 8' HT MIN., 1.5" CAL. MIN., 3' SPRD. MIN. CHRYSOPHYLLUM OLIVIFORME / SATINLEAF COCCOLOBA DIVERSIFOLIA / PIGEON PLUM COCONUTS ERECTUS F. SERICEUS / SILVER BUTTWOOD MYRCIANTHES FRAGRANS / SIMPSON'S STOPPER	9
	LARGE PALMS TYPE I 20' OV'H MIN. SABAL PALMETTO / CABBAGE PALMETTO	2
	SMALL PALMS TYPE I 10' OV'H MIN. OR 3" CAL. MIN. PITYCHOSPERMA ELEGANS / ALEXANDER PALM VEITCHIA MONTGOMERYANA / MONTGOMERY PALM	4
	HEDGE & BUFFER SHRUBS 36" HT MIN., 36" OC MIN. EUGENIA FOETIDA / SPANISH STOPPER FICUS MICROCARPA 'GREEN ISLAND' / GREEN ISLAND INDIAN LAUREL FIG MURRAYA PANICULATA / ORANGE JESSAMINE	150
	SHRUBS 24" HT MIN., 36" OC MIN. CHRYSOBALANUS ICACO 'GREEN TIP' / GREEN TIP COCO PLUM CHRYSOBALANUS ICACO 'RED TIP' / RED TIP COCO PLUM PSYCHOTRIA NERVOSA / WILD COFFEE	37
	ACCENT SHRUBS 36" HT MIN., 24" SPRD. MIN. SERENOA REPENS 'CINEREA' / SILVER SAW PALMETTO ZAMIA MARITIMA / CARDBOARD PLANT	40
	EXISTING VEGETATION EXISTING VEGETATION TO REMAIN	3,144
	MASS SHRUBS 24" HT MIN., 24" OC. JASMINUM NOLLUBILE / WAX JASMINE MONSTERA DELICIOSA / SPLIT-LEAF PHILODENDRON ZAMIA PUMILA / COONTIE CYCAD	3,589
	SPREADING GROUNDCOVERS 18" HT MIN., 18" OC. MICROSORUM SCOLOPENDRIA / WART FERN MIMOSA STRIGILLOSA / SUNSHINE MIMOSA PHYLLODENDRON LIPPIA	2,703
	TREE TO REMAIN	
	PALM TO REMAIN	

CITY OF DORAL LANDSCAPE LEGEND

Zoning District: **DMU** Net Lot Area: **0.52** Acres or **22,803** SF

	REQUIRED	PROVIDED
OPEN SPACE		
A. Square feet of open space required, as indicated on site plan: Net Lot area = 22,803 x 10% =	2,280 SF	4,561 SF
B. Square feet of parking lot open space required by Chp. 71, as indicated on site plan: The number of parking spaces = 7 x 10 SF per parking space =	70 SF	70 SF
C. Total SF of landscaped open space required = A + B	2,350 SF	4,631 SF
LAWN AREA CALCULATION		
A. Total square feet of landscape open space required by =	2,280 SF	
B. Maximum lawn area permitted = 60.0% x required landscape open space =	1,368 SF	456 SF
Notes: (1) Per Sec. 71-71. (2) Vary dry tolerant grasses and low growing native plants, including grasses and forbs, as referenced in the Landscape Manual, may be used as groundcover beyond the maximum permitted grass area specified.		
TREES		
A. The number of site trees required per net lot area = 28 site trees per net lot area less the existing number of trees that meet minimum requirements = 13 existing trees required trees x net lot acreage =	15 trees	15 trees
B. 30% palm trees allowed (two palms = one tree) =	8 trees	13 trees
C. Percentage of native trees required = the number of trees provided x 50% =	8 trees	13 trees
D. Percentage of low maintenance and drought tolerant trees = provided trees x 50% =	6 trees	6 trees
E. Street trees along 36th Street (max. average spacing of 35' O.C.) =	193 linear feet along street / 35 =	
Total number of trees provided: required site trees + street trees =	21 trees	21 trees
SHRUBS		
A. The total number of trees required x 10 = the number of shrubs required	210 shrubs	232 shrubs
B. The number of shrubs required x 50% = the number of native shrubs required	105 shrubs	105 shrubs
C. % Drought tolerant and low maintenance required = Number of shrubs provided x 50% =	116 shrubs	116 shrubs

*Existing palm trees to remain and will count towards required street trees

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED
 BY GREGORY ALEXANDER GONZALEZ, P.L.A.
 L6667525, ON DATE ADJACENT TO SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT
 VALID. COPIES OF THIS DOCUMENT ARE NOT
 VALID UNLESS THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC
 COPIES.
 THE SEAL APPEARING ON THIS DOCUMENT WAS
 CREATED BY GREGORY ALEXANDER GONZALEZ,
 L6667525, ON THE DATE ADJACENT TO THE SEAL.

No.	REVISIONS	DATE	BY

Kimley»Horn
 © 2010 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33145
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTRY NO. 696

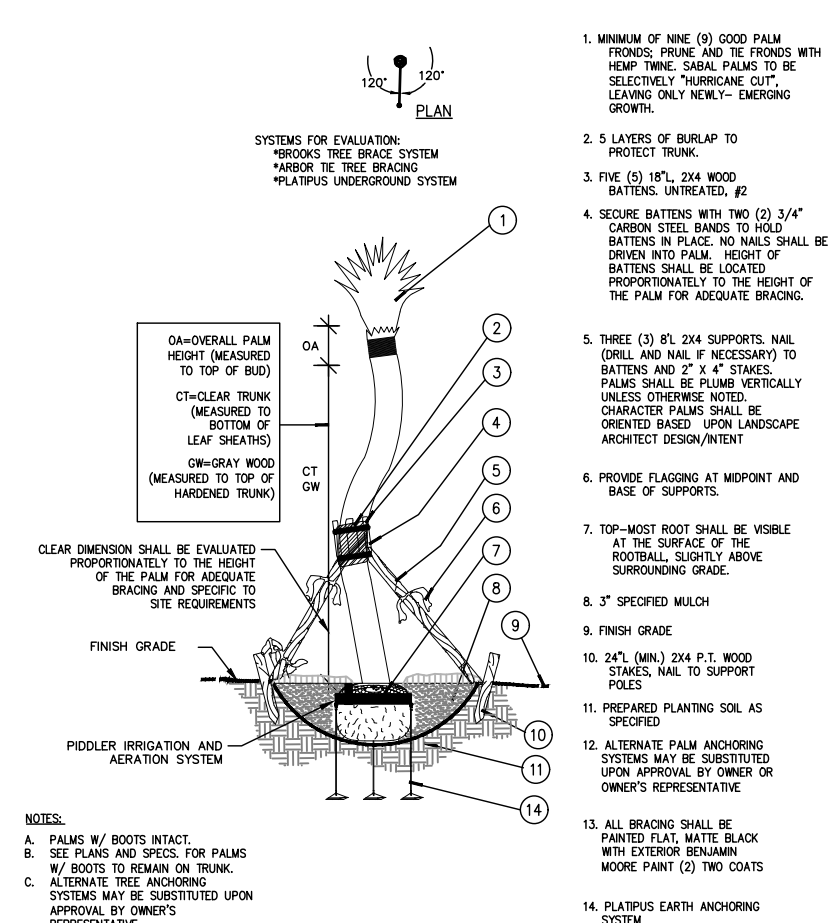
LANDSCAPE ARCHITECT
 GREGORY ALEXANDER GONZALEZ
 No L6667525
 05/03/2024
 STATE OF FLORIDA

LANDSCAPE PLAN

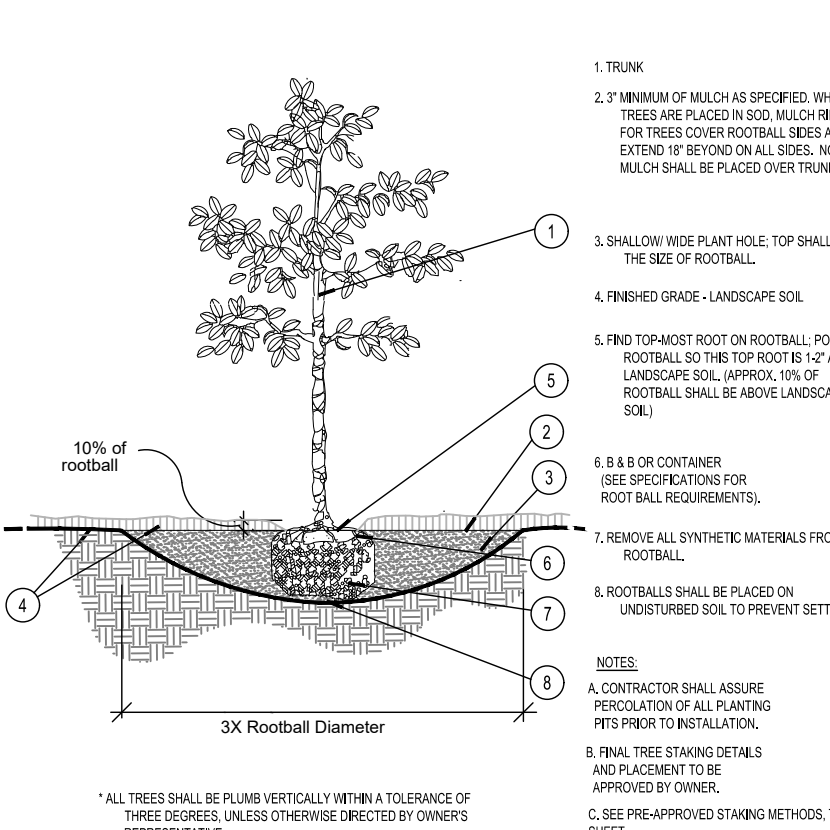
DORAL OCEAN BANK
 PREPARED FOR
 8800 DORAL, LLC
 CITY OF DORAL, FL
 SHEET NUMBER
L-300

Sunshine811
 Call 811 or visit sunshine811.com two full
 business days before digging to have
 buried facilities located and marked.
 Check positive response codes before you dig!

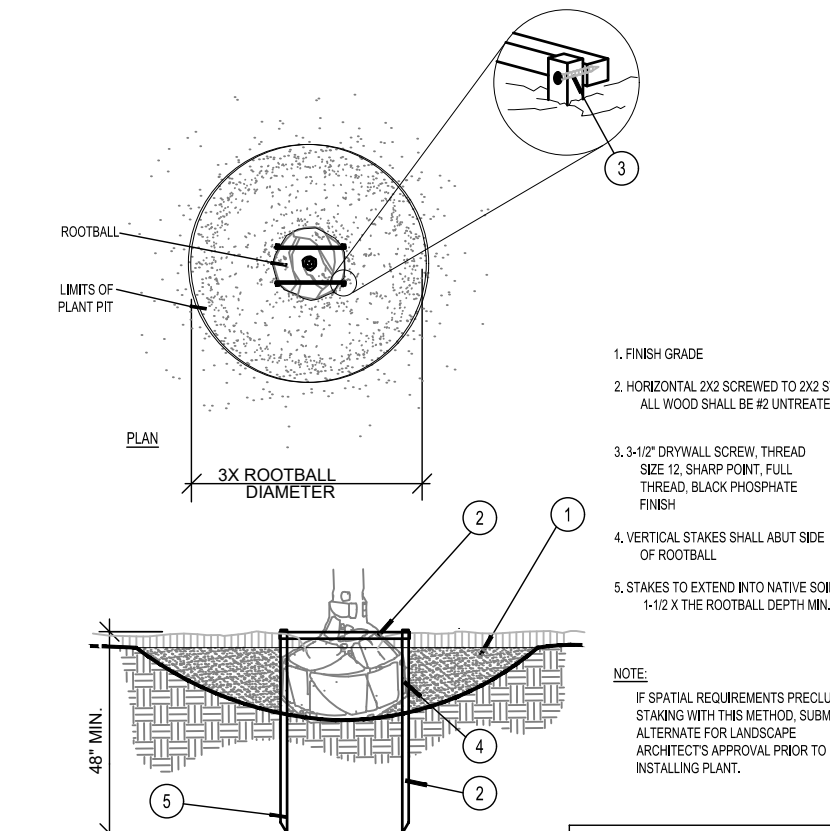
Plotted by: Liberman, Amy - Sheet Set: DORAL OCEAN BANK - Layout: L351 - Mdy: 03 - 2024 - 11:19:27am - K:\vmb-ctm\143771001-doral ocean bank landscape CAD.dwg - SHEETS: L350 LANDSCAPE_SPECS.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



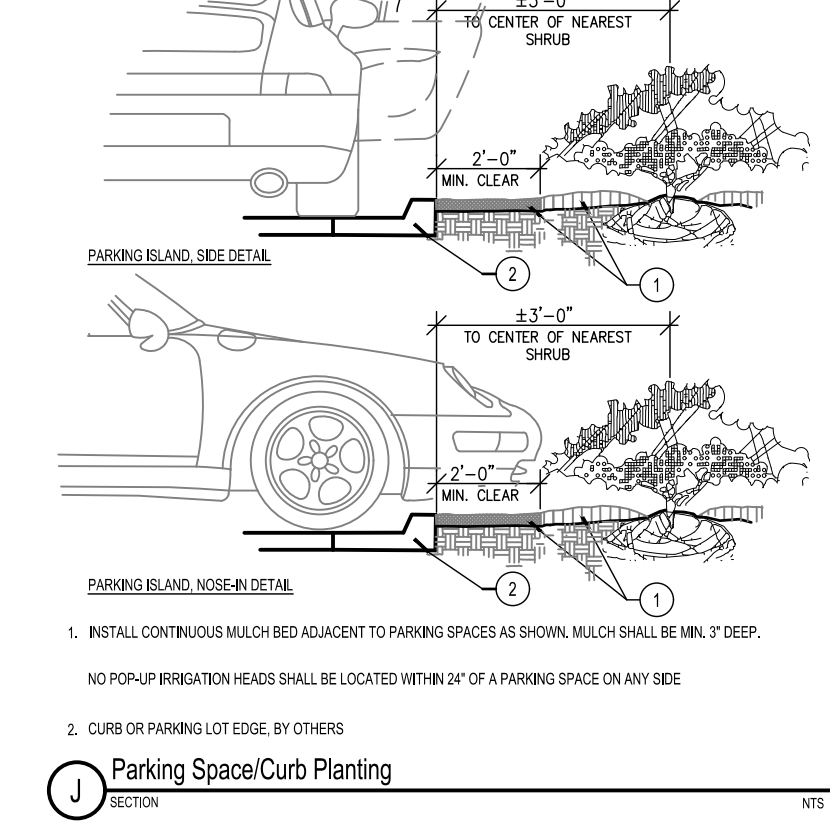
A Tree Planting NTS



B Palm Planting and Staking NTS



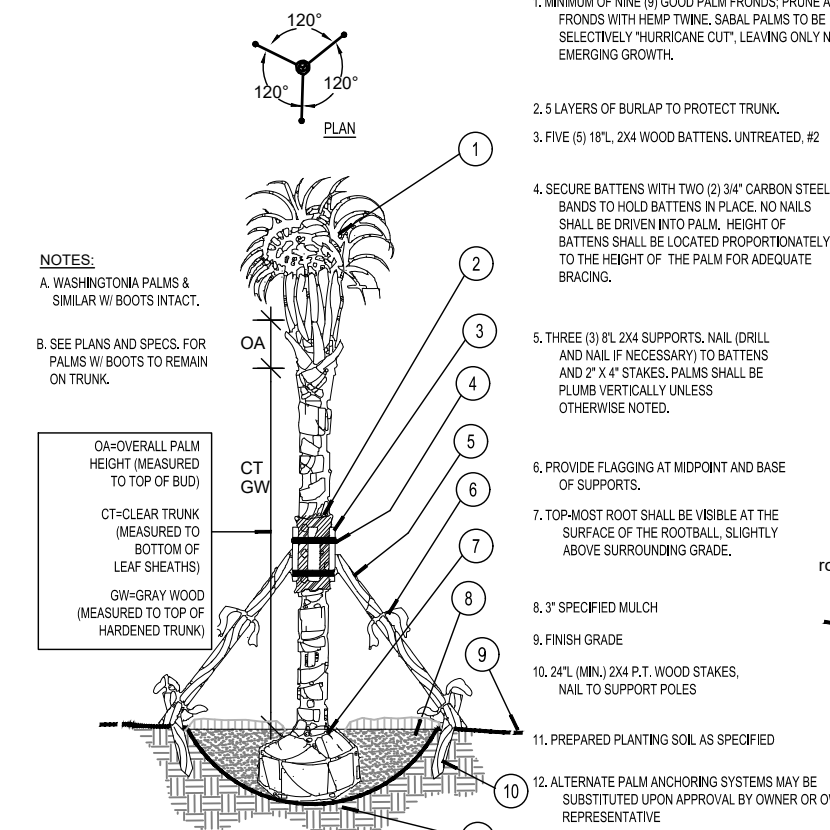
C Shrub / Groundcover Planting NTS



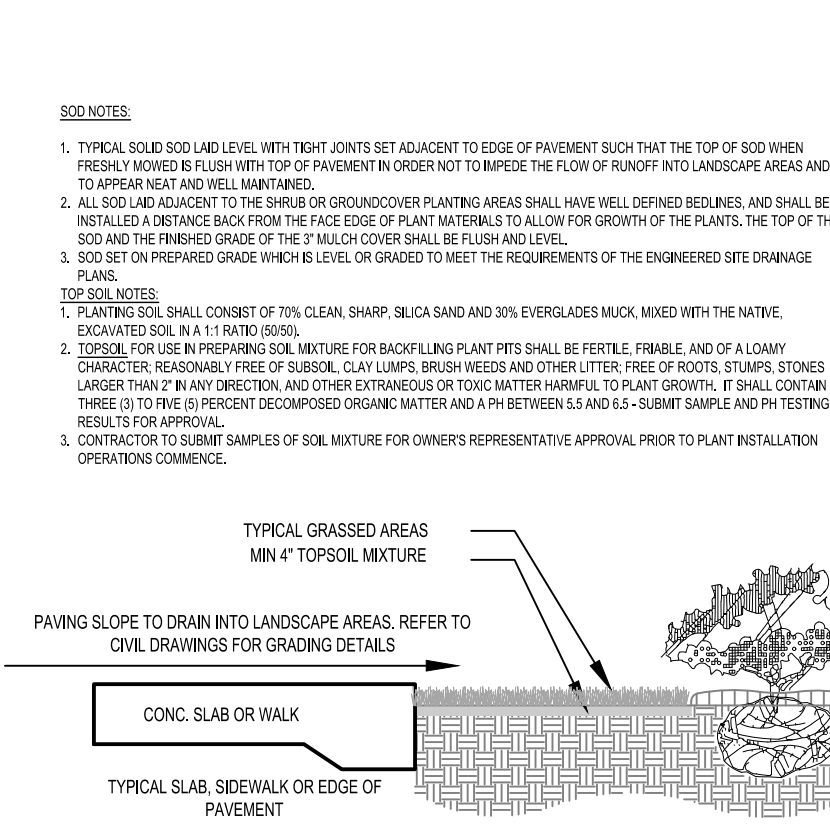
D Planting on a Slope NTS



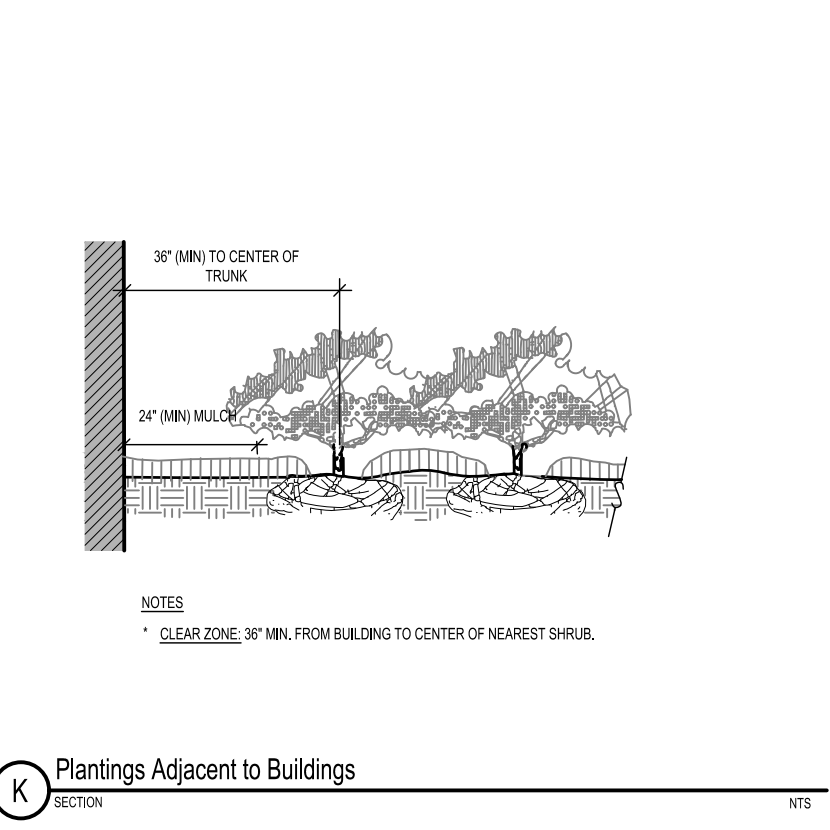
E Staking - up to 65 gal. or B&B to 3-1/2\"/>



F SOD NTS



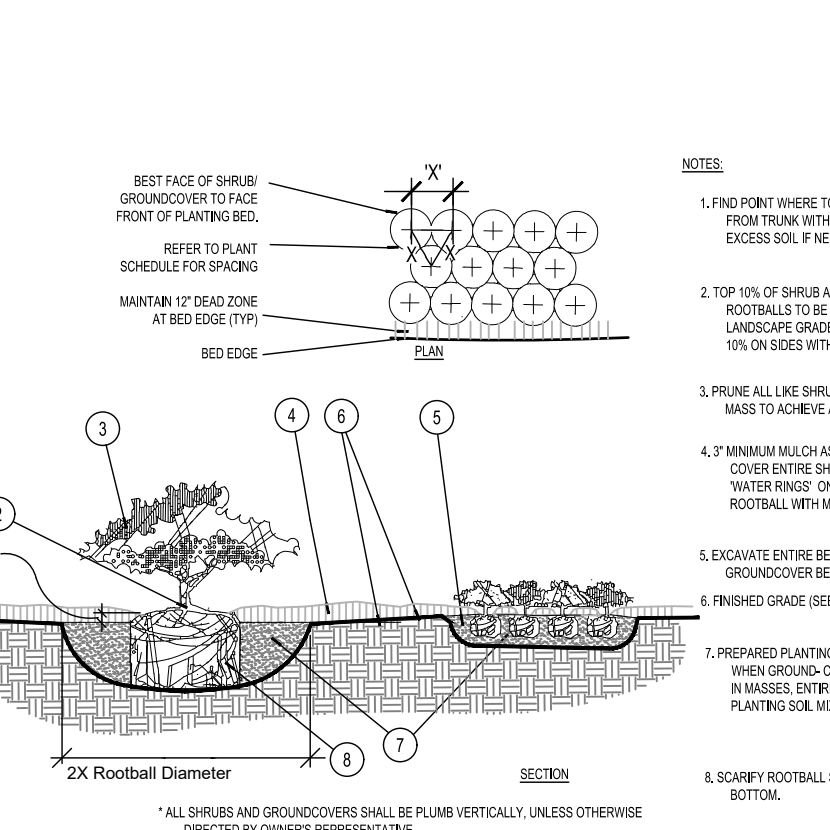
G Poor Drainage Condition NTS



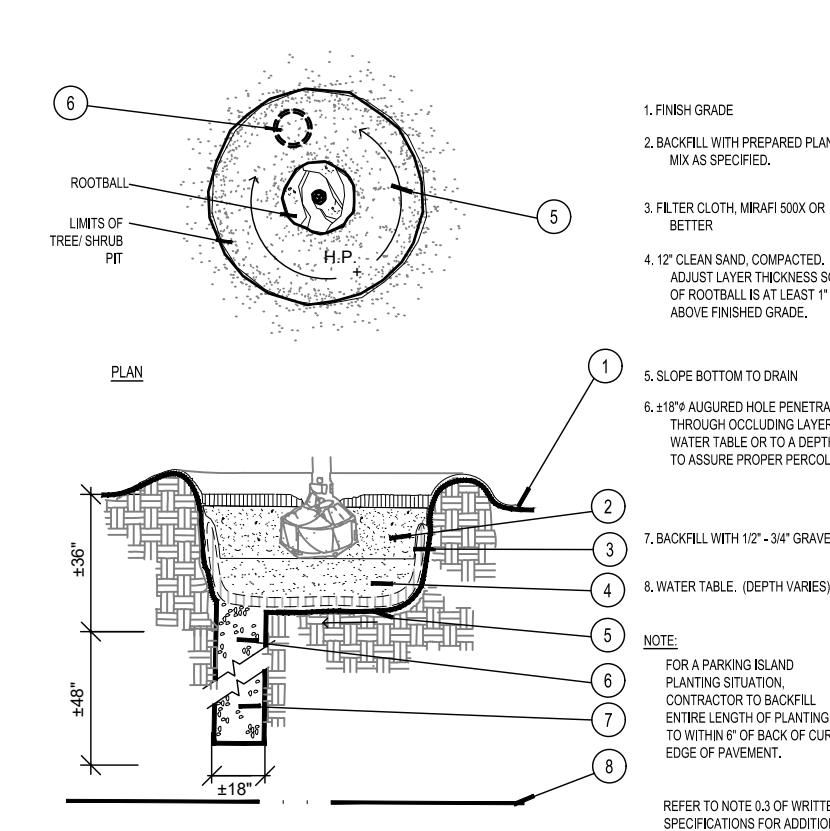
H Tree/Shrub Protector NTS



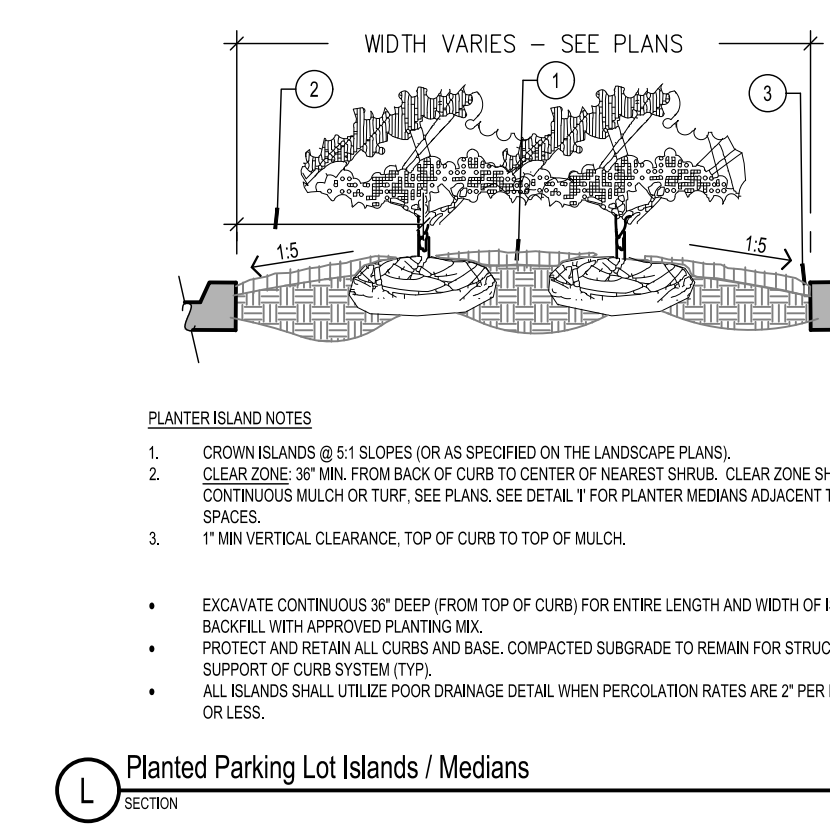
I Root Barrier NTS



J Parking Space/Curb Planting NTS



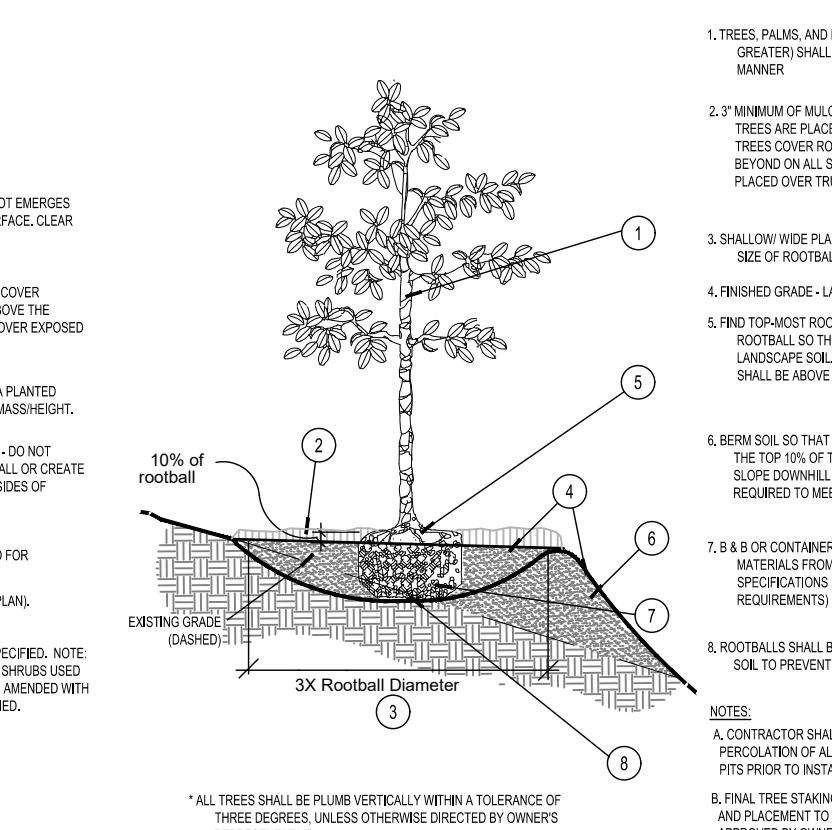
K Plantings Adjacent to Buildings NTS



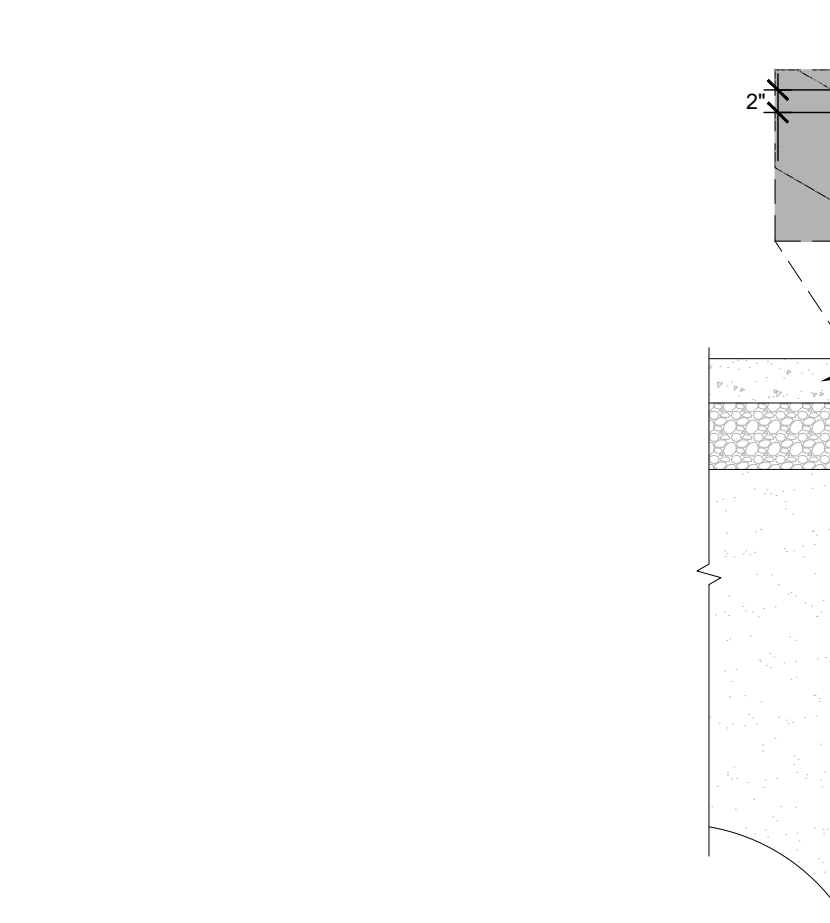
L Planted Parking Lot Islands / Medians NTS



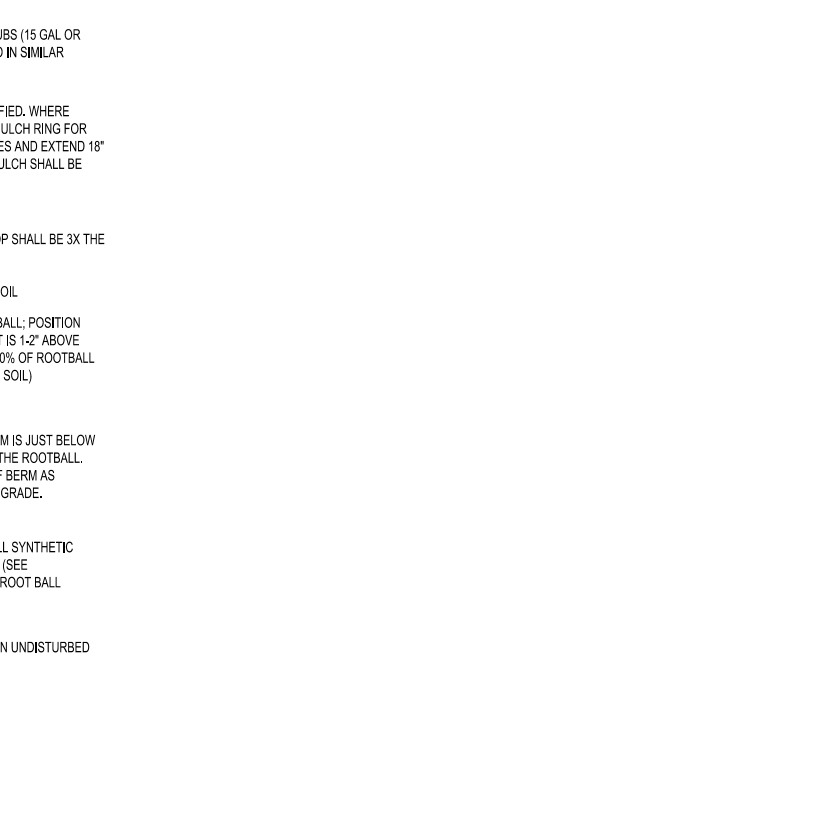
M Fire Hydrant Clear Zone NTS



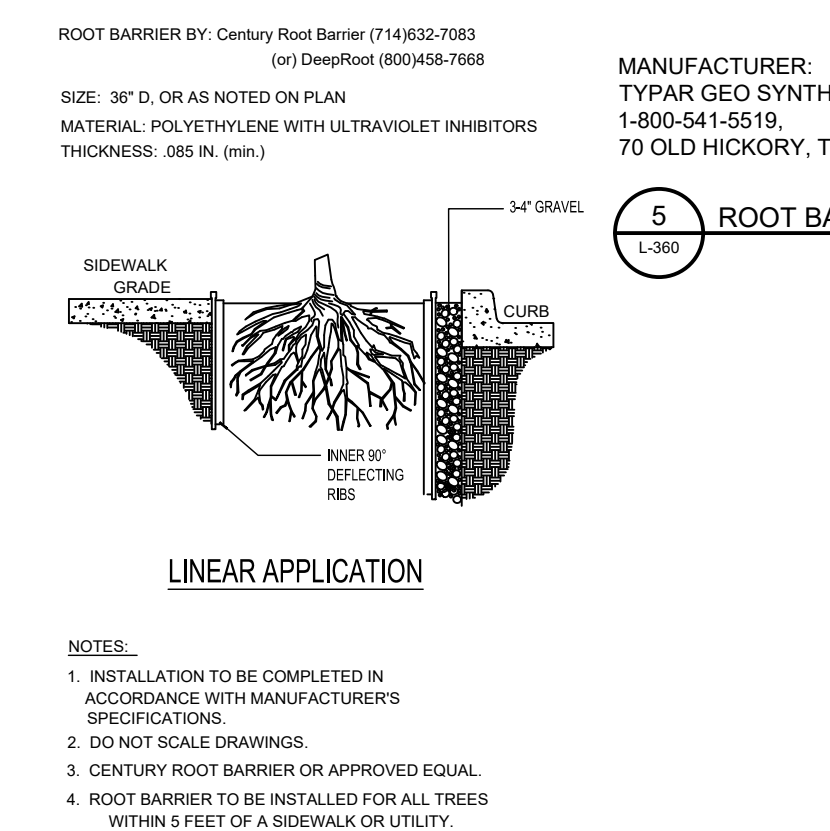
N Large Tree Staking - 100 Gal + or B&B 4\"/>



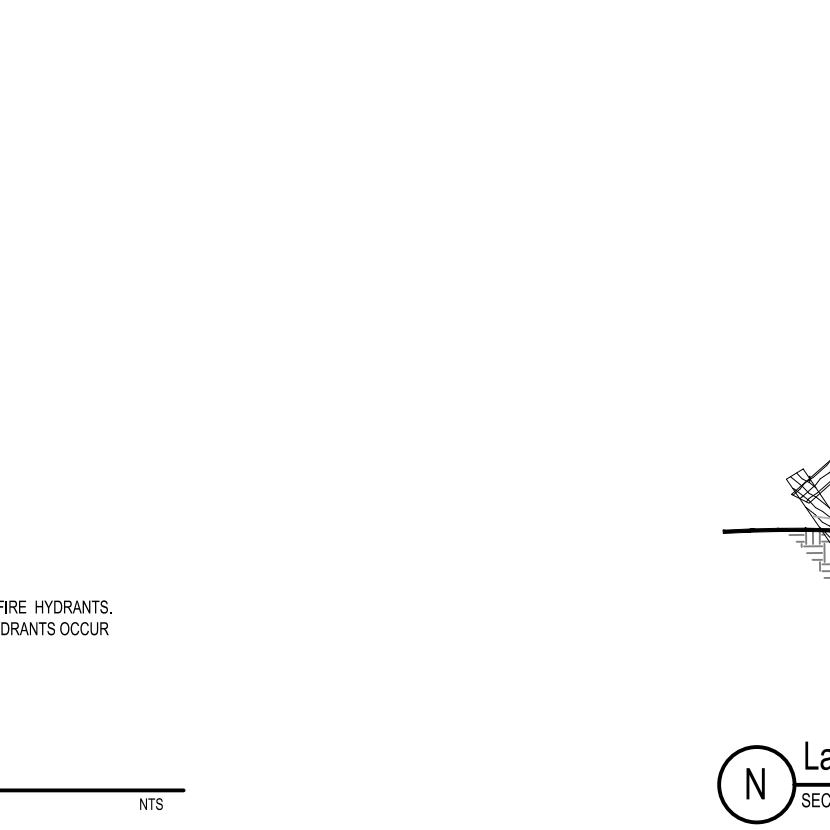
O TYPAR BIO BARRIER ROOT PROTECTION - SURFACE PROTECTION APPLICATION NTS



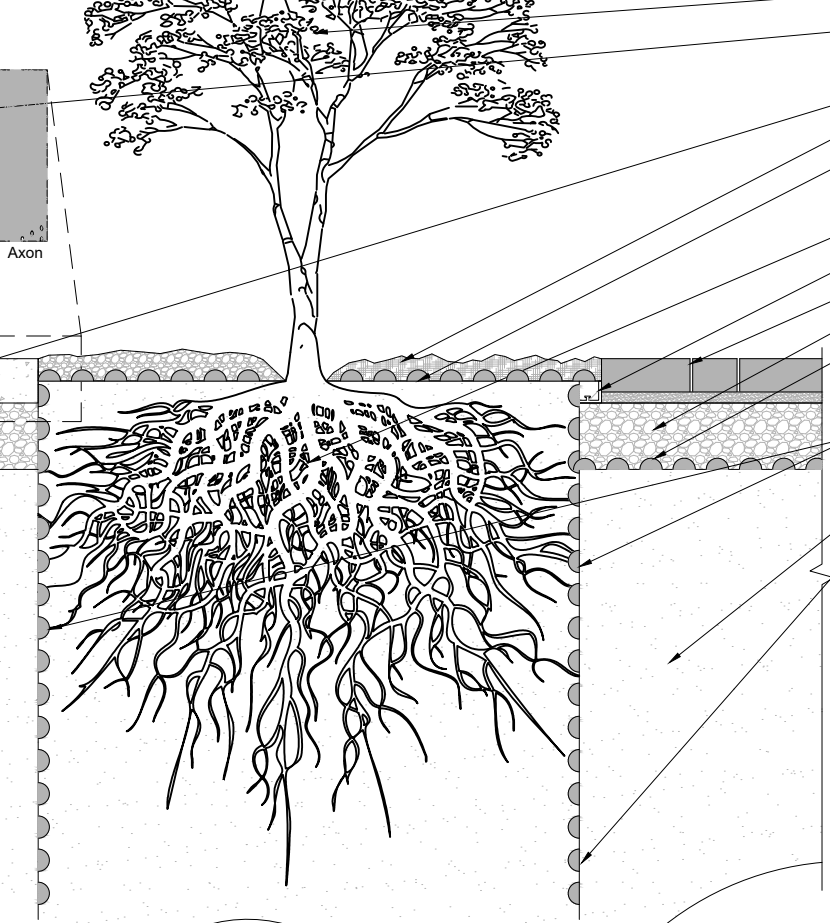
P Root Barrier Detail NTS



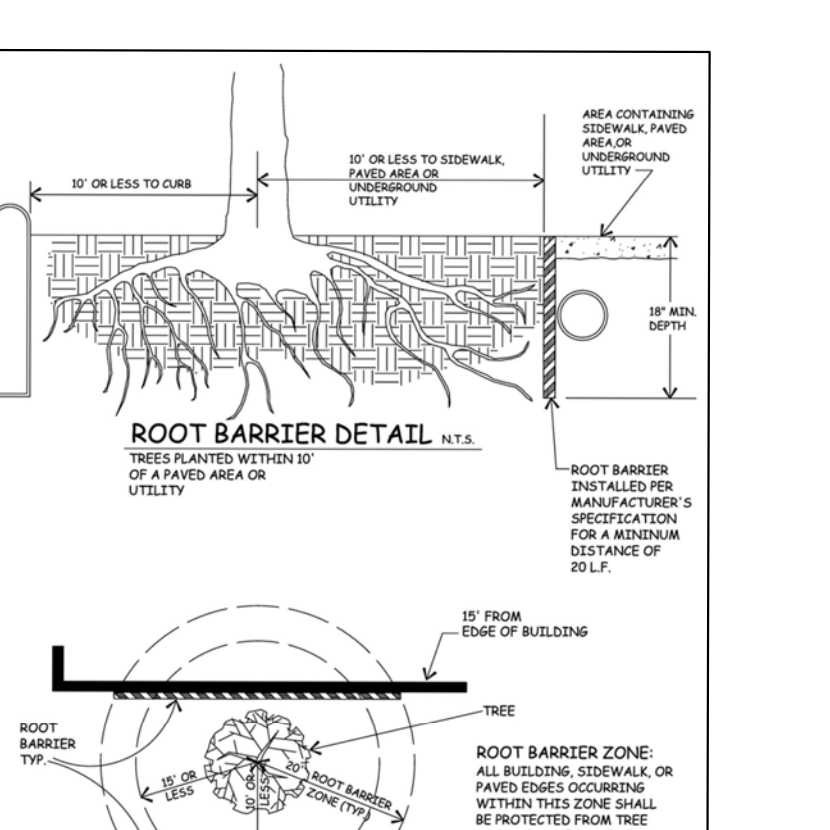
Q Linear Application NTS



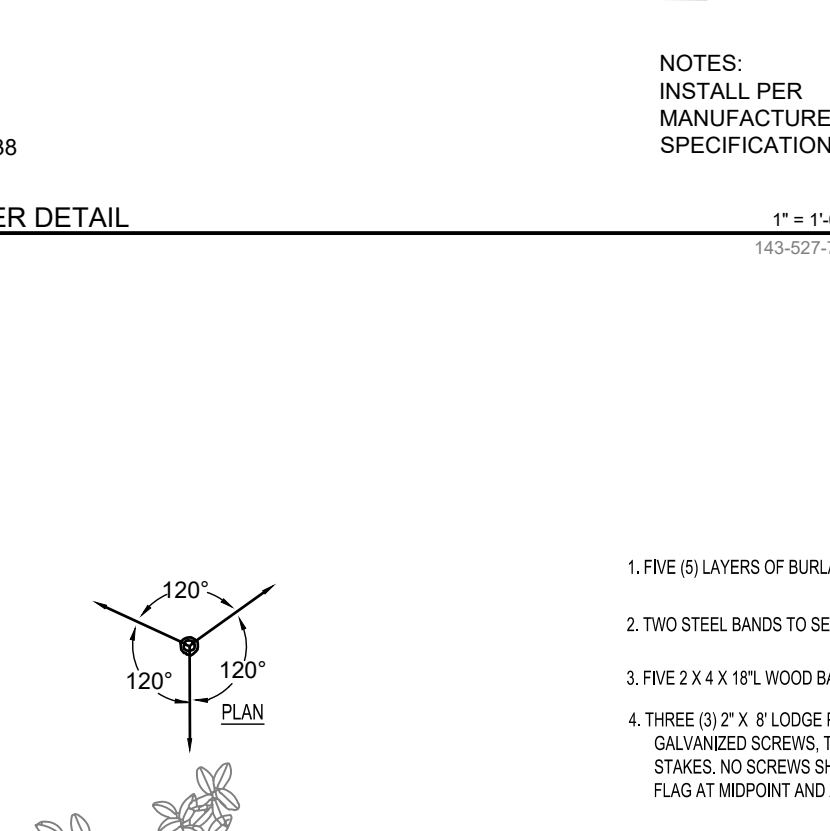
R Tree/Shrub Protector NTS



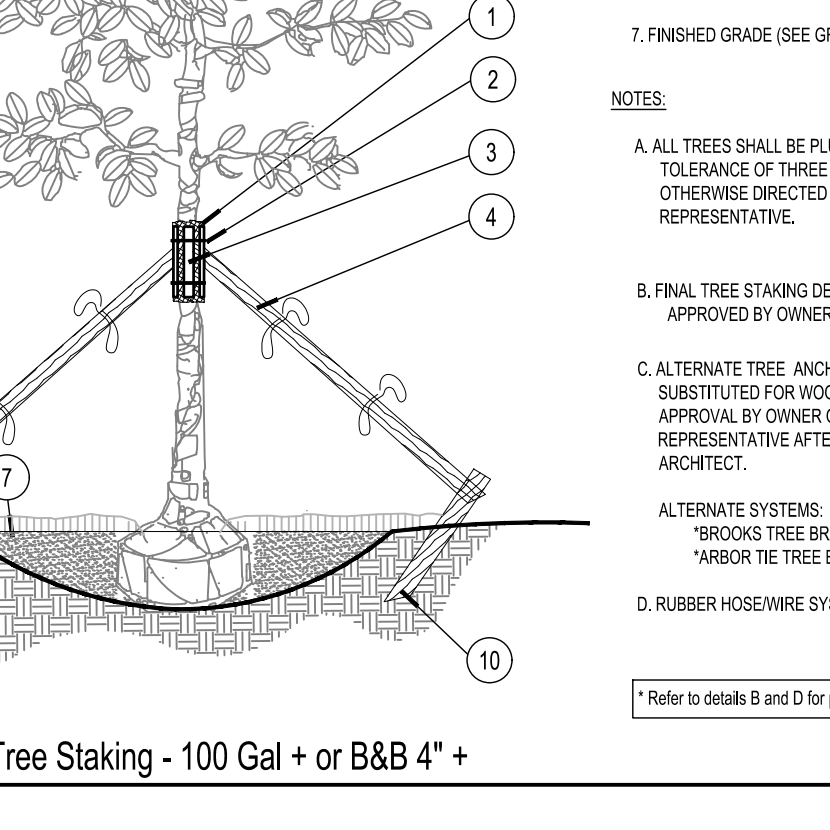
S Root Barrier Detail NTS



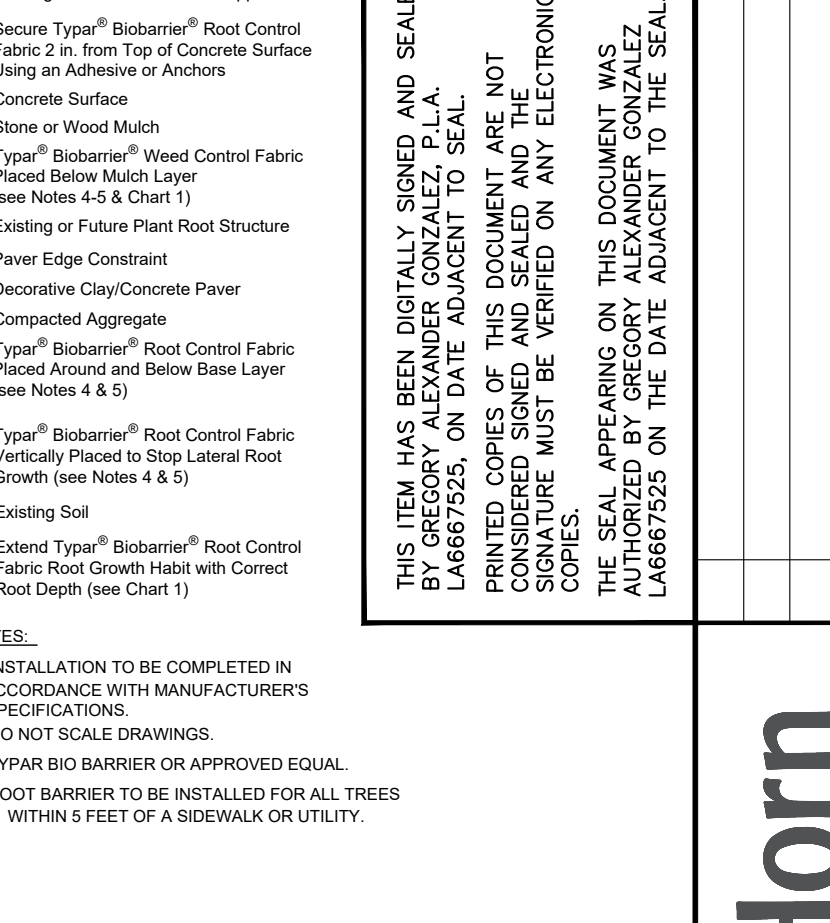
T Root Barrier Detail NTS



U Linear Application NTS



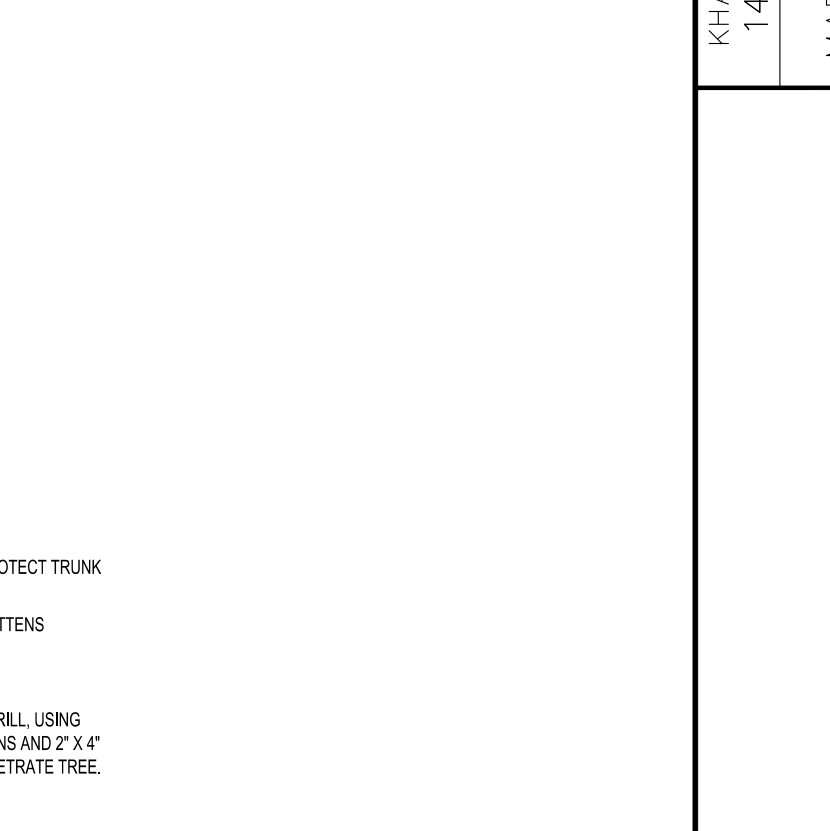
V Tree/Shrub Protector NTS



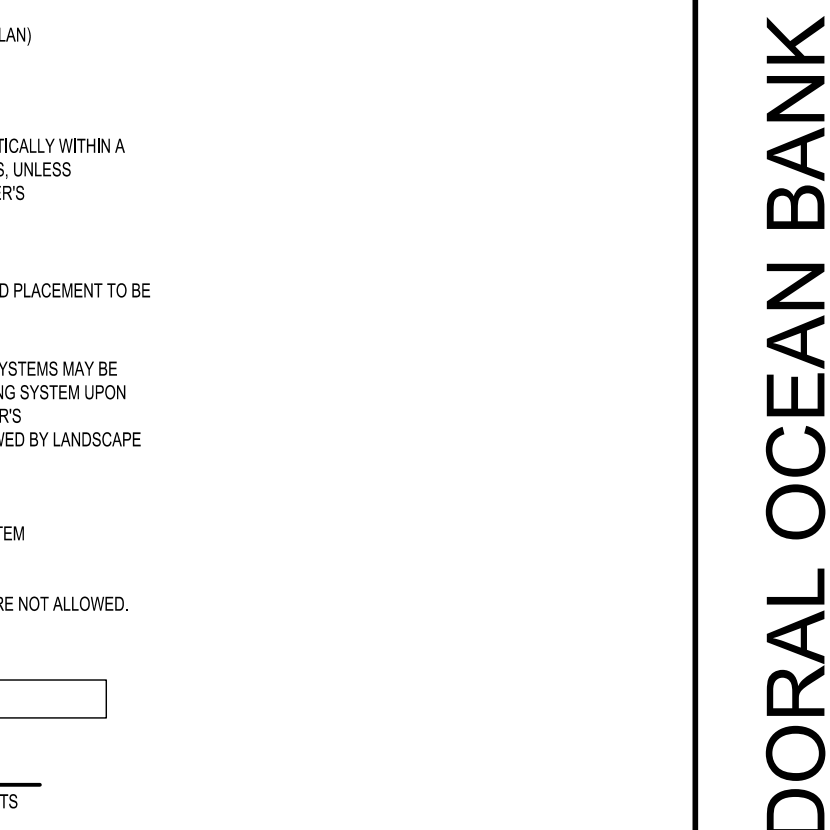
W Large Tree Staking - 100 Gal + or B&B 4\"/>



X Root Barrier Detail NTS



Y Linear Application NTS



Z Tree/Shrub Protector NTS

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY ALEXANDER GONZALEZ, P.L.A. LAG667525. ON DATE ADJACENT TO SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THE SIGNATURE AND DATE ADJACENT TO SEAL ARE VERIFIED ON ANY ELECTRONIC COPIES. THE SEAL APPEARING ON THIS DOCUMENT WAS THE SEAL OF GREGORY ALEXANDER GONZALEZ, P.L.A. LAG667525 ON THE DATE ADJACENT TO THE SEAL.

Kimley»Horn
 © 2010 KIMLEY-HORN AND ASSOCIATES, INC.
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33145
 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM REGISTRY NO. 696

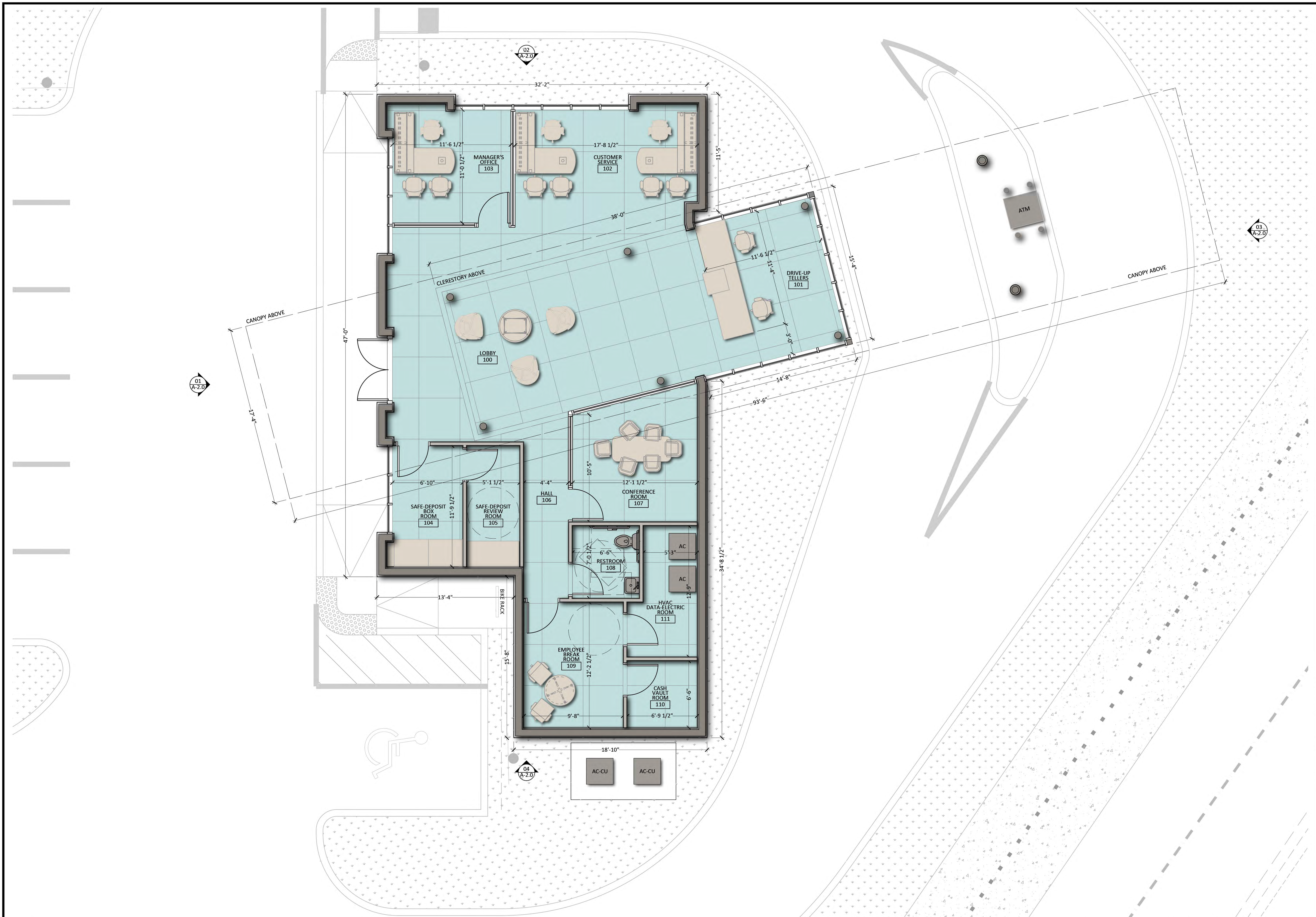
LANDSCAPE ARCHITECT
 FLORIDA
 No LAG667525
 05/03/2024

KHA PROJECT: 143771001
 DATE: MARCH 2004
 SCALE: AS SHOWN
 DESIGNED BY: AML
 DRAWN BY: AML
 CHECKED BY: CC
 DATE:

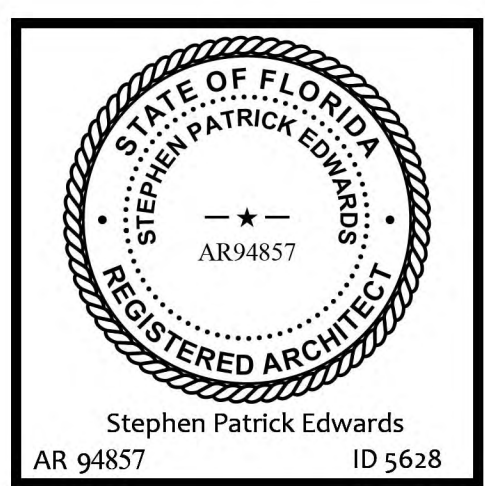
LANDSCAPE DETAILS

DORAL OCEAN BANK
 PREPARED FOR
8800 DORAL, LLC
 CITY OF DORAL

SHEET NUMBER
L-351



sea
 Steve Edwards Architecture LLC
 954.675.0950
 941 S.E. 14 Terrace
 Deerfield Beach Florida
 33441

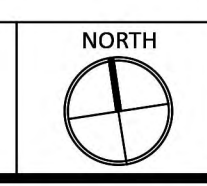
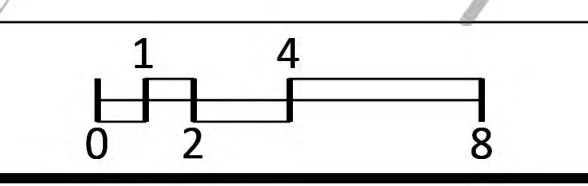


Stephen P Edwards
 Digitally signed by
 Stephen P Edwards
 Date: 2024.03.01
 16:49:00 -05'00'

I hereby certify that I am the author of the design and content of the drawings and documents herein, and that I am a duly licensed and registered professional architect in the State of Florida. I am not providing any services to the client in any other capacity.

#2003.01-03 SITE PLAN
 FLOOR PLAN
 OCEAN BANK | AMLI
 8800 NW 36TH STREET
 DORAL, FLORIDA 33178

DRAWN: A.D.-S.E. CHECKED: A.D.-S.E.
 SCALE: 1/4" = 1'-0"
 DATE: 1 MARCH 2024



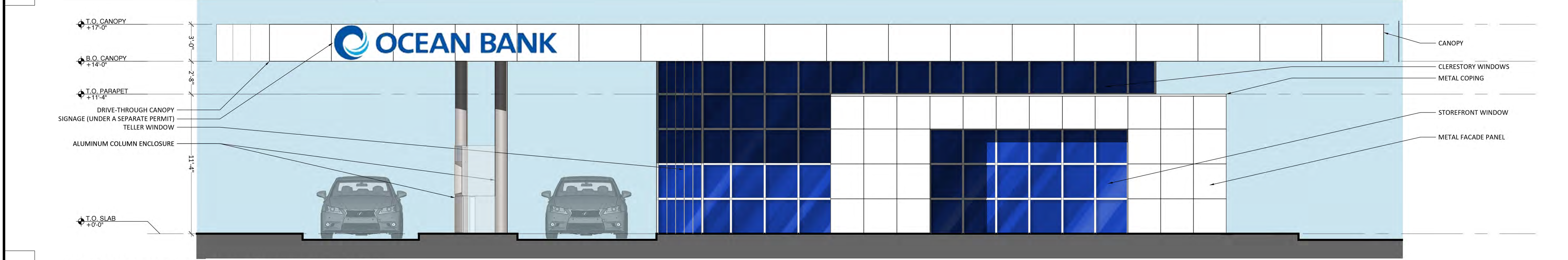
1/4" = 1'-0"

EXTERIOR FINISHES LEGEND:

	METAL FACADE PANEL (SOLID / PERFORATED) COLOR: WHITE		GLASS STOREFRONT WINDOW COLOR: BLUE
	METAL CANOPY PANEL (SOLID / PERFORATED) COLOR: WHITE		GLASS CLERESTORY WINDOWS COLOR: BLUE
	ALUMINUM COLUMN ENCLOSURE COLOR: WHITE		GLASS TELLER WINDOW COLOR: GREY
	METAL COPING (PREFINISHED) COLOR: WHITE		



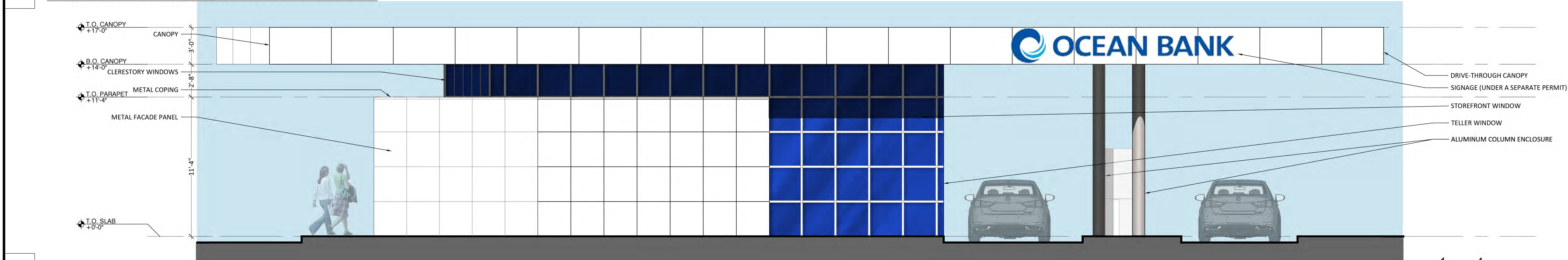
01 EXTERIOR ELEVATION - WEST FACADE



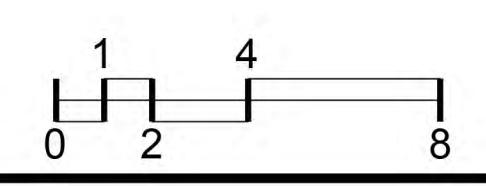
02 EXTERIOR ELEVATION - NORTH FACADE



03 EXTERIOR ELEVATION - EAST FACADE



04 EXTERIOR ELEVATION - SOUTH FACADE



RENDERING - FROM SOUTHWEST:



RENDERING - FROM NORTHWEST:



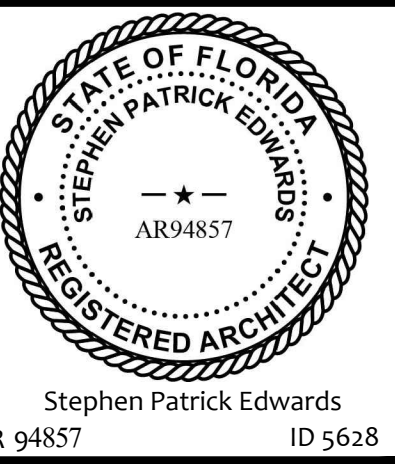
RENDERING - FROM SOUTHEAST:



RENDERING - FROM NORTHEAST:



Steve Edwards Architecture LLC
954.675.0950
941 S.E. 14 Terrace
Deerfield Beach Florida
33441



**Stephen P
Edwards**
Digitally signed by
Stephen P Edwards
Date: 2024.03.01
17:01:45 -05'00'

THIS DOCUMENT IS THE PROPERTY OF STEVE EDWARDS ARCHITECTURE LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF STEVE EDWARDS ARCHITECTURE LLC IS STRICTLY PROHIBITED.

OCEAN BANK | AMLI
8800 NW 36TH STREET
DORAL, FLORIDA 33178

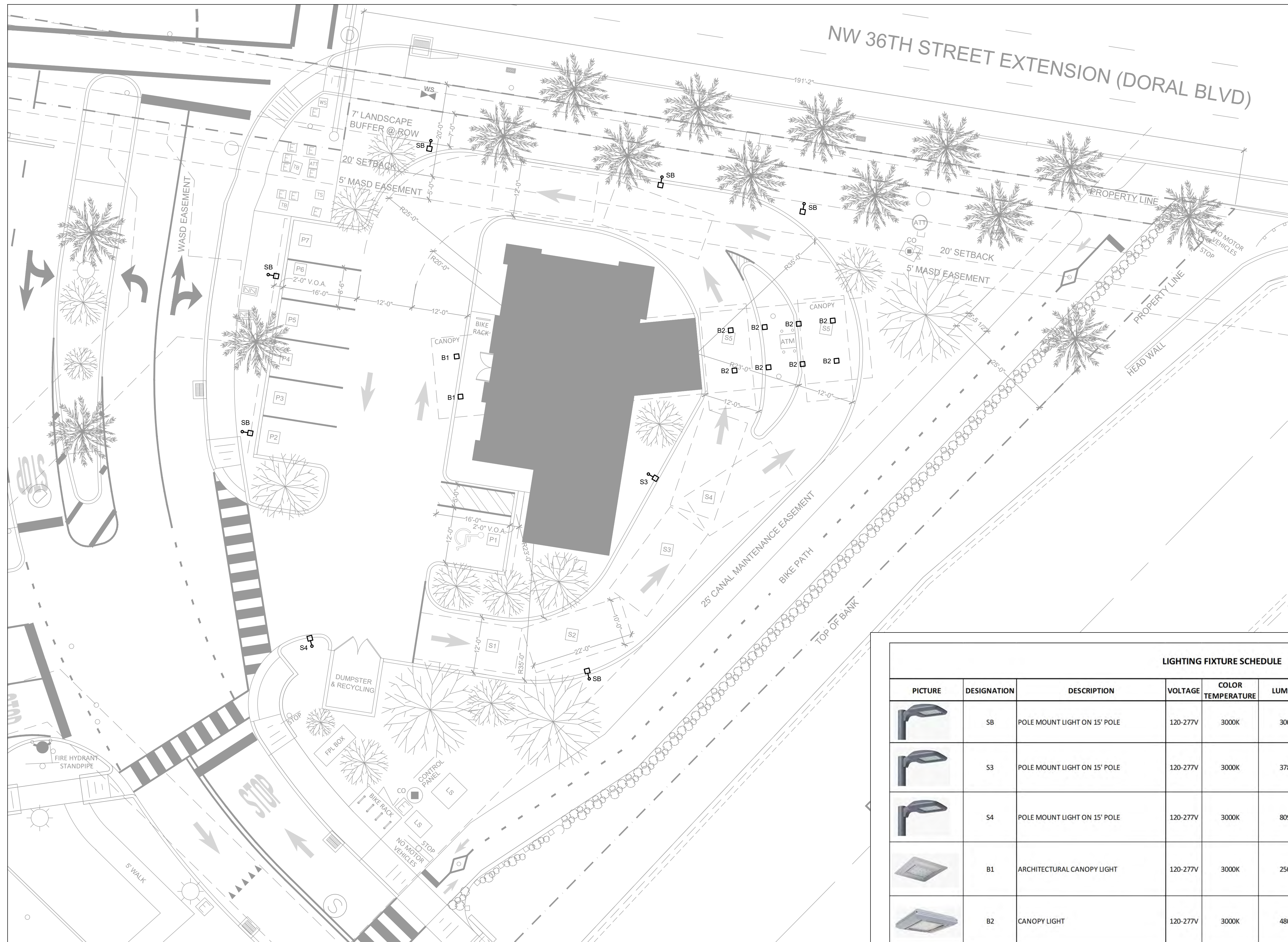
#2003.01-03 SITE PLAN

RENDERINGS



DRAWN: A.D.-S.E. CHECKED: A.D.-S.E.
SCALE: NTS
DATE: 1 MARCH 2024

A-9.0



GENERAL NOTES
 1. ALL POLE LIGHTS SHOWN ARE 15' HIGH.

sea
 Steve Edwards Architecture LLC
 954.675.0950
 941 S.E. 14 Terrace
 Deerfield Beach Florida
 33441

Digitally signed by Raji Sayegh
 Date: 2024-03-06 14:18:49
 Stephen Patrick Edwards
 AR 94857 ID 5628

B Bildworx Design
 Engineering Consulting Services
 300 SE 2ND STREET, STE 600
 FORT LAUDERDALE, FL 33301
 PHONE: (954) 933-8246
 www.bildworx.com

IN WITNESS WHEREOF, I have hereunto set my hand and the seal of my office on this 6th day of March, 2024 at Deerfield Beach, Florida.

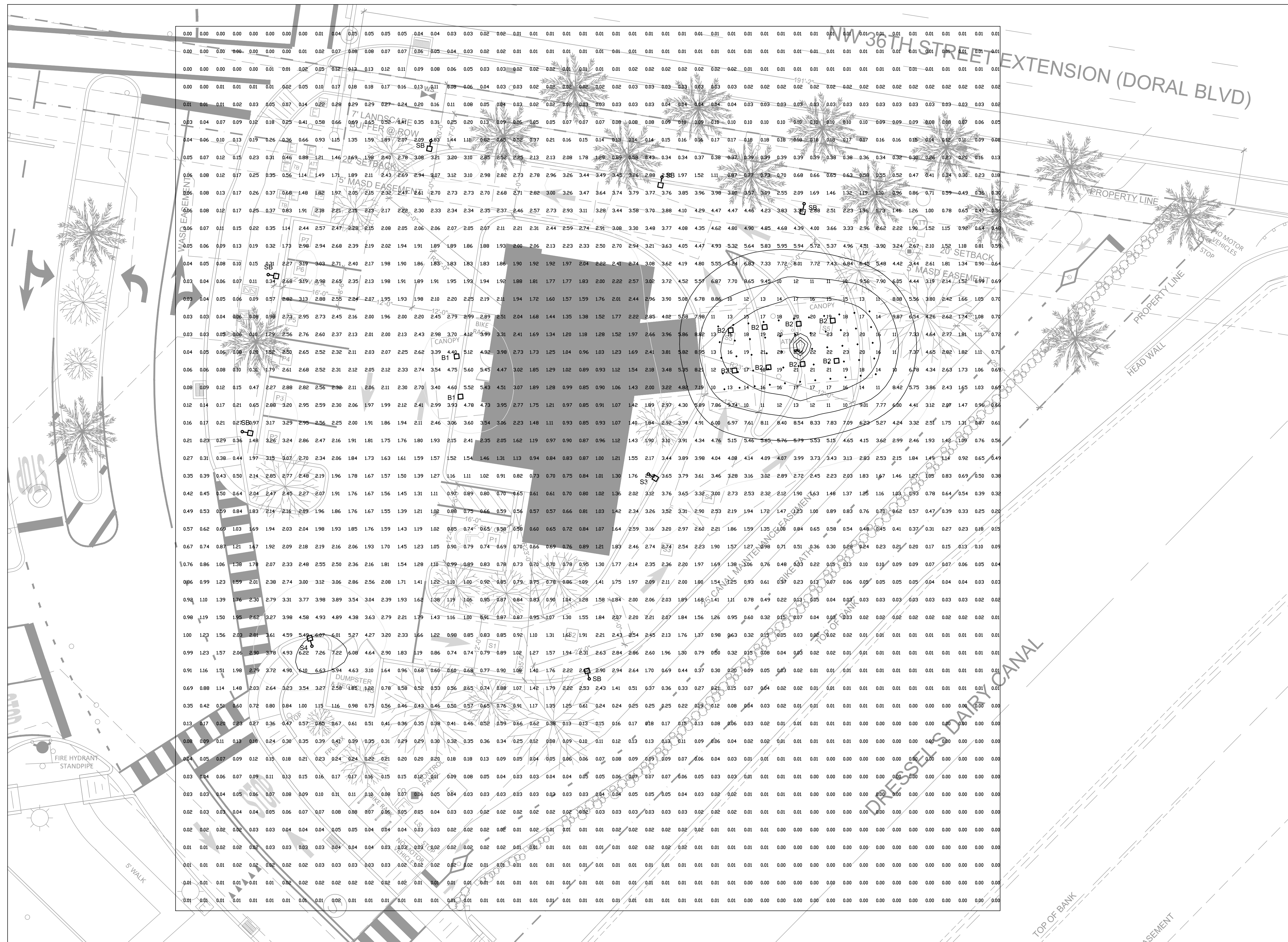
OCEAN BANK | AMLI
 8800 NW 36TH STREET
 DORAL, FLORIDA 33178

LIGHTING FIXTURE SCHEDULE								
PICTURE	DESIGNATION	DESCRIPTION	VOLTAGE	COLOR TEMPERATURE	LUMENS	POWER	MANUFACTURER	MODEL NUMBER
	SB	POLE MOUNT LIGHT ON 15' POLE	120-277V	3000K	3003	27W	SIGNIFY GARDCO PUREFORM	P15-P-A02-730-BLC
	S3	POLE MOUNT LIGHT ON 15' POLE	120-277V	3000K	3781	27W	SIGNIFY GARDCO PUREFORM	P15-P-A02-730-T3M
	S4	POLE MOUNT LIGHT ON 15' POLE	120-277V	3000K	8096	60W	SIGNIFY GARDCO PUREFORM	P15-P-A02-730-T4S
	B1	ARCHITECTURAL CANOPY LIGHT	120-277V	3000K	2500	24W	SIGNIFY	SFCR-5W-24L-250-WW-G2
	B2	CANOPY LIGHT	120-277V	3000K	4804	38W	SIGNIFY GARDCO SLENDERFORM	SFC-5W-48L-250-WW-G2

#2003.01-03 CONCEPT DESIGN
 ELECTRICAL SITE PLAN



DRAWN: AK CHECKED: RS
 SCALE: 3/32" = 1'-0"
 DATE: 1/26/2024



SITE PHOTOMETRICS RESULTS			
AREA	Eav (FC)	Emin (FC)	Emax (FC)
36TH ST PROPERTY LINE	0.11	0.01	0.29
CANAL PROPERTY LINE	0.05	0.01	0.28
ATM CANOPY	18	12	24

sea
 Steve Edwards Architecture LLC
 954.675.0950
 941 S.E. 14 Terrace
 Deerfield Beach Florida
 33441

Professionally signed by
 Raji Sayegh
 Date: 2024-03-06
 14.19.18
 Stephen Patrick Edwards
 AR 94857 ID 5628

Bildworx Design
 Engineering Consulting Services
 300 SE 2ND STREET, STE 600
 FORT LAUDERDALE, FL 33301
 PHONE: (954) 933-8246
 www.bildworx.com

THIS DOCUMENT IS THE PROPERTY OF BILDWORX DESIGN, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BILDWORX DESIGN, INC.

#2003.01-03 CONCEPT DESIGN
 ELECTRICAL SITE PLAN
 OCEAN BANK | AMLI
 8800 NW 36TH STREET
 DORAL, FLORIDA 33178

DRAWN: AK CHECKED: RS
 SCALE: 3/32" = 1'-0"
 DATE: 1/26/2024